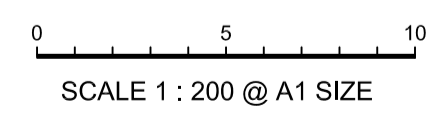


- NOTES:**
1. VERTICAL DATUM: AHD (SEWER MANHOLE No. AD6314 RL 41.97m AHD)
  2. HORIZONTAL DATUM: LOCAL - BASED ON CADASTRAL BOUNDARY (REFER OFFICE FB 512).
  3. SEWER INFORMATION HAS BEEN SUPPLIED FROM WATER CORPORATION PLANS.
  4. ONLY VISIBLE FEATURES HAVE BEEN LOCATED BY FIELD SURVEY.  
PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES SHOULD BE CONTACTED TO CONFIRM LOCATION OF ALL UNDERGROUND AND NON VISIBLE SERVICES
  5. REFER TO CERTIFICATE OF TITLE FOR ENCUMBRANCES.



**SITE DETAILS**  
 Soil: Sandy / Loam / Limestone / Rock  
 Relic: Lawns / Gardens  
 Power: Overhead / Underground  
 Other:

**DRISCOLLS**  
 LAND SURVEYORS  
 Suite 7, 237 Stirling Highway, Claremont  
 P (08) 9385 1122 F (08) 9384 6689  
 E admin@driscolls.net.au

**DESCRIPTION:**

**FEATURE PLAN**  
 31 LAMPETER ROAD, BUTLER  
 LOT 3030 ON DP400719  
 CERTIFICATES OF TITLE: VOL. 2839 FOL. 930

**CLIENT:**

**AJ HOLDINGS AUS PTY LTD**

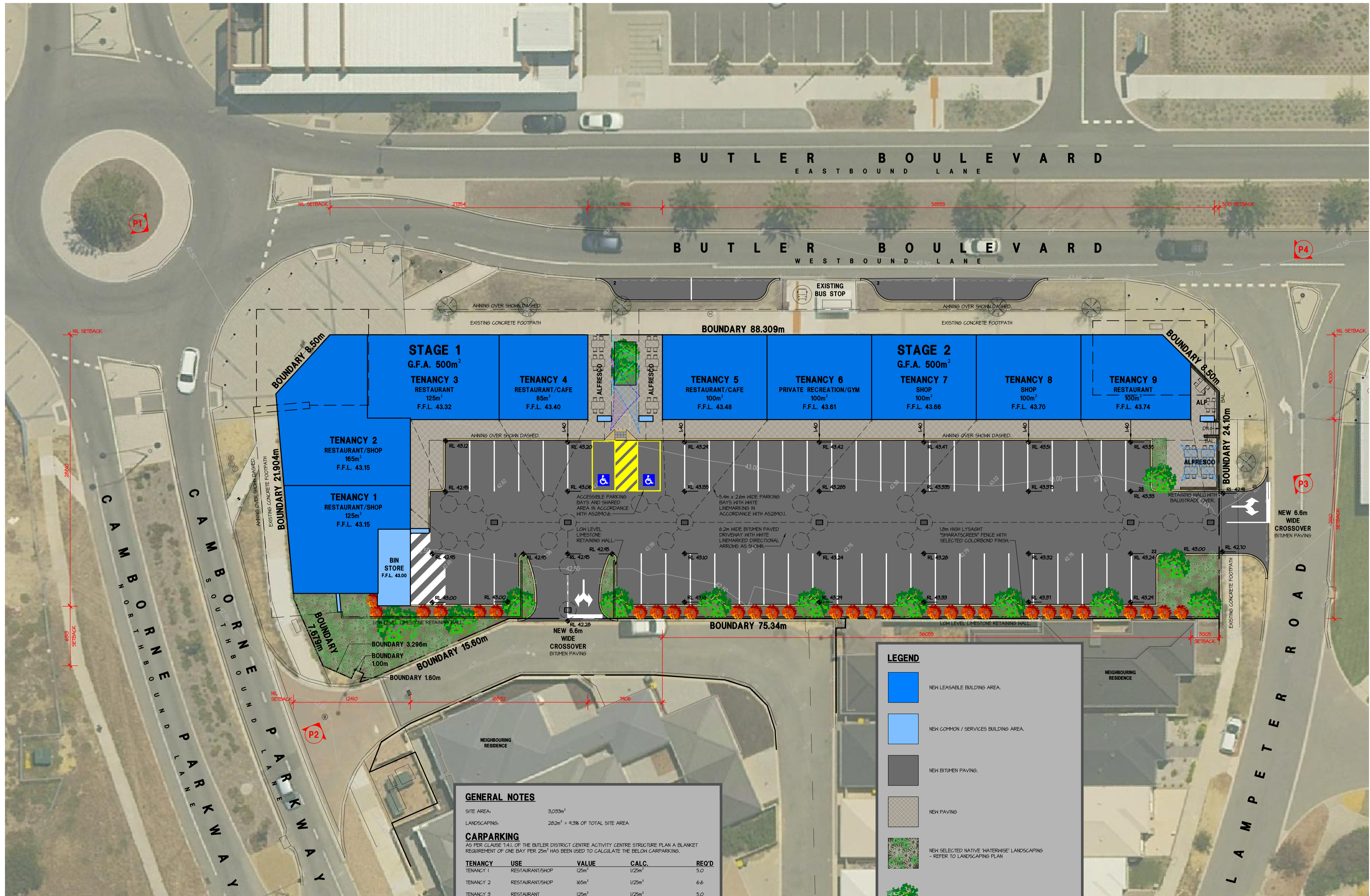
Produced for the exclusive use and benefit of our client only.

DWG N°: **5169**

SHEET N°: **1**

CAD: 5169 SHT1 ISS1.DWG

AMENDMENTS				
ISS N°	DATE	DRN	DESCRIPTION	CHKD
1	15.10.2018	VRS	SURVEYED: 11.10.2018 (REFER OFFICE FB 512)	JWA



**PROPOSED SITE PLAN**  
SCALE 1:200

**GENERAL NOTES**

SITE AREA: 3,033m<sup>2</sup>

LANDSCAPING: 282m<sup>2</sup> = 9.3% OF TOTAL SITE AREA

**CARPARKING**

AS PER CLAUSE 1.4.1, OF THE BUTLER DISTRICT CENTRE ACTIVITY CENTRE STRUCTURE PLAN A BLANKET REQUIREMENT OF ONE BAY PER 25m<sup>2</sup> HAS BEEN USED TO CALCULATE THE BELOW CARPARKING.

TENANCY	USE	VALUE	CALC.	REQ'D
TENANCY 1	RESTAURANT/SHOP	125m <sup>2</sup>	1/25m <sup>2</sup>	5.0
TENANCY 2	RESTAURANT/SHOP	165m <sup>2</sup>	1/25m <sup>2</sup>	6.6
TENANCY 3	RESTAURANT	125m <sup>2</sup>	1/25m <sup>2</sup>	5.0
TENANCY 4	RESTAURANT/CAFE	85m <sup>2</sup>	1/25m <sup>2</sup>	3.4
TENANCY 5	RESTAURANT/CAFE	100m <sup>2</sup>	1/25m <sup>2</sup>	4.0
TENANCY 6	PRIVATE RECREATION/ GYM	100m <sup>2</sup>	1/25m <sup>2</sup>	4.0
TENANCY 7	SHOP	100m <sup>2</sup>	1/25m <sup>2</sup>	4.0
TENANCY 8	SHOP	100m <sup>2</sup>	1/25m <sup>2</sup>	4.0
TENANCY 9	RESTAURANT	100m <sup>2</sup>	1/25m <sup>2</sup>	4.0
<b>TOTAL REQUIRED</b>				<b>40</b>
<b>TOTAL PROVIDED (INCLUDING ON STREET BAYS)</b>				<b>51</b>
<b>PARKING SURPLUS</b>				<b>11</b>

**LEGEND**

- NEW LEASABLE BUILDING AREA.
- NEW COMMON / SERVICES BUILDING AREA.
- NEW BITUMEN PAVING.
- NEW PAVING.
- NEW SELECTED NATIVE 'WATERWISE' LANDSCAPING - REFER TO LANDSCAPING PLAN.
- SHADE TREE - REFER TO LANDSCAPING PLAN.
- EXISTING SITE SURVEYED LEVELS - REFER TO SITE CONTOUR AND FEATURE SURVEY DRAWING 9164-I FOR DETAILS.
- PROPOSED DESIGN LEVELS - REFER TO CIVIL ENGINEER'S DRAWING 9164-75-30 (A) FOR DETAILS.

**HIA**

HINDLEY & ASSOCIATES  
PTY LTD  
BUILDING DESIGNERS

166 STIRLING HIGHWAY  
NEDLANDS WA 6009

PO BOX 199  
NEDLANDS WA 6909

PHONE - 9386 6699  
FAX - 9386 6700  
admin@hindley.com.au

**DEVELOPMENT APPLICATION**

**PROPOSED MIXED USE DEVELOPMENT**  
**LOT 3030 BUTLER BOULEVARD**  
**BUTLER**  
for AJ HOLDINGS AUS PTY LTD

Date - 22.01.19  
Design - CPH  
Drawn - CPH  
Checked - CPH  
Scale - 1:200  
Job No. 0679  
Dwg - DA02  
Rev - B

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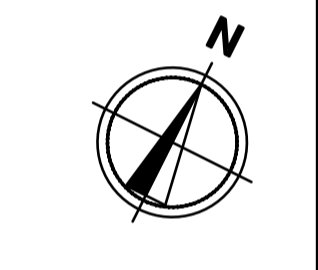
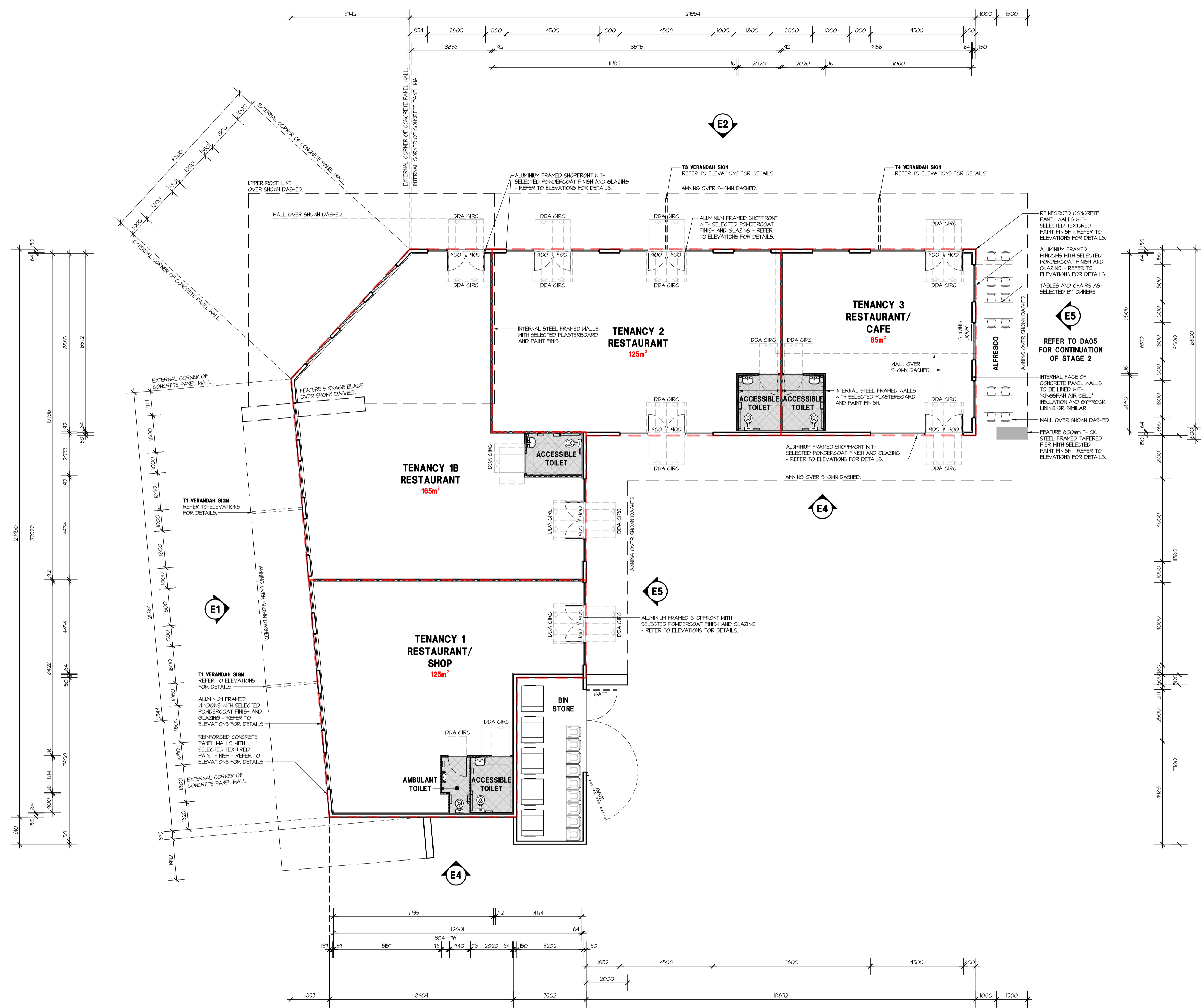
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AS TRUSTEE FOR  
HINDLEY TRUST  
ACN No. 088 989 904

NO: DATE: REVISION: DRAWN: CHECK:

PRE 22.01.19 PRELIMINARY ISSUE CPH CPH  
A 05.07.19 DEVELOPMENT APPLICATION ISSUE CPH CPH  
B 03.12.19 REVISED TO REFLECT DRP COMMENTS CPH CPH

**A1 SHEET**



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BUILDING DESIGNERS

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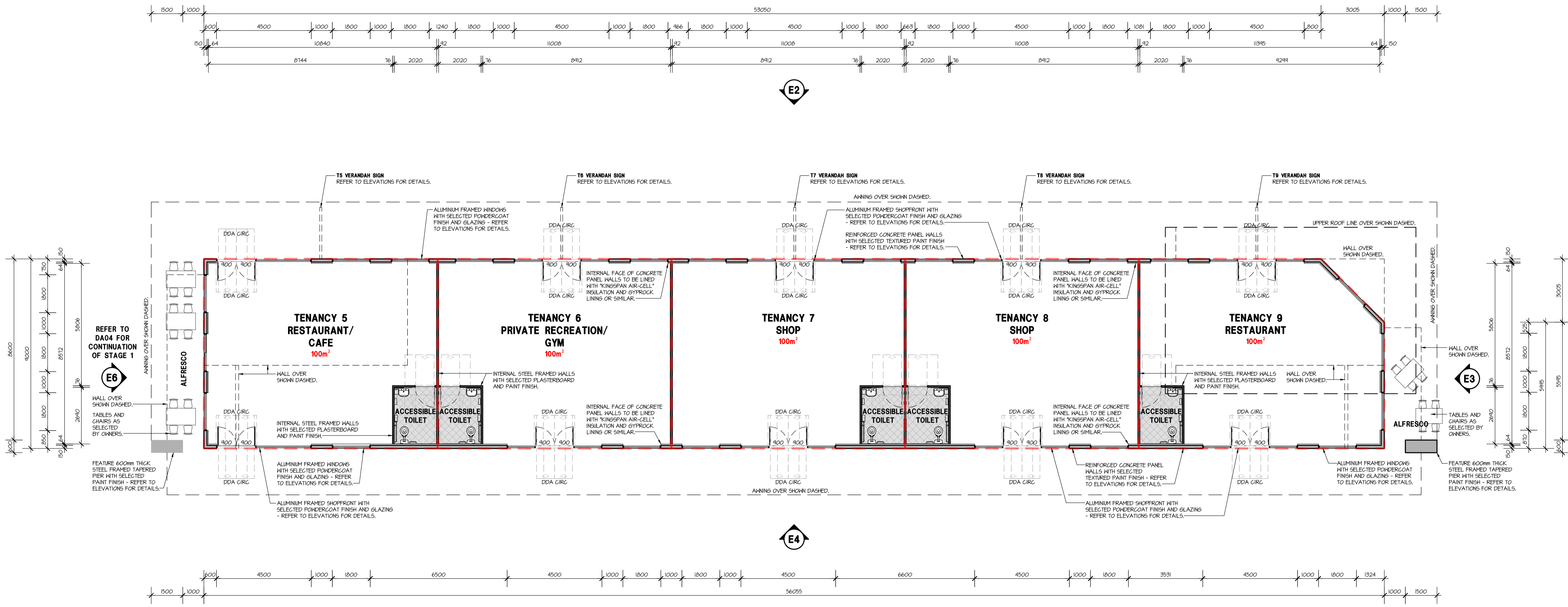
NO.	DATE	REVISION	DRAWN	CHECK
PRE	22.01.19	PRELIMINARY ISSUE	CPH	CPH
A	05.07.19	DEVELOPMENT APPLICATION ISSUE	CPH	CPH
B	17.09.19	TENANCY LAYOUT ALTERED	CPH	CPH

**A1 SHEET**

**STAGE I - FLOOR PLAN**  
SCALE 1:100

**PROPOSED MIXED USE DEVELOPMENT**  
**LOT 3030 BUTLER BOULEVARD**  
**BUTLER**  
for AJ HOLDINGS AUS PTY LTD

Date - 22.01.19  
Design - CPH  
Drawn - CPH  
Checked - CPH  
Scale - 1:100  
Job No. 0679  
Dwg - DA04  
Rev - B



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NO.	DATE	REVISION	DRAWN	CHECK
PRE	22.01.19	PRELIMINARY ISSUE	CPH	CPH
A	05.07.19	DEVELOPMENT APPLICATION ISSUE	CPH	CPH

**A1 SHEET**

**STAGE 2 - FLOOR PLAN**  
 SCALE 1:100

**PROPOSED MIXED USE DEVELOPMENT**  
**LOT 3030 BUTLER BOULEVARD**  
**BUTLER**  
 for AJ HOLDINGS AUS PTY LTD

Date - 22.01.19  
 Design - CPH  
 Drawn - CPH  
 Checked - CPH  
 Scale - 1:100  
 Job No. 0679  
 Dwg - **DA05**  
 Rev - **A**



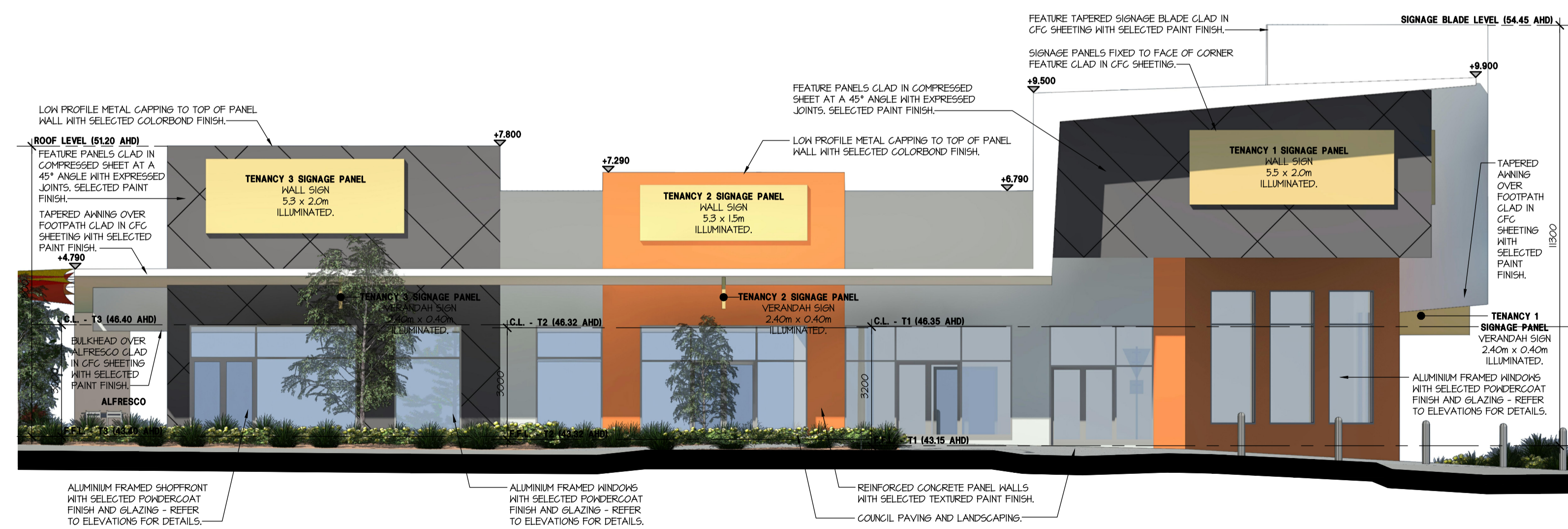
E1 - WEST ELEVATION

SCALE 1:100



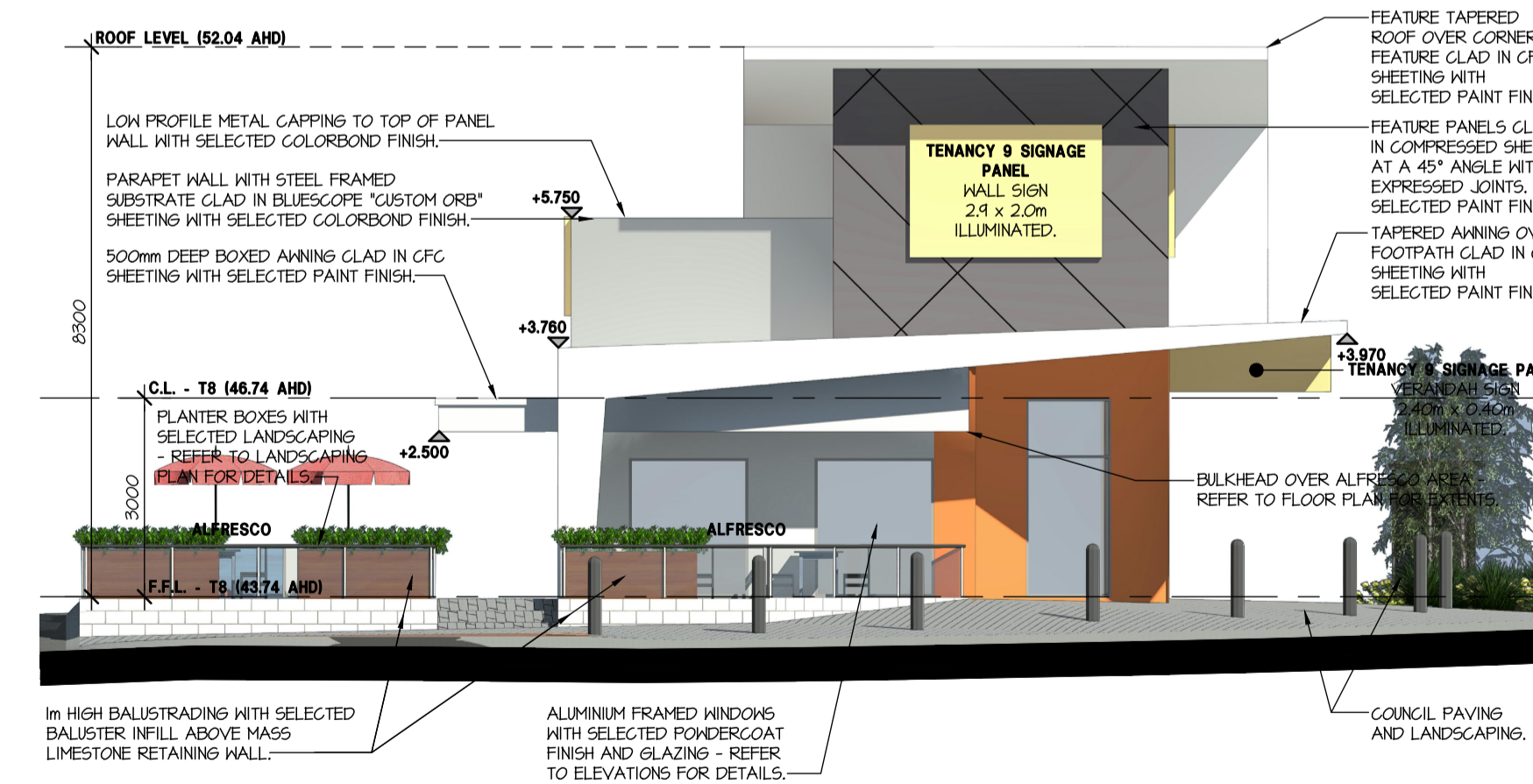
E2 - NORTH ELEVATION - PART 1

SCALE 1:100



E2 - NORTH ELEVATION - PART 2

SCALE 1:100



E3 - WEST ELEVATION

SCALE 1:100



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PTY LTD  
BUILDING DESIGNERS

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ACN No. 088 989 904

NO.	DATE	REVISION	DRAWN	CHECK
PRE	17.01.19	PRELIMINARY ISSUE	CPH	CPH
A	05.07.19	DEVELOPMENT APPLICATION ISSUE	CPH	CPH
B	08.01.20	CHANGES TO FEATURE CLADDING	MDB	CPH
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A1 SHEET

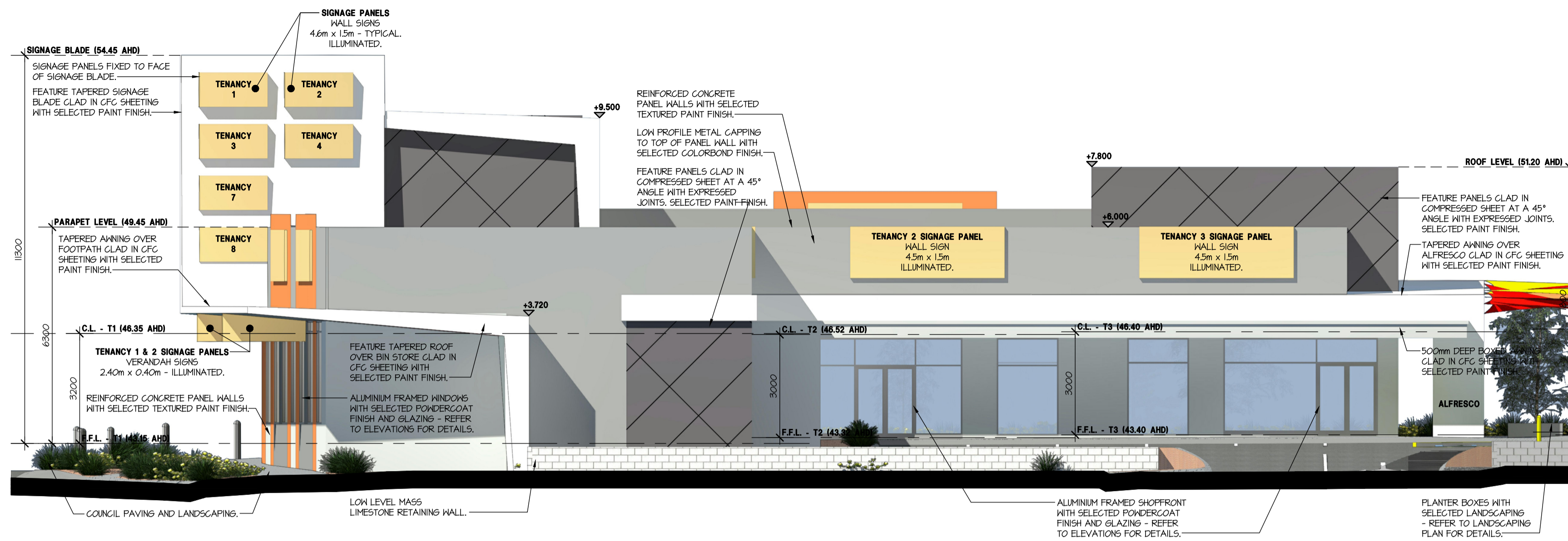
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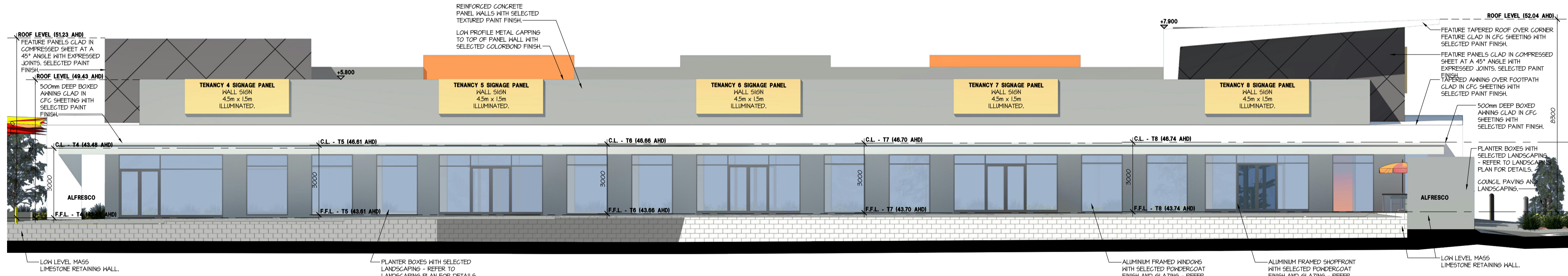
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PROPOSED MIXED USE DEVELOPMENT  
LOT 3030 BUTLER BOULEVARD  
BUTLER  
for AJ HOLDINGS AUS PTY LTD

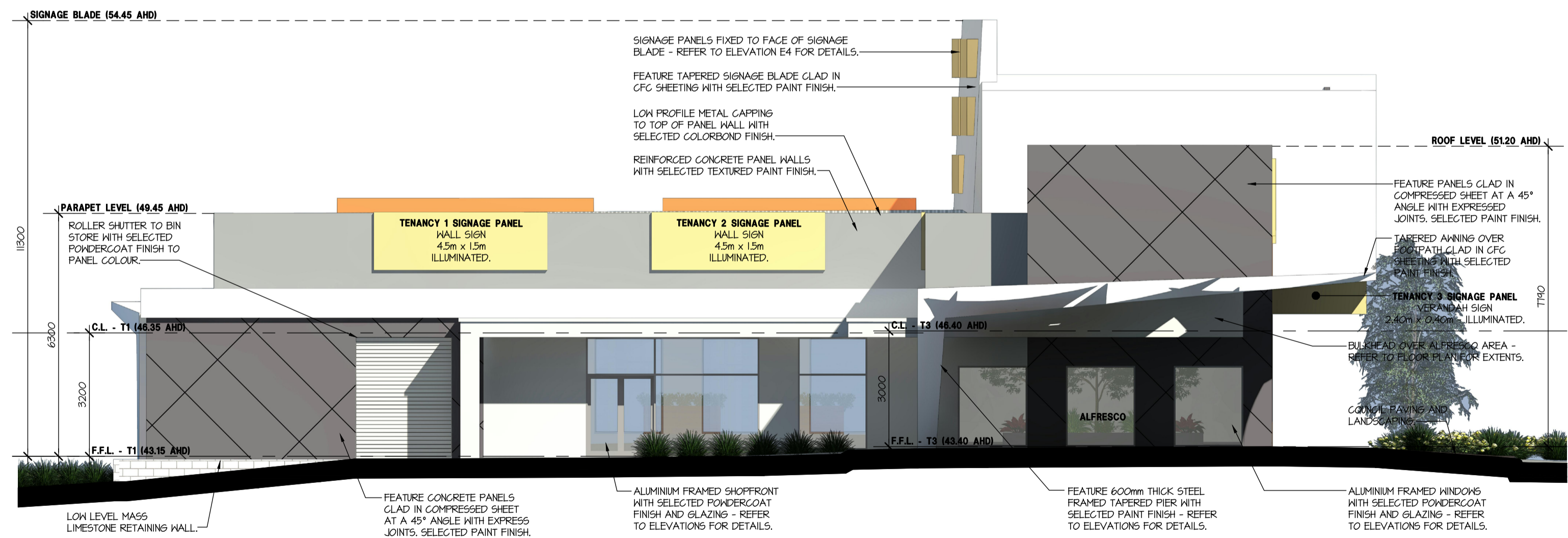
Date - 08.01.20  
Design - CPH  
Drawn - CPH  
Checked - CPH  
Scale - 1:100  
Job No. 0878  
Dwg - DA06  
Rev - B



**E4 - SOUTH ELEVATION - PART 1**  
SCALE 1:100



**E4 - SOUTH ELEVATION - PART 2**  
SCALE 1:100



**E5 - EAST ELEVATION**  
SCALE 1:100



**E6 - WEST ELEVATION**  
SCALE 1:100

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HINDLEY TRUST  
ACN No. 088 989 904

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PRE	17.01.19	PRELIMINARY ISSUE	CPH	CPH
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B	08.01.20	CHANGES TO FEATURE CLADDING	MDB	CPH

A1 SHEET

**PROPOSED MIXED USE DEVELOPMENT**  
**LOT 3030 BUTLER BOULEVARD**  
**BUTLER**  
for AJ HOLDINGS AUS PTY LTD

**HIA**  
HINDLEY & ASSOCIATES  
PTY LTD  
BUILDING DESIGNERS  
166 STIRLING HIGHWAY  
NEDLANDS WA 6009  
PO BOX 199  
NEDLANDS WA 6009  
PHONE - 9386 6699  
FAX - 9386 6700  
admin@hindley.com.au

**DEVELOPMENT APPLICATION**

Date - 08.01.20  
Design - CPH  
Drawn - CPH  
Checked - CPH  
Scale - 1:100  
Job No. 0878  
Dwg No. **DA07**  
Rev - **B**



P1 - CORNER OF BUTLER BLVD & CAMBORNE PWY  
NOT TO SCALE



P2 - CORNER OF CAMBORNE PWY & CALNE LANE  
NOT TO SCALE



P3 - LAMPETER ROAD  
NOT TO SCALE



P4 - CORNER OF LAMPETER ROAD & BUTLER BLVD  
NOT TO SCALE



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PTY LTD  
BUILDING DESIGNERS

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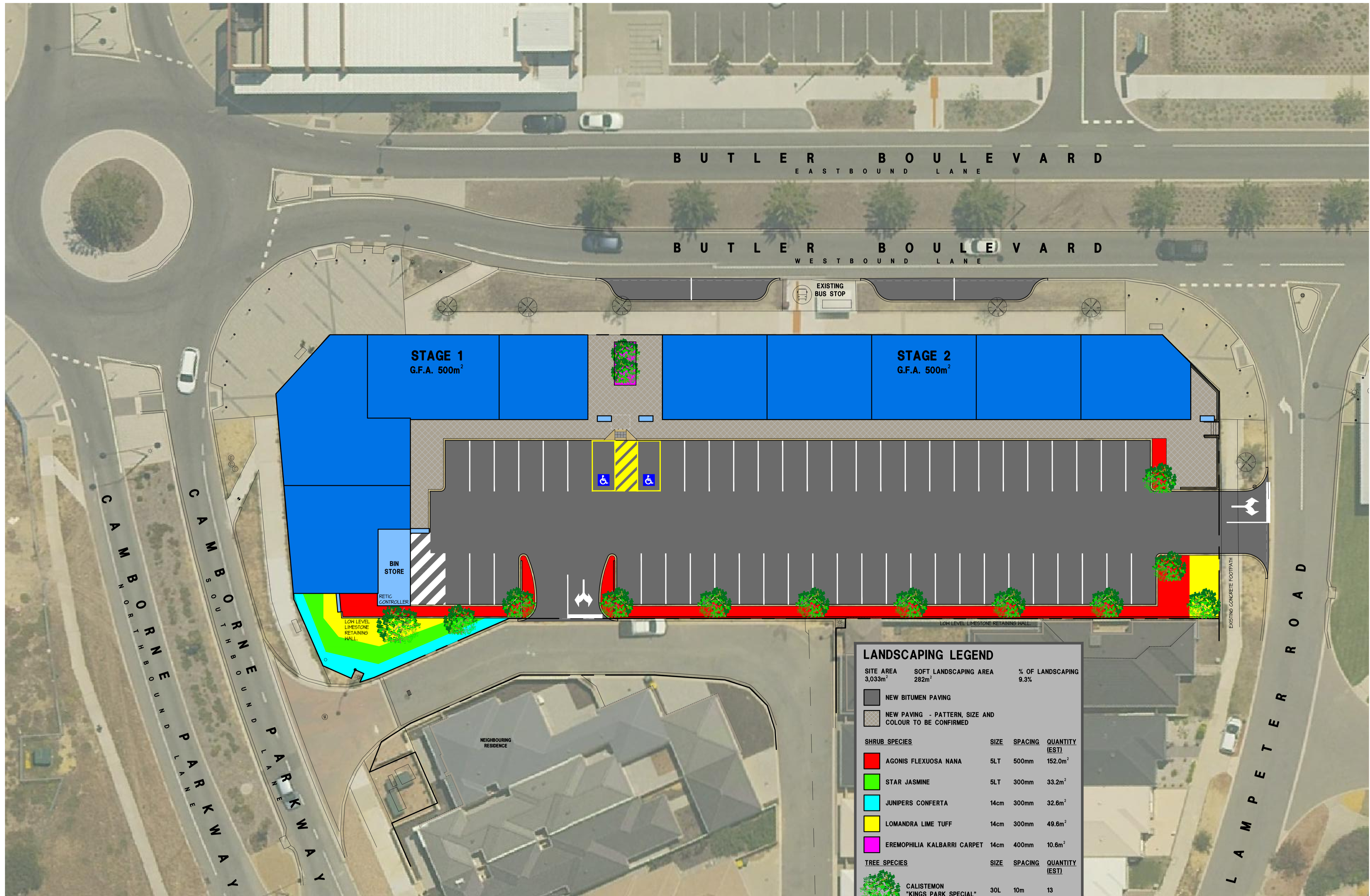


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PRE	22.01.19	PRELIMINARY ISSUE	CPH	CPH
A	05.07.19	DEVELOPMENT APPLICATION ISSUE	CPH	CPH
B	10.01.20	REVISED DEVELOPMENT APPLICATION	CPH	CPH

A1 SHEET

PROPOSED MIXED USE DEVELOPMENT  
LOT 3030 BUTLER BOULEVARD  
BUTLER  
for AJ HOLDINGS AUS PTY LTD

Date - 22.01.19  
Design - CPH  
Drawn - CPH  
Checked - CPH  
Scale - N.T.S.  
Job No. 0679  
Dwg - DA08  
Rev - B



**PROPOSED SITE PLAN**  
SCALE 1:200

LANDSCAPING LEGEND			
SITE AREA	SOFT LANDSCAPING AREA	% OF LANDSCAPING	
3,033m <sup>2</sup>	282m <sup>2</sup>	9.3%	
	NEW BITUMEN PAVING		
	NEW PAVING - PATTERN, SIZE AND COLOUR TO BE CONFIRMED		
SHRUB SPECIES	SIZE	SPACING	QUANTITY (EST)
	AGONIS FLEXUOSA NANA	5LT 500mm	152.0m <sup>2</sup>
	STAR JASMINE	5LT 300mm	33.2m <sup>2</sup>
	JUNIPERS CONFERTA	14cm 300mm	32.6m <sup>2</sup>
	LOMANDRA LIME TUFF	14cm 300mm	49.6m <sup>2</sup>
	EREMOPHILIA KALBARRI CARPET	14cm 400mm	10.6m <sup>2</sup>
TREE SPECIES	SIZE	SPACING	QUANTITY (EST)
	CALISTEMON "KINGS PARK SPECIAL"	30L 10m	13

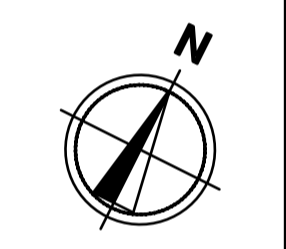
- LANDSCAPING NOTES**
- FINAL DENSITY, SPECIES AND PLANTING LOCATION OF SHRUBS AND GROUNDCOVERS ARE TO BE CONFIRMED BY CONTRACTOR WITH THE SUPERINTENDENT PRIOR TO PLANTING.
  - FINAL LOCATIONS OF TREE PLANTINGS TO BE DETERMINED BY ACTUAL SERVICE LOCATIONS AND ARE TO BE CONFIRMED ON SITE.
  - PLANTS TO BE OFFSET 1m FROM KERBLINE TO ALLOW FOR OVERHANG IF ABLE.
  - GROUNDCOVERS ARE TO BE PLANTED IN GROUPS OF 3 & 5.
  - SQUARE SHOULDER CONCRETE KERBING TO DEFINE GARDEN AREAS.
  - RETICULATION CONTROLLER FIXED IN SERVICE AREA WITH WATERPROOF GPO.
  - ALL GARDEN AREAS SUPPLIED WITH JUNGLE MULCH - 80mm MIN.
  - IRRIGATION TO ALL GARDEN AREAS WITH 13mm COMMERCIAL BORE DRIP LINE, PVC MAINLINES/ LATERAL LINES

PLAN SUPPLIED BY

**PANORAMIC**  
Gardens & Turf Management

admin@gtm.com.au  
P.O. Box 507 Wanneroo 6946

**PROPOSED MIXED USE DEVELOPMENT**  
**LOT 3030 BUTLER BOULEVARD**  
**BUTLER**  
for AJ HOLDINGS AUS PTY LTD



HINDLEY & ASSOCIATES  
PTY LTD  
BUILDING DESIGNERS

166 STIRLING HIGHWAY  
NEDLANDS WA 6009

PO BOX 199  
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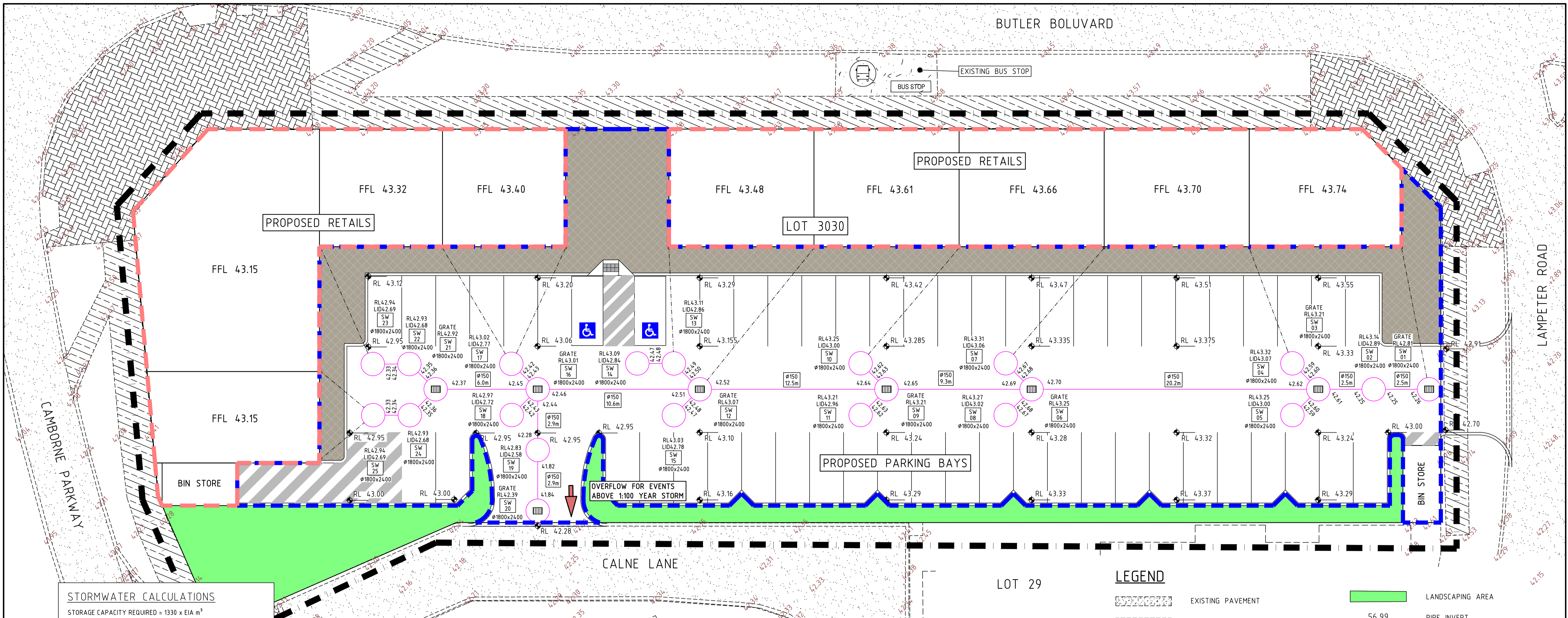
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HINDLEY TRUST  
ACN No. 088 989 904

NO.	DATE	REVISION	DRAWN	CHECK
PRE	22.01.19	PRELIMINARY ISSUE	CPH	CPH
A	05.07.19	DEVELOPMENT APPLICATION ISSUE	CPH	CPH
B	03.12.19	ALTERED TO REFLECT DRP COMMENTS	CPH	CPH

**A1 SHEET**

Date - 22.01.19  
Design - CPH  
Drawn - CPH  
Checked - CPH  
Scale - 1:200  
Job No. 0679  
Dwg - **DA03**  
Rev - **B**





**STORMWATER CALCULATIONS**

STORAGE CAPACITY REQUIRED = 1330 x EIA m<sup>3</sup>

TOTAL IMPERVIOUS AREA (ROOF, PATH, CARPARK)  
LOT 3030 = 2815 m<sup>2</sup>

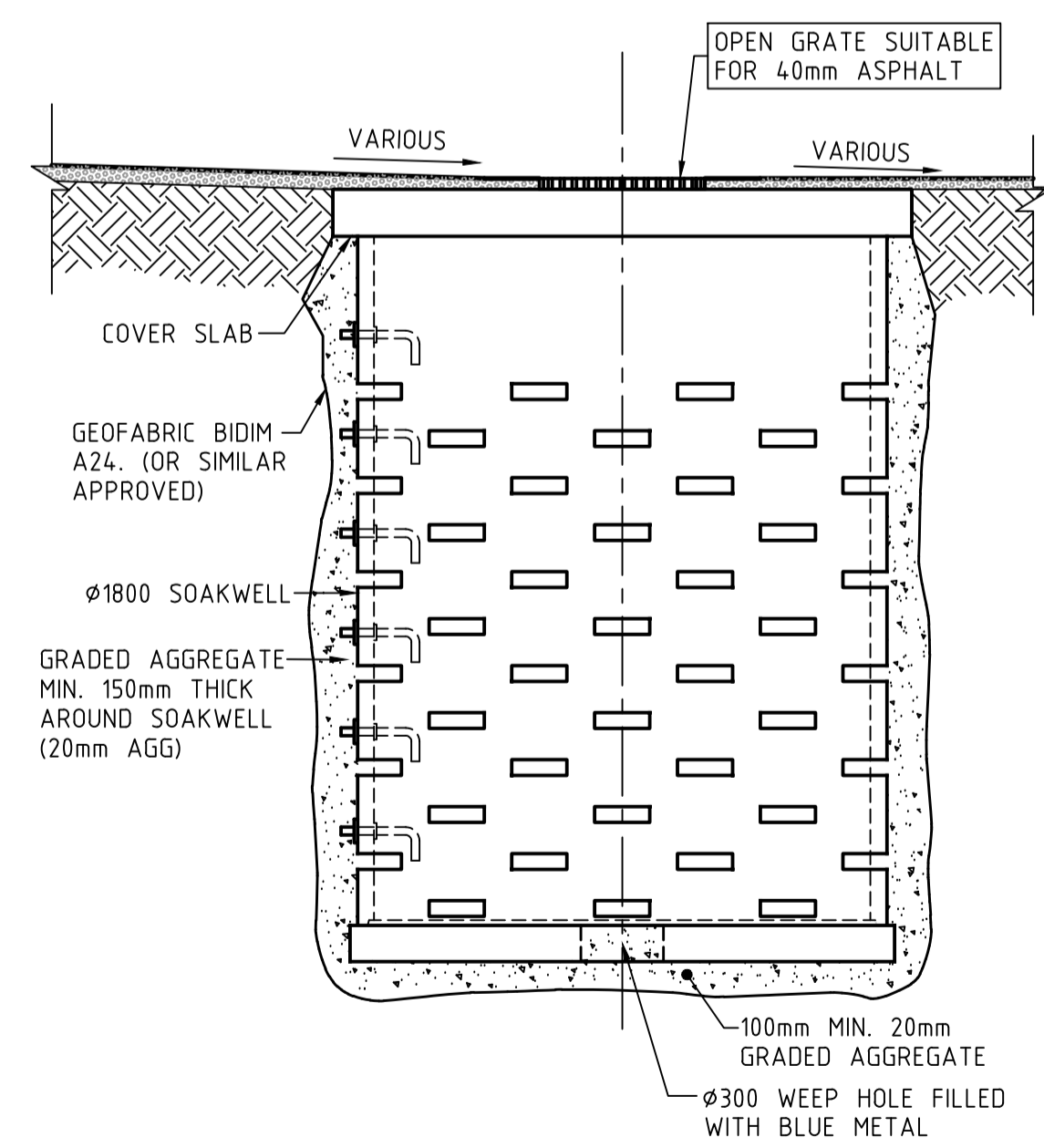
TOTAL ONSITE STORAGE REQUIRED,  
LOT 3030 = 1330 x 0.2815 = 374.4 m<sup>3</sup> / ha

SOAKWELL VOLUME = 6.11 m<sup>3</sup>  
SOAKAGE AREA = 9.33 m<sup>2</sup>  
VOL + SOAK AREA = 15.44 m<sup>3</sup>  
AREA SERVED FOR 100 YEAR, 24 HOUR STORM = 116.1 m<sup>2</sup>

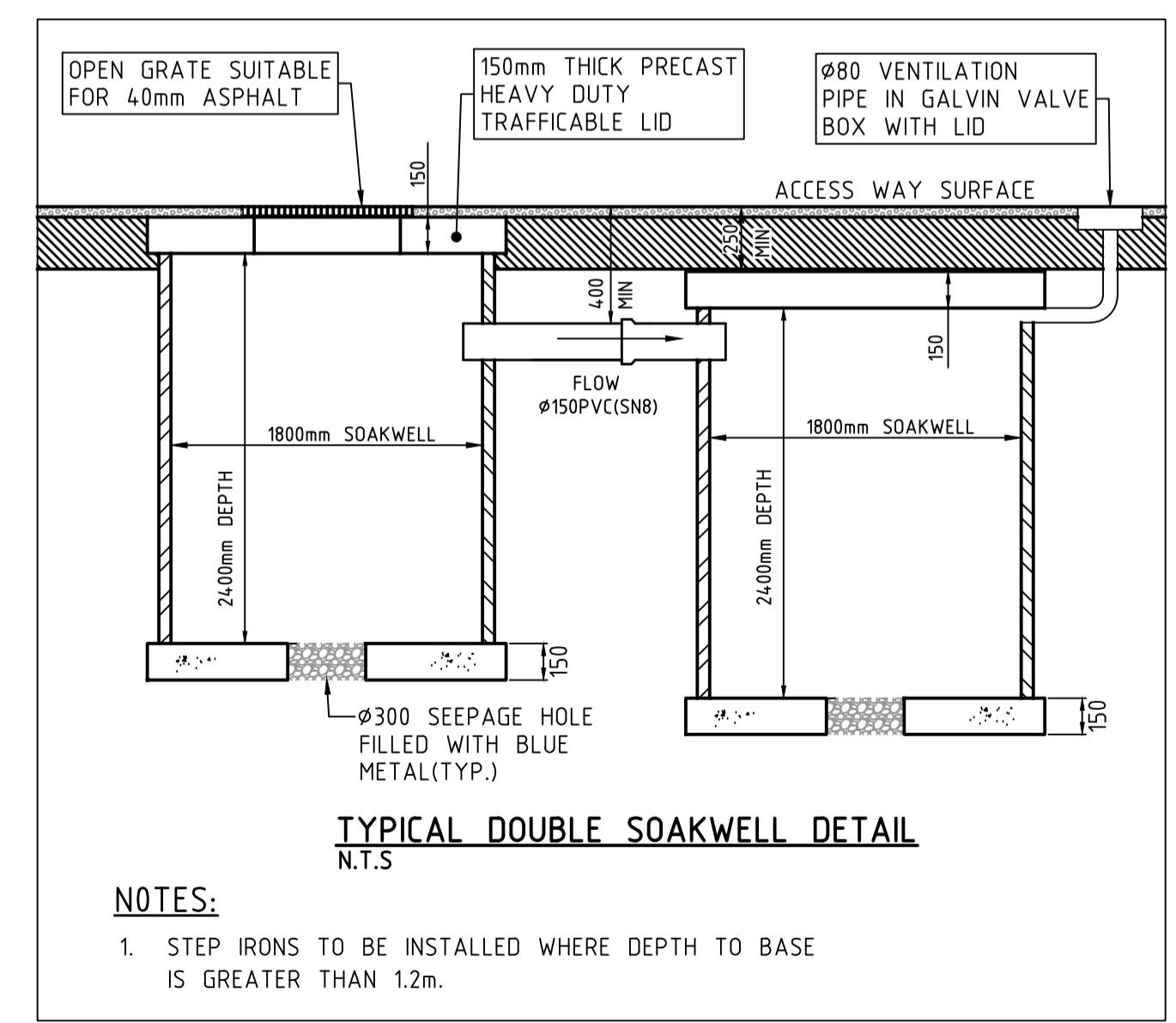
QUANTITY NEEDED = 2815 / 116.1 = 24.25 SOAKWELLS

THEREFORE 25 SOAKWELLS (Ø1800 x 2400) PROVIDED FOR THE SITE

GRATE	SOAKWELL	Easting	Northing	LID Level
Y	SW01	376544.26	649894.99	42.81
N	SW02	376540.36	649894.54	42.89
Y	SW03	376536.45	649894.36	43.21
N	SW04	376533.86	649894.73	43.07
N	SW05	376535.40	649894.109	43.00
Y	SW06	376516.26	6498935.12	43.25
N	SW07	376513.66	6498936.18	43.06
N	SW08	376515.21	6498932.53	43.02
Y	SW09	376506.04	6498930.79	43.21
N	SW10	376503.45	6498931.84	43.00
N	SW11	376504.99	6498928.20	42.96
Y	SW12	376492.89	6498925.21	43.07
N	SW13	376490.29	6498926.26	42.86
N	SW14	376487.72	6498925.16	42.84
N	SW15	376491.84	6498922.61	42.78
Y	SW16	376481.47	6498920.37	43.01
N	SW17	376478.86	6498921.37	42.77
N	SW18	376480.42	6498917.78	42.72
N	SW19	376483.29	6498916.09	42.58
Y	SW20	376485.10	6498911.80	42.39
Y	SW21	376474.29	6498917.32	42.92
N	SW22	376471.68	6498918.31	42.68
N	SW23	376469.10	6498917.22	42.69
N	SW24	376473.24	6498914.72	42.68
N	SW25	376470.66	6498913.63	42.69



**TYPICAL SOAKWELL SECTION**  
SCALE 1:25



**TYPICAL DOUBLE SOAKWELL DETAIL**  
N.T.S.

**NOTES:**  
1. STEP IRONS TO BE INSTALLED WHERE DEPTH TO BASE IS GREATER THAN 1.2m.

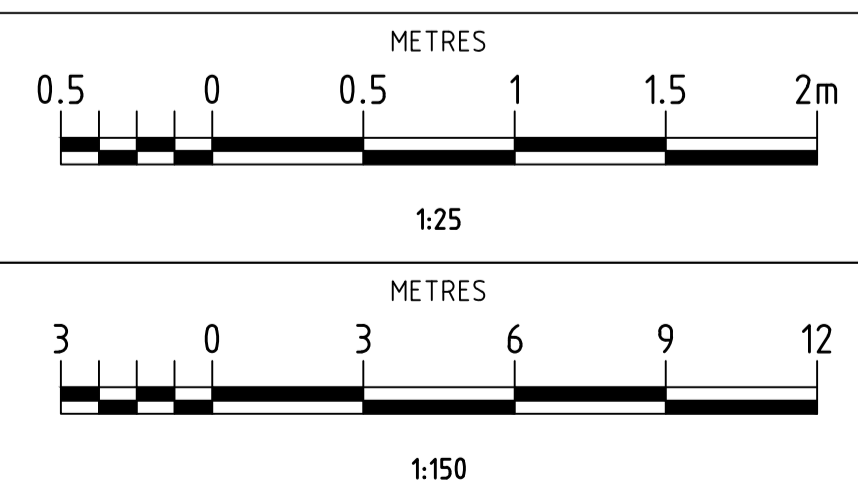
**LAYOUT PLAN**  
SCALE 1:150

**LEGEND**

- EXISTING PAVEMENT
- EXISTING BLOCKPAVING
- EXISTING FOOTPATH
- EXTENT OF WORKS
- PROPOSED DRAINAGE
- PROPOSED PVC DOWNPIPE CONNECTIONS.
- SOAKWELL WITH GRATE (Ø1800x2400)
- CATCHMENT AREA
- PROPOSED FOOTPATH
- LANDSCAPING AREA
- PIPE INVERT
- PIPE DIAMETER (SN8) DISTANCE
- GRATE COVER (WEAVED PATTERN) COVER LEVEL
- CONCRETE SOAKWELL NUMBER
- SOAKWELL SIZE
- FFL 1.80
- OVERFLOW FOR EVENTS ABOVE 1:100 YEAR STORM
- PROPOSED LEVELS FROM ARCHITECTURAL DRAWING

**NOTES**

1. ALL DIMENSIONS ARE IN METERS UNLESS NOTED OTHERWISE.
2. CHECK ALL DIMENSIONS ON SITE. READ ALL ENGINEERING DRAWINGS IN CONJUNCTION WITH WOODMAN ARCHITECTS ARCHITECTURAL DRAWING JOB No 1714 (WANNEROO CHILDCARE PROJECT). ANY DISCREPANCIES BETWEEN ENGINEERING DRAWINGS AND ARCHITECTURAL DRAWINGS SHALL BE CONFIRMED PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WORK TO BE IN ACCORDANCE WITH "AS3500-2003 PLUMBING & DRAINAGE", THE "BUILDING CODE OF AUSTRALIA" AND THE LOCAL AUTHORITY'S STANDARD SPECIFICATIONS.
4. DOWN PIPES TO BE LOCATED SO EACH SOAKWELL FILLS AT SAME RATE (I.E. ROOF AREA TO EACH TANK IS PROPORTIONAL TO ITS VOLUME).
5. ALL SOAKWELLS ARE TO BE SETBACK FROM ALL BUILDINGS ON THE SITE INCLUDING ANY STRUCTURE LOCATED ON THE BOUNDARY.
6. ALL PVC PIPES TO BE CLASS SN8 UNLESS SHOWN OTHERWISE.
7. ALL SOAKWELLS TO BE INTERCONNECTED WITH Ø150PVC SN8 CLASS WITH A MINIMUM OF 400mm COVER.
8. WHERE SOAKWELLS ARE LOCATED IN AREAS SUBJECT TO VEHICULAR LOADING, SOAKWELLS TO HAVE GRATE ADJUSTED FOR 40mm THICK BITUMEN AND HEAVY DUTY TRAFFICABLE LID COVER (TYP.).
9. CONTRACTOR'S PLUMBING CONTRACTOR IS TO COORDINATE INSTALLATION OF ALL SERVICES AND REPORT ANY LEVEL OF DISCREPANCIES TO THE SUPERINTENDENT IMMEDIATELY.



**NOTES**  
COPYRIGHT OF ALL THIS DRAWING IS RESERVED BY THE CONSULTING ENGINEER.  
THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS RELATING TO OTHER TRADES FOR ACCURATE CO-ORDINATION OF SERVICES.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR 'SITE CHECKING' ALL DIMENSIONS BEFORE PREPARATION OF WORKING DRAWINGS OR COMMENCEMENT OF WORK. THIS DRAWING IS THE PROPERTY OF THE CONSULTING ENGINEER AND SHALL BE RETURNED UPON REQUEST.

DATE	REVISION	BY
21.12.18	ISSUED FOR APPROVAL TO CITY OF WANNEROO	J.P.

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DRAWING: **LOT 3030 (#31) BUTLER BOULEVARD BUTLER STORMWATER DRAINAGE PLAN**

SCALE AS SHOWN DATE: 20.12.18 DRAWING No: **WE18/75-30** REV: **A**

DRAWN: J.P. SHEET 1 OF 1 WAPC No. APPROVED FOR CONSTRUCTION: J.P. CAD FILE No: WE-18-75-30 CHECK: J.D. CAD DRAWING DO NOT MANUALLY ALTER