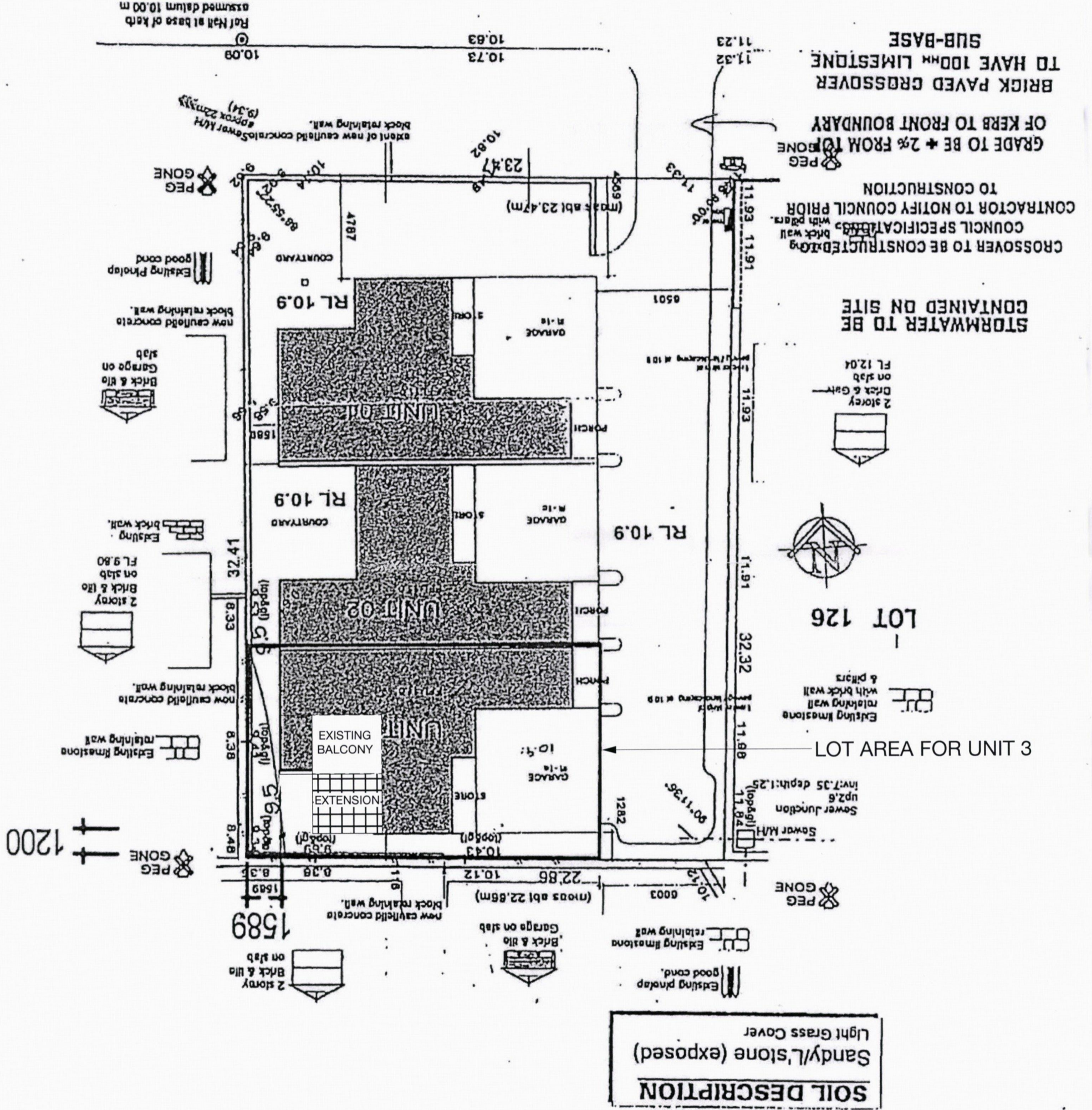
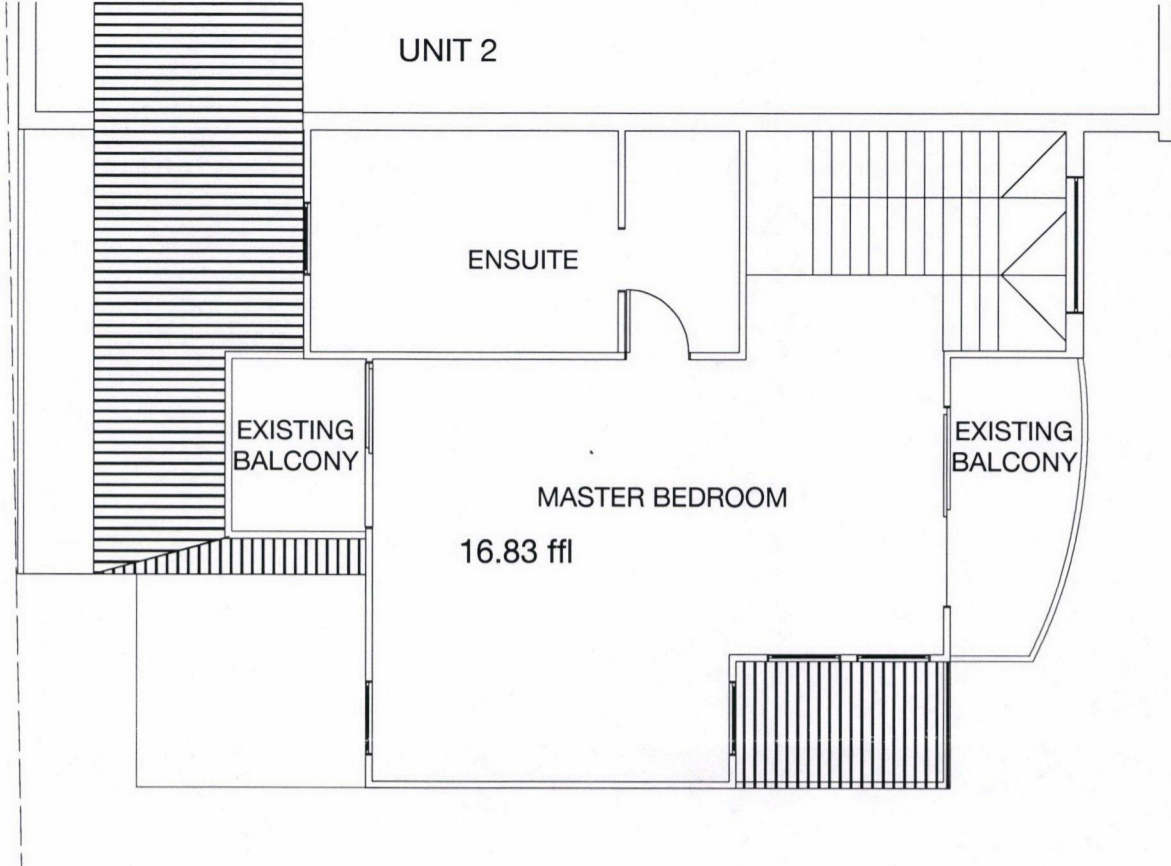
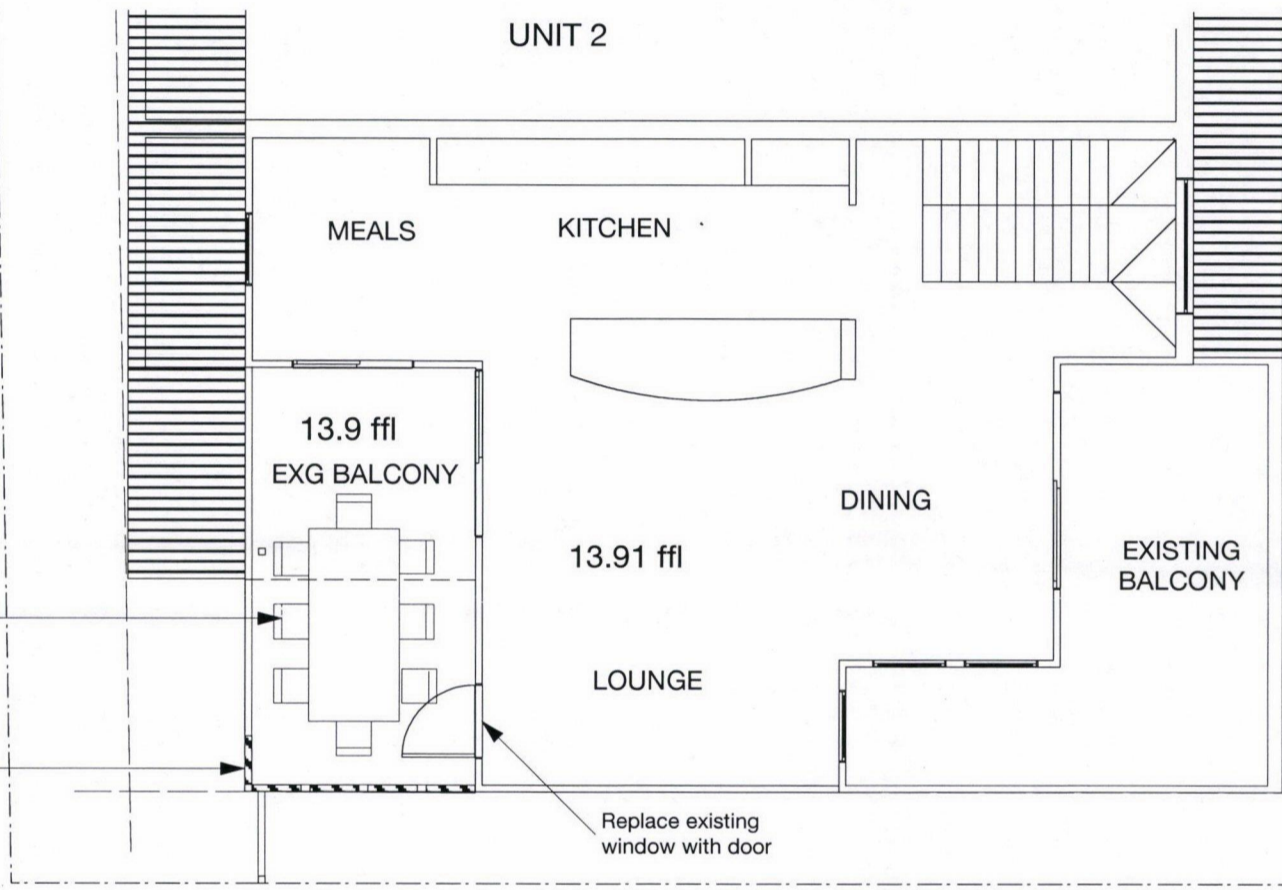


ROSSLARE PROMENADE

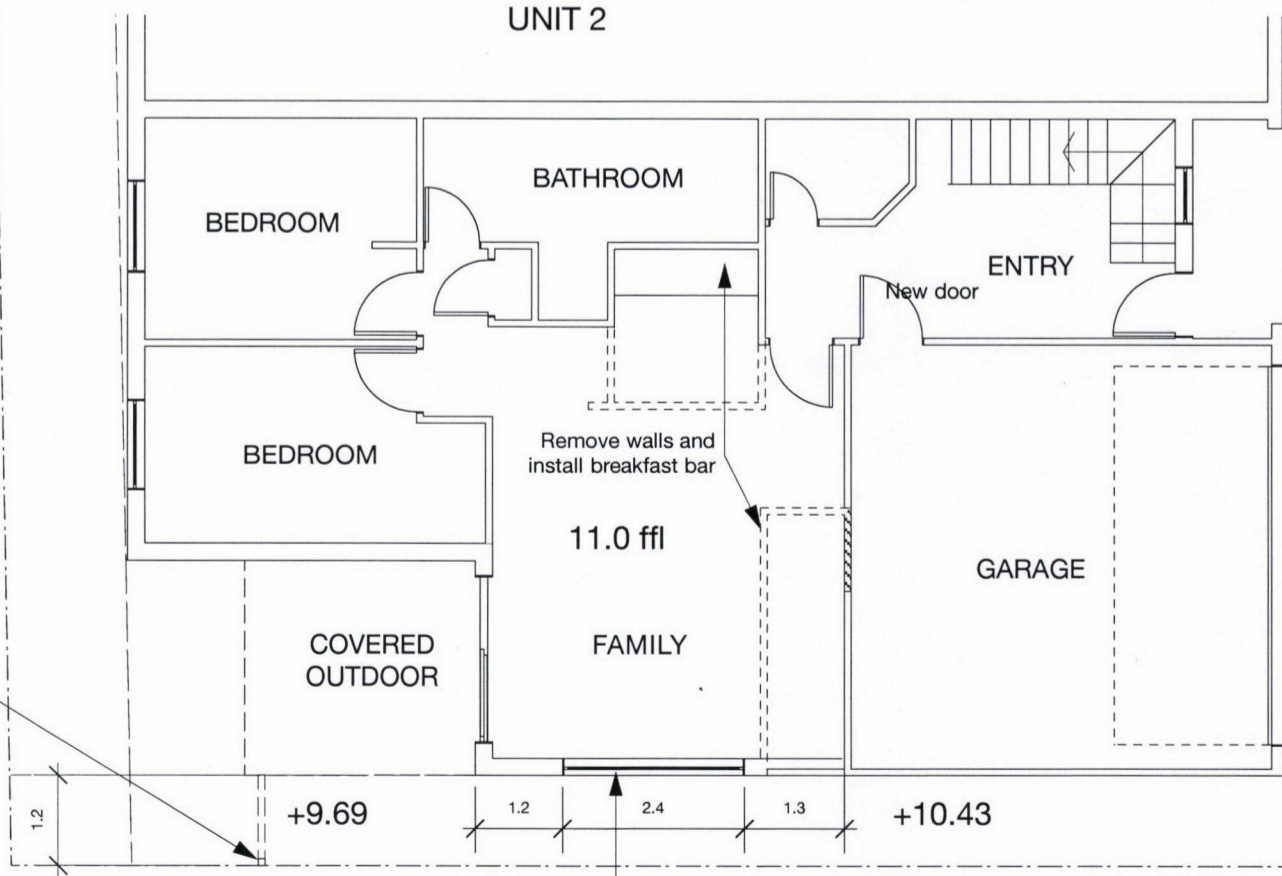




TOP LEVEL



UPPER LEVEL



GROUND LEVEL

PROPOSED BALCONY EXTENSION TO UNIT 3, 19 ROSSLARE PROMANADE, MINDARIE
 FOR MARK AND LISA COLLINS
 PLANS 1: 100 January 2020

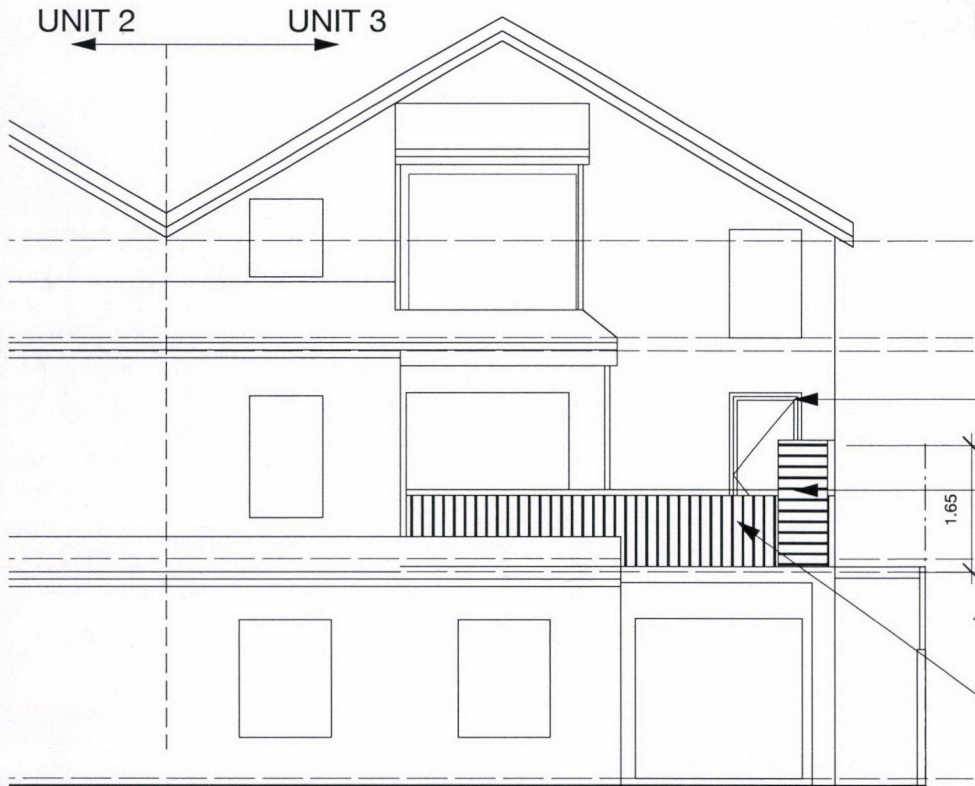
12 Talybont Bend Butler
 Western Australia 6036
 T 9562 1247
 M 0459 063 681
 E dicarch@inet.net.au



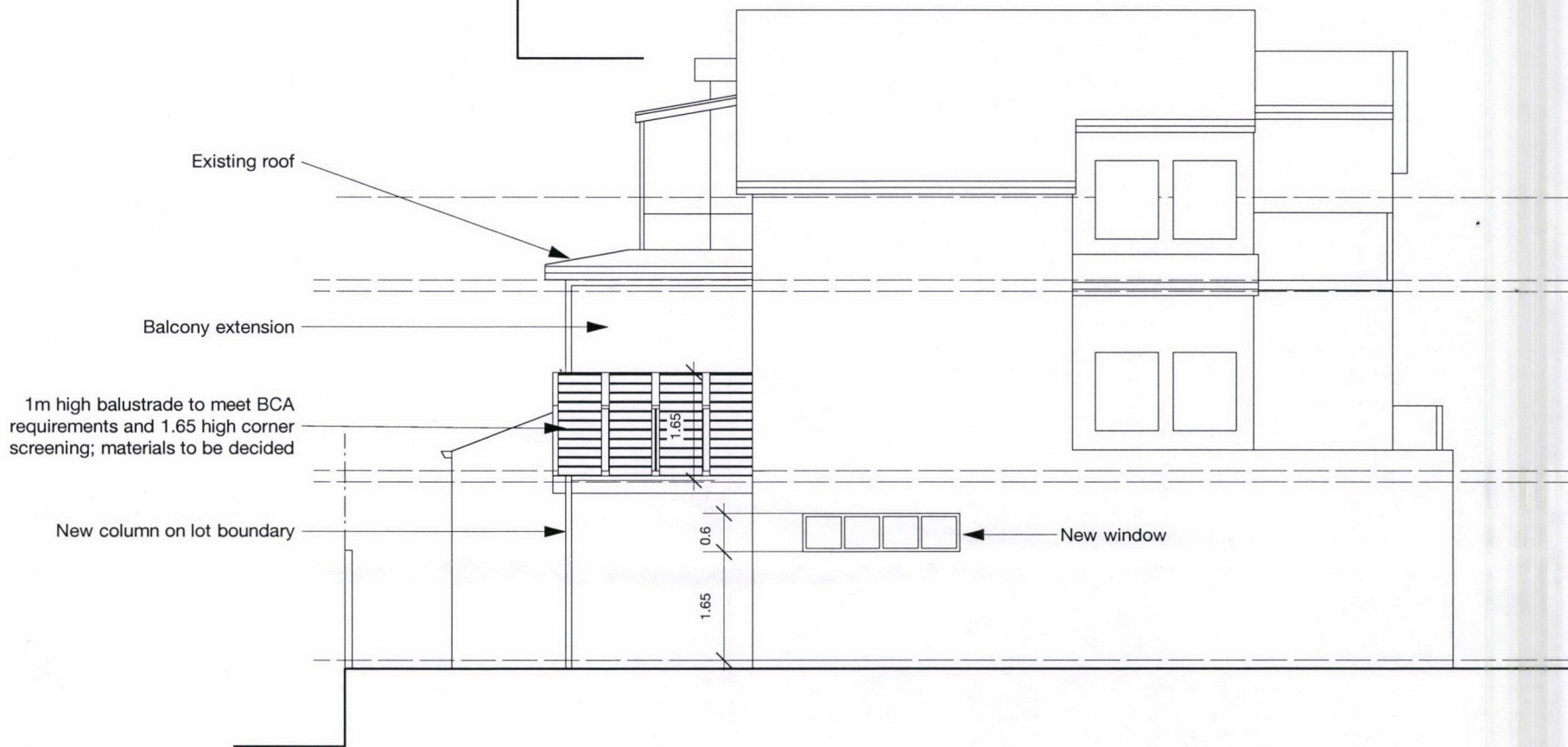
Dickie
architects

UNIT 2 UNIT 3

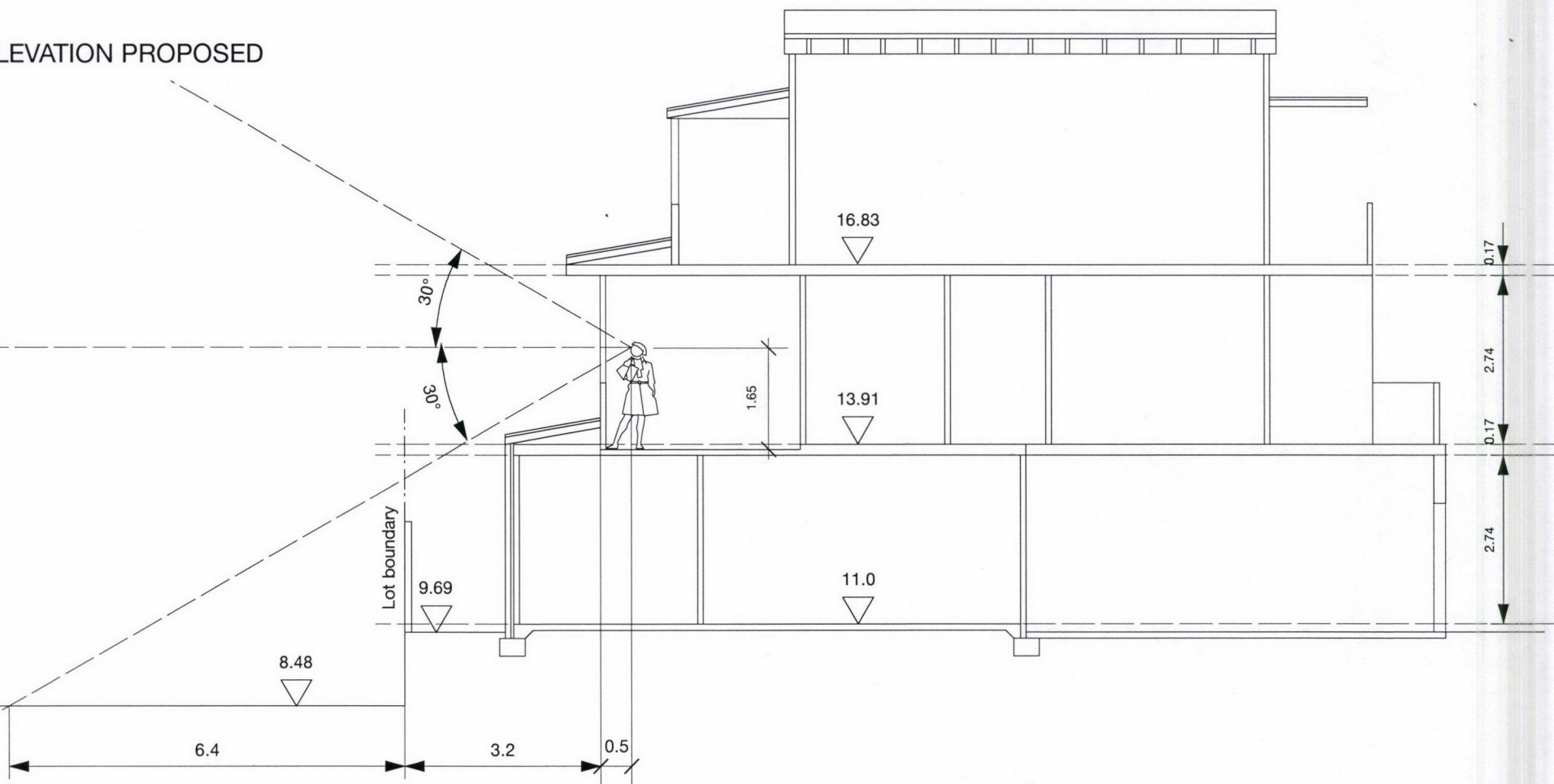
LOT 500



PROPOSED WEST ELEVATION



SOUTH ELEVATION PROPOSED



WEST- EAST BALCONY SECTION LOOKING NORTH
SHOWING EXISTING CONE OF VISION WHICH ALSO APPLIES TO EXTENSION

PROPOSED BALCONY EXTENSION TO UNIT 3, 19 ROSSLARE PROMANADE, MINDARIE
FOR MARK AND LISA COLLINS

UNIT 3 ELEVATIONS & SECTIONS

1: 100 January 2020

City of Wanneroo IM 06-01-2020

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23 ROSSLARE PROMENADE

21 ROSSLARE PROMENADE

LOT 126

Edge of unit open space

32.41

32.32

EXTENSION TO BALCONY OF UNIT 3

THIS ADDITIONAL AREA IS OVERLOOKED FROM BALCONY EXTENSION 5.84 sq m

30 deg to level ground

EXISTING

EXISTING

ADDITION

0.5

0.5

22.86

NOTE

Information on adjoining property taken from Intramaps and aerial photograph on Council website and from site observation (counting paving blocks to locate adjacent structures) Area of Lot 500 shown as 3207.5 sq m Actual land area 3199 sq m

Rock walling to water line
Common access path

LOT BOUNDARY LINE LOT 500

PROPOSED BALCONY EXTENSION TO UNIT 3, 19 ROSSLARE PROMANADE, MINDARIE FOR MARK AND LISA COLLINS
RELATIONSHIP TO DEVELOPMENT ON LOT 500 1: 200 January 2020
CONES OF VISION FOR EXTENDED BALCONY

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