

NOTE:
230 CAVITY BRICKWORK WITH RENDERED FINISH EXTERNALLY.

NOTE:
EXPANSION JOINTS IN MASONRY WALLS IN ACCORDANCE WITH AS 4773. REFER TO ENGINEERS DETAIL FOR POSITION OF EXPANSION JOINTS.

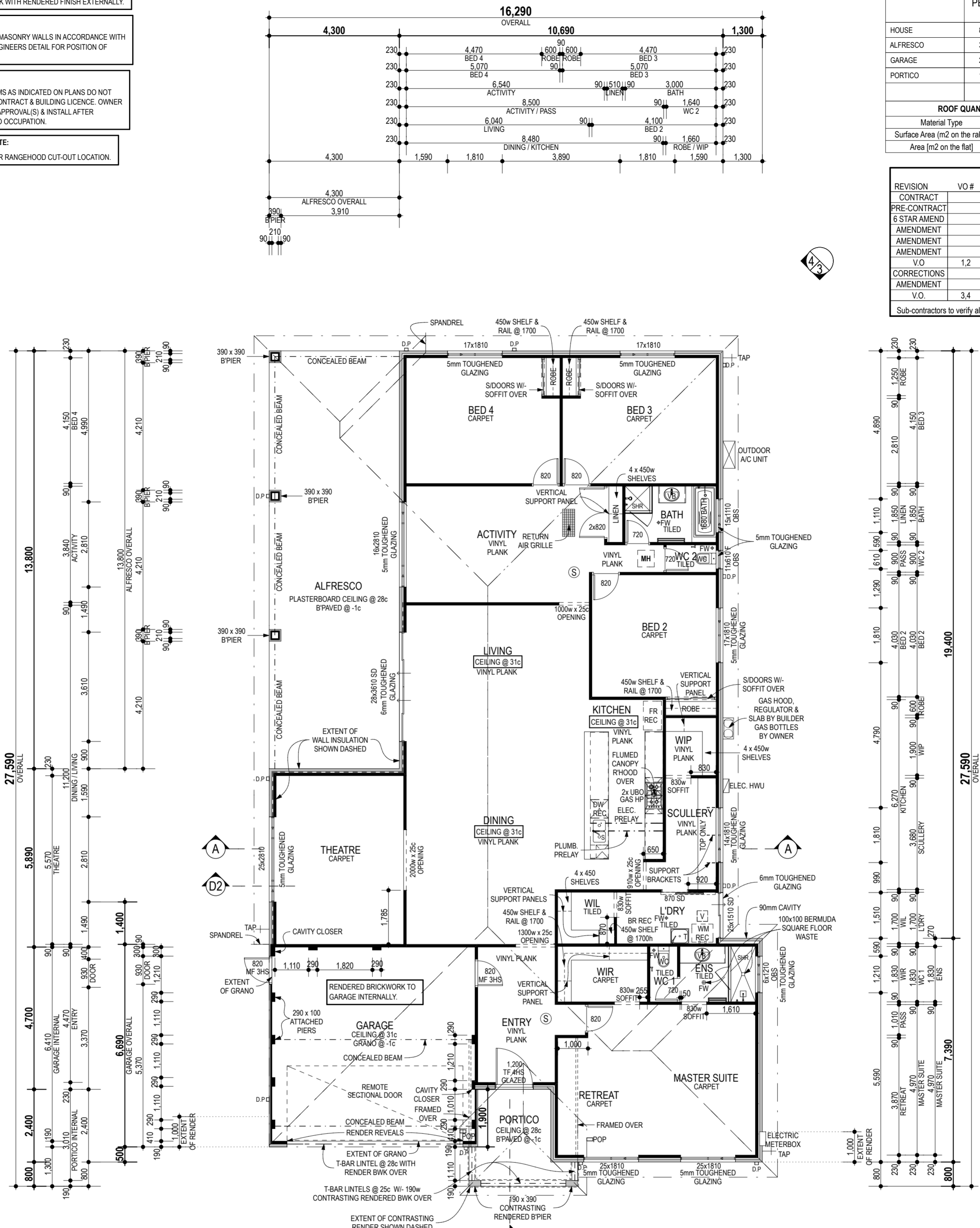
NOTE:
OWNER SUPPLIED ITEMS AS INDICATED ON PLANS DO NOT FORM PART OF THIS CONTRACT & BUILDING LICENCE. OWNER TO SEEK APPLICABLE APPROVAL(S) & INSTALL AFTER HANDOVER & PRIOR TO OCCUPATION.

ROOF CARPENTER NOTE:
REFER TO SHEET 2 FOR RANGEHOOD CUT-OUT LOCATION.

AREAS:		
	PERIM. (m)	AREA (m ²)
HOUSE	86.16	297.57
ALFRESCO	36.20	59.34
GARAGE	27.16	45.17
PORTICO	13.58	8.71
		410.79 m ²
ROOF QUANTITIES		
Material Type	Roof Metal	
Surface Area (m ² on the rake)	493.62	
Area [m ² on the flat]	448.39	

REVISION	VO #	DRN	DATE	CHK
CONTRACT		MAB	30.10.19	CJ
PRE-CONTRACT		MAB	11.11.19	AP
6 STAR AMEND		RDC	13.11.19	AP
AMENDMENT		AV	21.11.19	
AMENDMENT		AV	22.11.19	
AMENDMENT		AV	26.11.19	
V.O	1,2	JAR	04.02.20	EP
CORRECTIONS		AV	05.02.20	
AMENDMENT		AV	06.02.20	
V.O.	3,4	AV	26.02.20	

Sub-contractors to verify all dimensions on site.



FLOOR PLAN
SCALE 1:100

NOTE:
DWELLING TO COMPLY WITH AS3959 TO BAL 12.5 RATING.

BAL 29 NOTE:

- PROVIDE WEEPA VENTS TO BRICKWORK, UPGRADED SEALS TO EXTERNAL HINGED DOORS (S), EMBER SEALS TO GARAGE DOORS, R1.3 FOIL BACKED ROOF INSULATION BLANKET TO ENTIRE ROOF AREA & EMBER SHIELDS TO FLUMES TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5.
- PROVIDE SCREENING OF ALL OPENABLE PORTIONS OF WINDOWS WITH CORROSION RESISTANT METAL MESH WITH MAXIMUM APERTURE OF 2mm TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5.
- PROVIDE 5MM TOUGHENED GLASS TO ALL WINDOW GLAZING WITHIN 400mm OF GROUND AND 5MM TOUGHENED GLASS (MINIMUM) TO ALL SLIDING DOOR GLAZING TO COMPLY WITH BUSHFIRE ATTACK LEVEL 12.5.

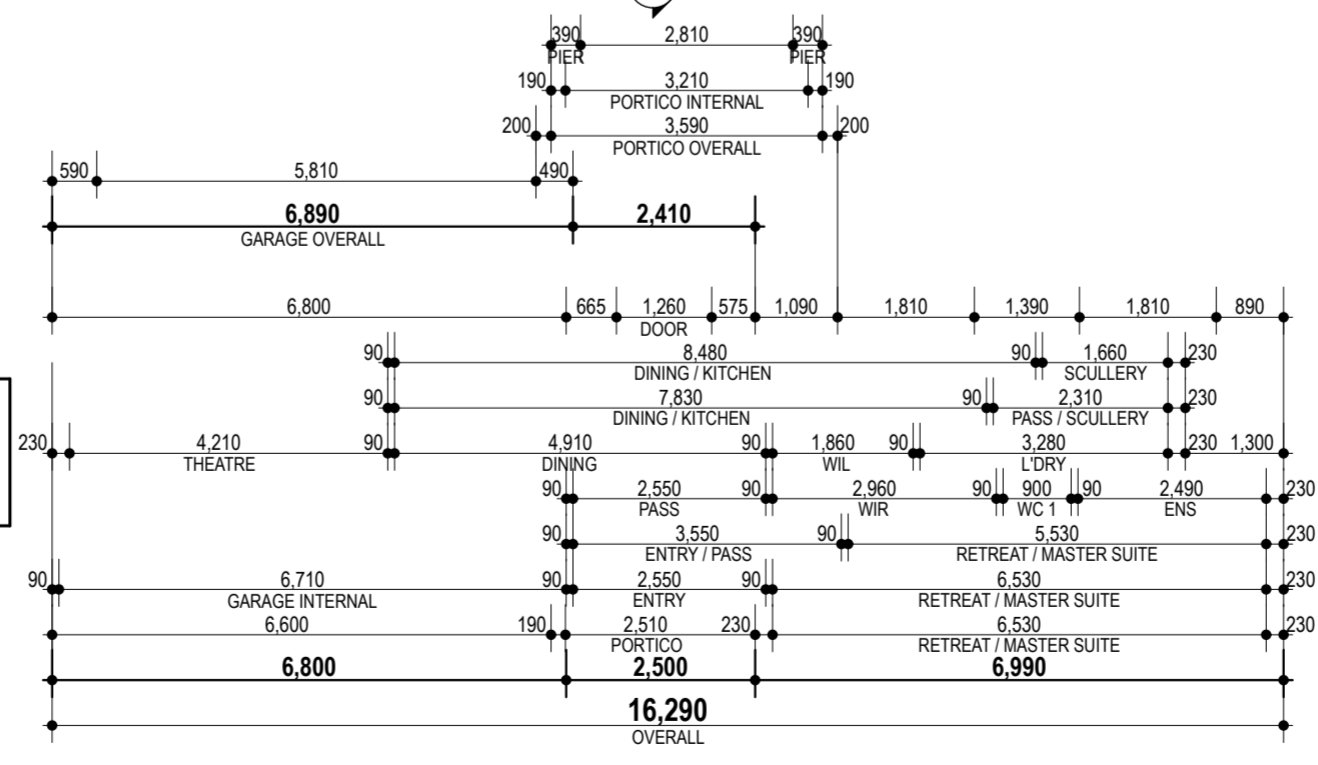
6 STAR NOTE:

- R4.0 BATTS INSULATION TO CEILING AREAS OF HOUSE & GARAGE.
- R1.3 WALL INSULATION EXTENT AS SHOWN ON PLANS.
- EXHAUST FAN TO WET AREAS TO HAVE DRAFT STOPPERS.

NOTE:
THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.

NOTE:
DRY WALL PLASTERBOARD LINING TO INTERNAL WALLS.

NOTE:
PIER & POST FOOTINGS @ -3c
GARAGE FOOTINGS @ -3c



NOTE:
85mm CONCRETE SLAB TO ENGINEERS DETAIL.

NOTE:
GLAZING CONSTRUCTION AND INSULATION TO BE IN ACCORDANCE WITH AS 1288 (CURRENT) & AS 2047 (CURRENT)

NOTE:

- DO NOT SCALE FROM DRAWINGS DIMENSIONS MUST BE FOLLOWED AND CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER / PLASTERBOARD.
- DOWN PIPES ARE TO BE LOCATED AT PLUMBERS DISCRETION TO SUIT ROOFWATER VOLUME AND ROOF MEMBERS.
- FLOOR WASTES/ CEILING VENTS/ MANHOLE SHOWN DIAGRAMMATICALLY ONLY AND MAY BE RELOCATED ON SITE AS REQUIRED.
- ROOF BEAMS ARE SHOWN DIAGRAMMATICALLY ONLY.
- CL @ 28c THROUGHOUT UNLESS NOTED OTHERWISE.



22 MOUNT STREET PERTH PH: 9261 1888
REG. BUILDER N°: 9769
A.B.N. 54 052 543 450
BGC RESIDENTIAL PTY LTD

REVISION	VO #	DRN	DATE	CHK
AMENDMENT		AV	04.03.20	
AMENDMENT		AV	10.03.20	
AMENDMENT		AV	23.03.20	

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

CLIENT: KUCERA

ADDRESS: LOT 1403 (#22)
FORREST GROVE
TWO ROCKS

WEDGE		BENCHMARK SPEC	
MODEL N°	47667	DATE	23.03.20
MAP REF.	31 /74 /68	WIND RATING	N1
COASTAL CONDITION	R4	ENGINEERS DETAIL	D10V2
HOME ID	50299	SHEET N°	1 OF 6

HOME ID	50299					SHEET N°	6 OF 6				
REVISION	VO #	DRN	DATE	CHK							
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Sub-contractors to verify all dimensions on site.											

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

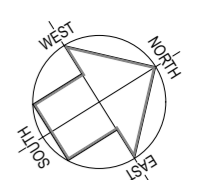
NOTE: BOUNDARY POSITION AS PER ALIGNMENT

WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

PLANNING: DESIGN CHANGES MAY BE REQUIRED. DESIGN SUBJECT TO DEVELOPMENT APPROVAL. -OVERLOOKING FROM THEATRE AND ALFRESCO. -LIMESTONE RETAINING WALL EXCEEDING 0.5m HIGH.

NOTE: BUILDER TO CONFIRM EXTENT AND HEIGHT OF EXISTING BRICK WALL TO REAR OF LOT. ADDITIONAL RETAINING/BANKING MAY BE REQUIRED TO REAR.

TRADES NOTE: PLEASE BE AWARE OF POWER LINES TO FRONT OF PROPERTY.



LOT 1403
994 m²
SANDY
BUSH COVER

COMMON LEGEND

- PF PEG FOUND
- Pdist PEG DISTURBED
- PG PEG GONE
- ⊕ DATUM / CONTROL
- SV STOP VALVE
- HY (GROUND) HYDRANT
- FP FLUSH POINT
- ⊕ TAP WATER TAP
- ⊕ MC METER CONNECTION
- M WATER METER
- DRAINAGE MANHOLE
- GRATE
- SIDE ENTRY PIT
- SEW SEWER MANHOLE
- IS INSPECTION SHAFT
- IO INSPECTION OPENING
- CP CONSUMER POLE
- PP POWER POLE
- LP LAMP POST
- SP STAY POLE
- PD POWER DOME / PILLAR
- TEL / NBN TELSTRA / NBN PIT
- GAS GAS METER
- ⊗ GAS GAS LINE MARKER (PT)
- 99 TOW TOP OF WALL
- 99 TOR TOP OF RETAINER
- 99 STILL STILL DEEPER
- 99 TOB TOP OF BACKING BLOCK
- 99 TOR TOP OF FOOTING
- 99 BOF BOTTOM OF RETAINER
- 99 BOF BOTTOM OF FENCE FRAME

SERVICE INFORMATION

SEWERAGE: NO
WATER: YES
PRELAI: BTC
GAS: BTC
COMM: BTC
POWER: O/H

TBE - To Be Establish; BTC - Builder To Conform

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION, SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

COASTAL CONDITION R4

NOTE: 85mm CONCRETE SLAB TO ENGINEERS DETAIL.

NOTE: ANY REPAIRS/ REMOVAL/ REINSTATING OF FENCING OR RETAINING WALLS WILL BE THE RESPONSIBILITY OF THE OWNER.

NOTE: DWELLING TO COMPLY WITH AS3959 TO BAL 12.5 RATING.

NOTE: - PIER & POST FOOTINGS @ -3c
- GARAGE FOOTINGS @ -3c

NOTE: N1 WIND CLASSIFICATION. REFER TO ENGINEERS SPECIFICATION.

NOTE: OWNER SUPPLIED ITEMS AS INDICATED ON PLANS DO NOT FORM PART OF THIS CONTRACT & BUILDING LICENCE. OWNER TO SEEK APPLICABLE APPROVAL(S) & INSTALL AFTER HANDOVER & PRIOR TO OCCUPATION.

NOTE: 230 CAVITY BRICKWORK WITH RENDERED FINISH EXTERNALLY.

NOTE: SAND PAD LEVEL TOLERANCE +/-100mm TO ACCOMMODATE SITE CONDITIONS AND RESTRICTIONS. WHERE VARIANCE EXISTS IT MUST STILL BE COMPLIANT WITH LOCAL AUTHORITY REQUIREMENTS AND ENSURE SURFACE WATER WILL NOT ENTER THE BUILDING.

NOTE: PROVIDE 1.8M HIGH DIVIDING FENCE ON TOP OF RETAINING WALL TO ACHIEVE VISUAL PRIVACY - BY OWNER AFTER HANDOVER

NOTE: THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.

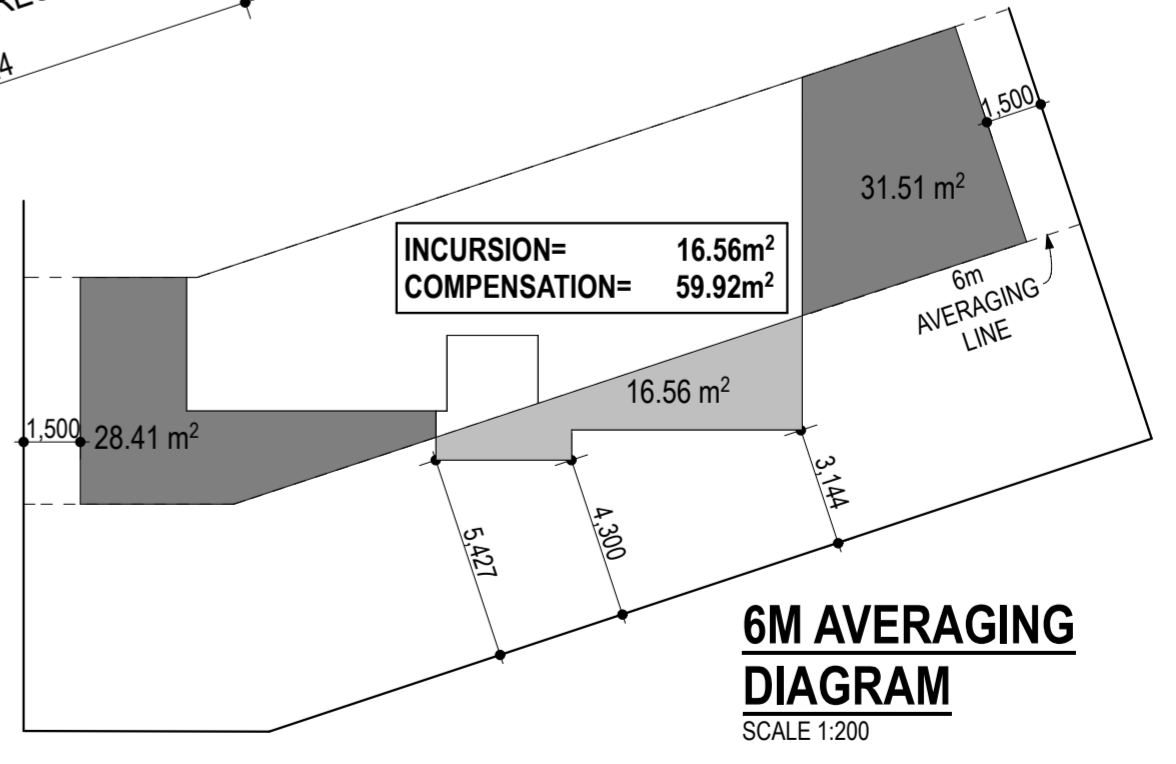
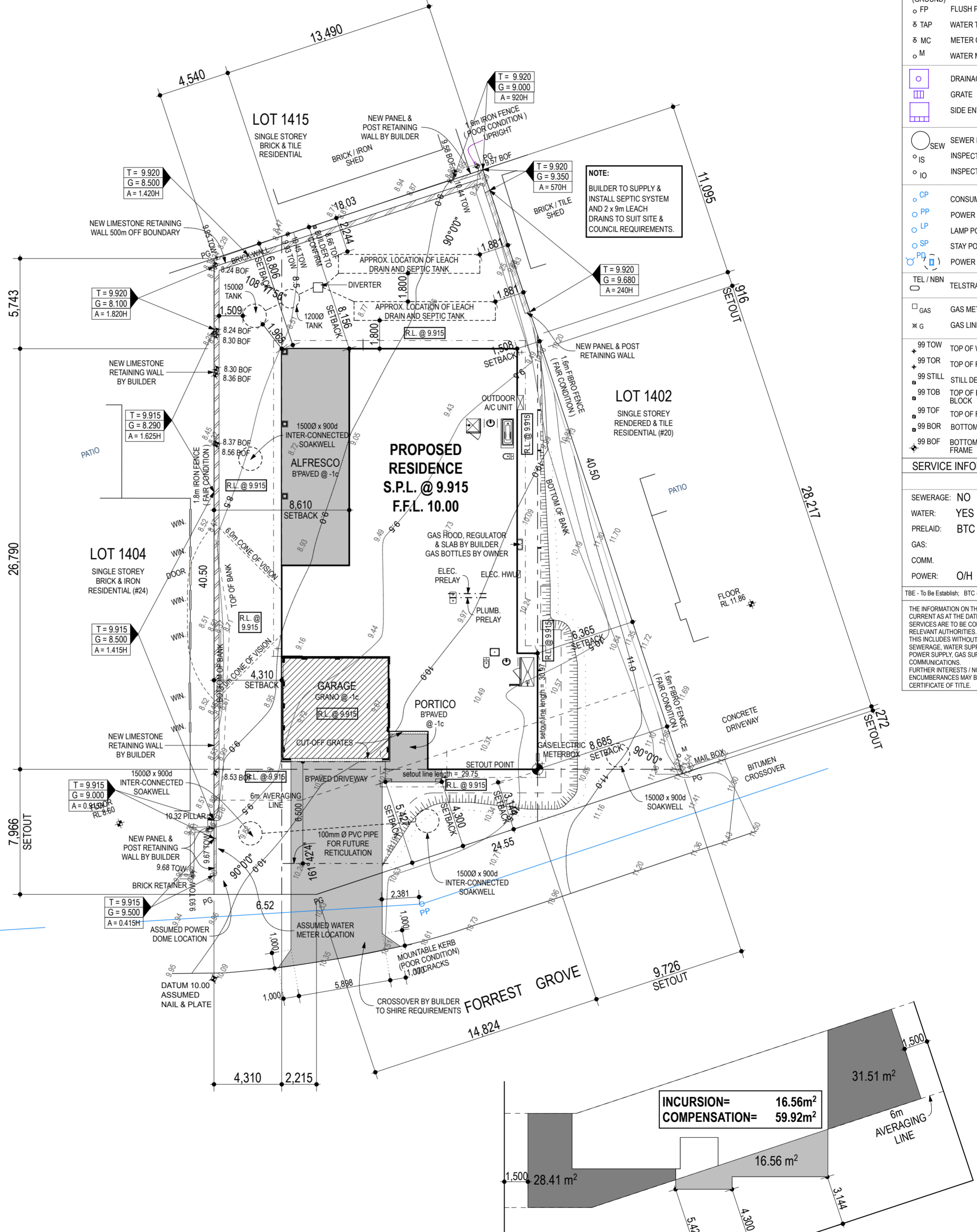
NOTE:

- ALL STORMWATER DISPOSAL TO BE CONTAINED ON SITE TO 4 x 15000 x 900d INTER-CONNECTED SOAKWELLS.
- SOAKWELL LOCATION MAY BE ADJUSTED AT PLUMBERS DISCRETION TO BCA & LOCAL AUTHORITY REQUIREMENTS.
- NO ALLOWANCE HAS BEEN MADE BY THE SHIRE OR DEVELOPER FOR OFF SITE STORM WATER DISPOSAL TO MAIN DRAINS.
- BGC HAVE ALLOWED SOAK WELLS WHICH CAPACITY HAS BEEN CALCULATED IN ACCORDANCE WITH LOCAL AUTHORITY & BCA REQUIREMENTS ALLOWING FOR A 20 YEAR STORM OF A 5 MINUTE DURATION.
- THE BUILDER ACCEPTS NO RESPONSIBILITY, SHOULD THE SYSTEM NOT OPERATE CORRECTLY AS A RESULT OF GREATER RAINFALL, ON SITE CONDITIONS SUCH AS LIMESTONE, CLAY, OR HIGH WATER TABLE.

SITE PLAN

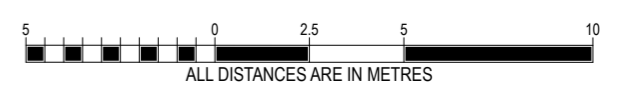
SCALE 1:200

SEWER INFORMATION
NOT AVAILABLE
AT TIME OF SURVEY



AUTOMATED SURVEYS
LICENSED SURVEYORS AND DEVELOPMENT CONSULTANTS
3 HASLER RD, OSBORNE PARK, WA 6017
P.O. Box 1862, Osborne Park DC WA 6916
Telephone (08) 9214 1777
www.automatedsurveys.com.au

B					CLIENT:	KUCERA	
A	28/01/2020	SITE SURVEY	SXC	DEM	PROJECT:	LOT 1403 (#22) FORREST GROVE, TWO ROCKS	
REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED	AUTHORITY:	UBD MAP:
BUILDER:	BGC RESIDENTIAL PTY LTD		PLAN:	P 10564		CITY OF WANNEROO	31/74/68
REF:	C 50299		C/T:	1357/603		PLAN:	SCALE:
						SITE SURVEY	B
							1:200 @ A3
H. Grid:	LOCAL	A.H.D level:		A.H.D. value:	- none -	Distance from Datum:	Approx. 0.9 km FROM COAST LINE distance: 6.4 km FROM LAKE
V. Datum:	ASSUMED	Local level:	10.00				
						SHEET:	1 of 1
						DRAWING No.:	230767
						REV:	A

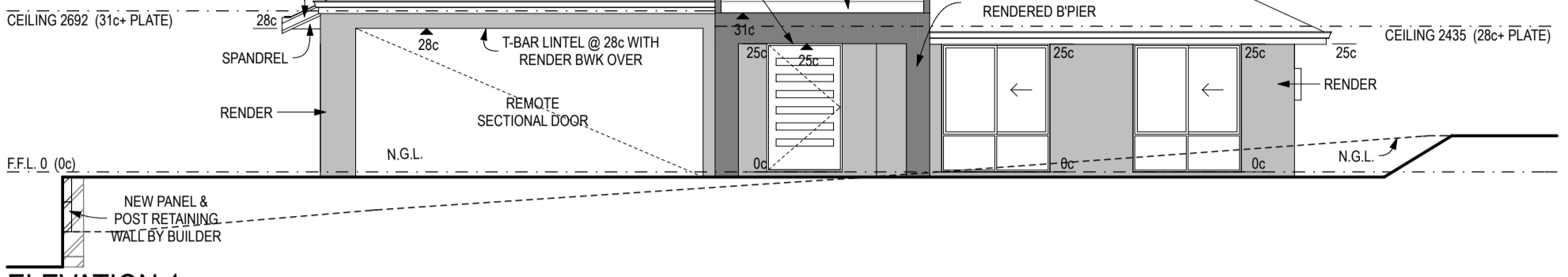


REVISION	VO #	DRN	DATE	CHK
CONTRACT		MAB	30.10.19	CJ
PRE-CONTRACT		MAB	11.11.19	AP
6 STAR AMEND		RDC	13.11.19	AP
AMENDMENT		AV	21.11.19	
AMENDMENT		AV	22.11.19	
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V.O.	1,2	JAR	04.02.20	EP
CORRECTIONS		AV	05.02.20	
AMENDMENT		AV	06.02.20	
V.O.	3,4	AV	26.02.20	

Sub-contractors to verify all dimensions on site.

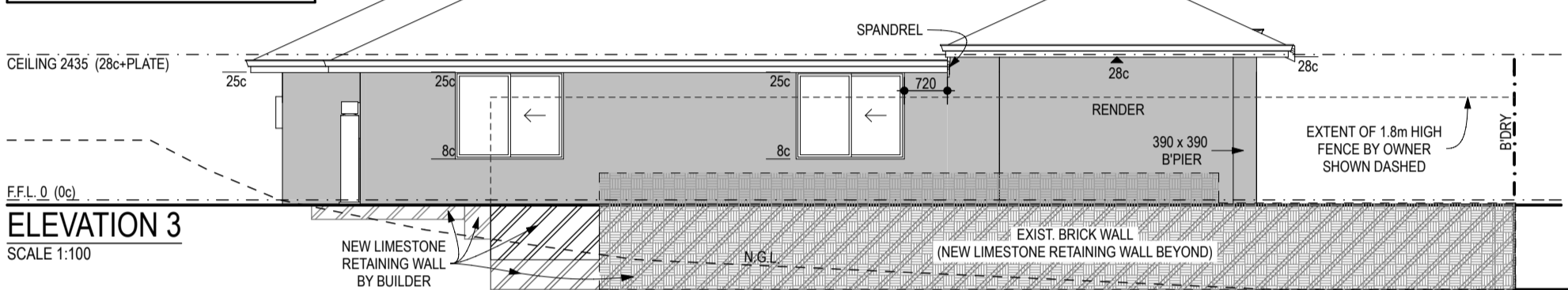
NOTE:
230 CAVITY BRICKWORK WITH RENDERED FINISH EXTERNALLY.

COLORBOND ROOF ON 24°43'0" (25°) PITCH.

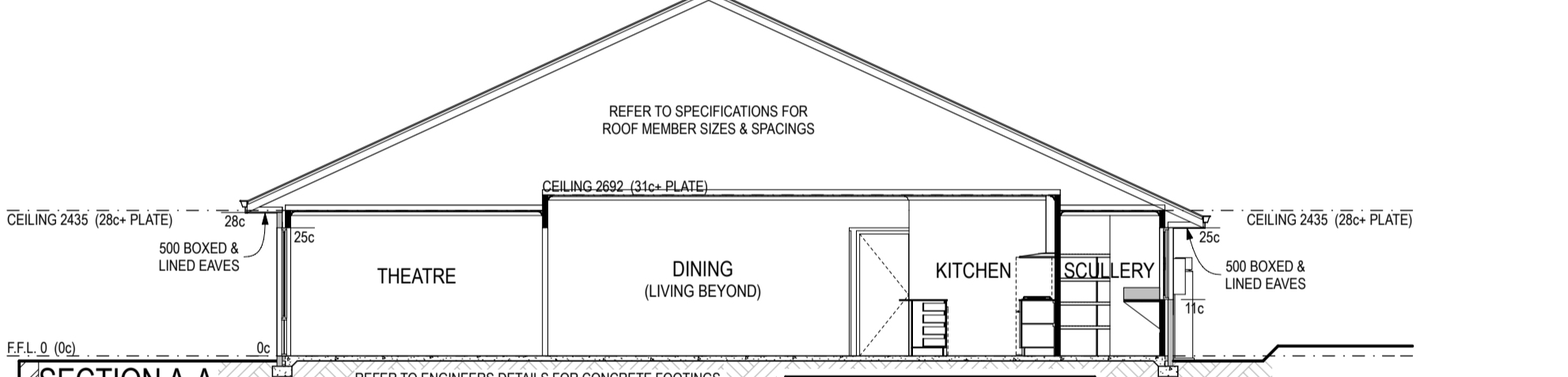


ELEVATION 1
SCALE 1:100

NOTE:
BUILDER TO CONFIRM EXTENT AND HEIGHT OF EXIST. BRICKWALL AT REAR OF LOT. ADDITIONAL RETAINING / BANKING MAY BE REQUIRED TO REAR.

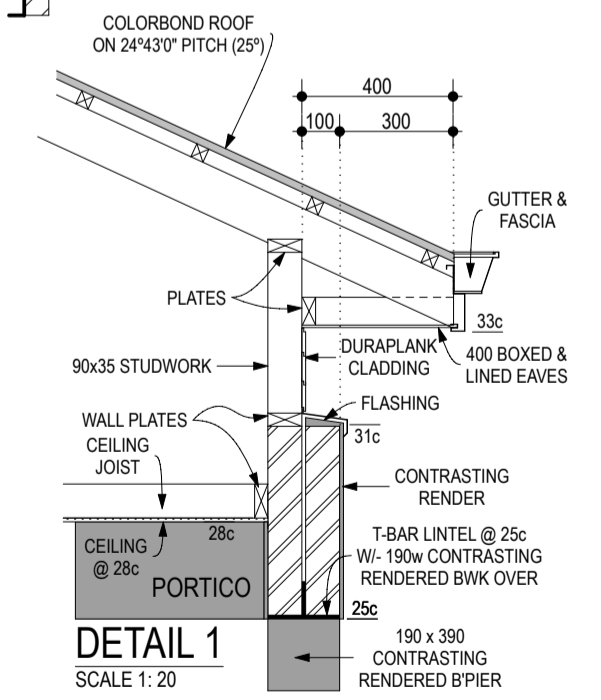


ELEVATION 3
SCALE 1:100

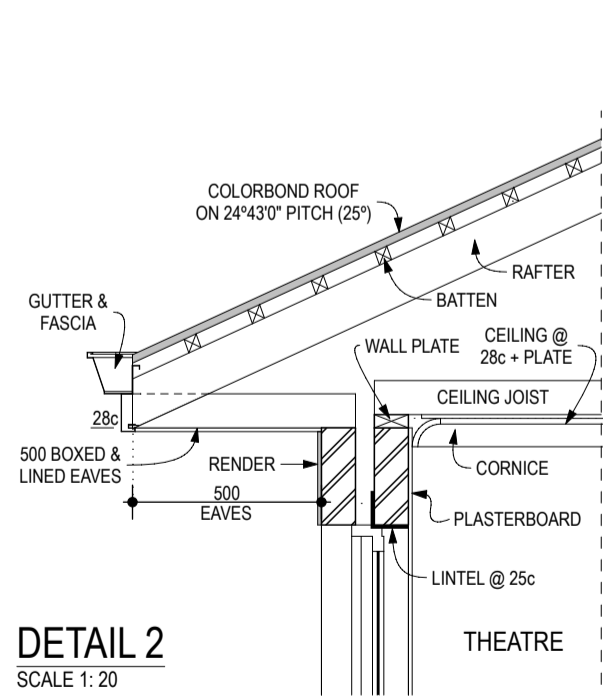


SECTION A-A
SCALE 1:100

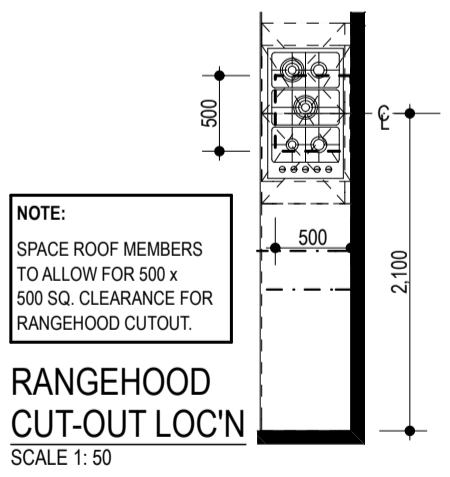
NOTE:
85mm CONCRETE SLAB TO ENGINEERS DETAIL.



DETAIL 1
SCALE 1:20



DETAIL 2
SCALE 1:20



RANGEHOOD CUT-OUT LOC'N
SCALE 1:50



REVISION	VO #	DRN	DATE	CHK
AMENDMENT		AV	04.03.20	
AMENDMENT		AV	10.03.20	
AMENDMENT		AV	23.03.20	

Sub-contractors to verify all dimensions on site.

CLIENT:
DATE:
CLIENT:
DATE:
BUILDER:
DATE:

CLIENT: KUCERA
ADDRESS: LOT 1403 (#22) FORREST GROVE TWO ROCKS

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WEDGE
BENCHMARK SPEC

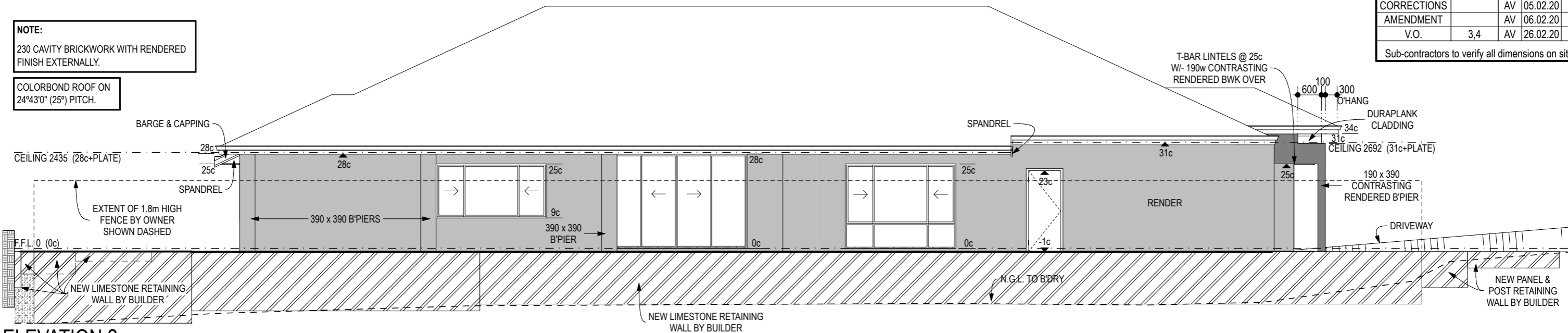
MODEL N°	DATE
47667	23.03.20
MAP REF.	WIND RATING
31 /74 /68	N1
COASTAL CONDITION	ENGINEERS DETAIL
R4	D10V2
HOME ID	SHEET N°
50299	2 OF 6

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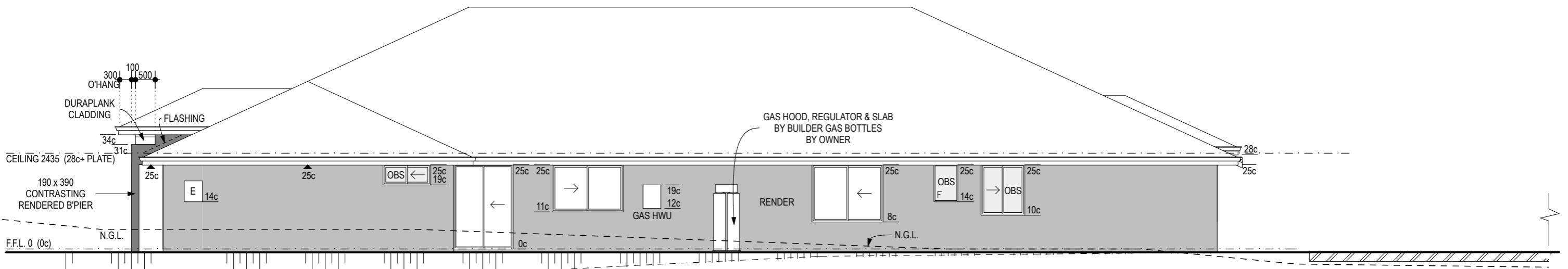
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NOTE:
230 CAVITY BRICKWORK WITH RENDERED FINISH EXTERNALLY.

COLORBOND ROOF ON 24°43'0" (25°) PITCH.



ELEVATION 2
SCALE 1:100



ELEVATION 4
SCALE 1:100

COMMODORE HOMES

22 MOUNT STREET PERTH PH: 9261 1888
REG. BUILDER N°: 9769
A.B.N. 54 052 543 450
BGC RESIDENTIAL PTY LTD

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Sub-contractors to verify all dimensions on site.

CLIENT:.....
DATE:.....
CLIENT:.....
DATE:.....
BUILDER:.....
DATE:.....

CLIENT:
KUCERA

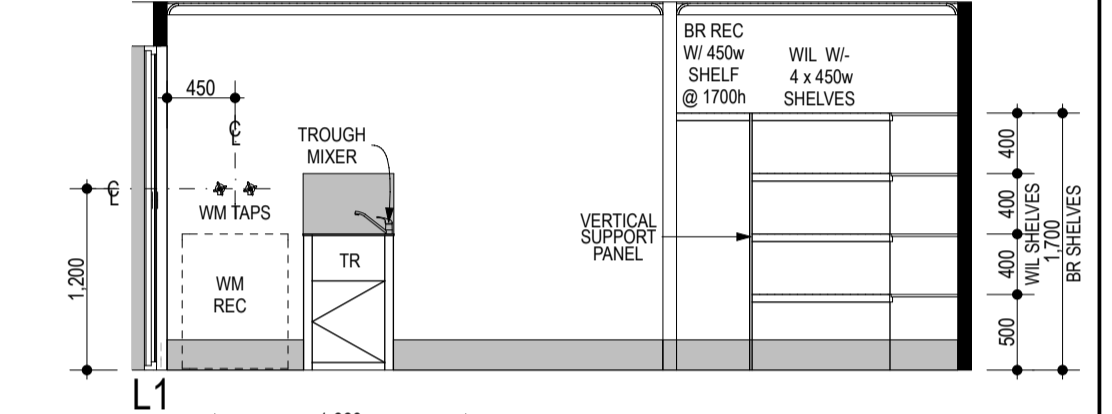
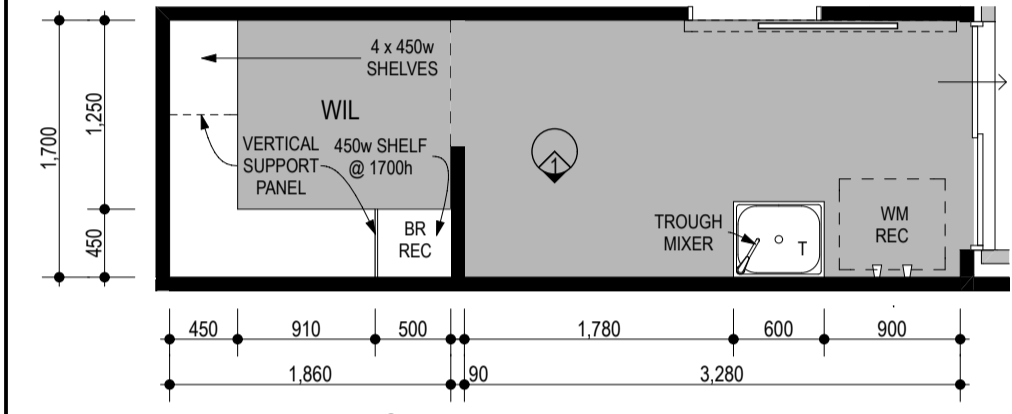
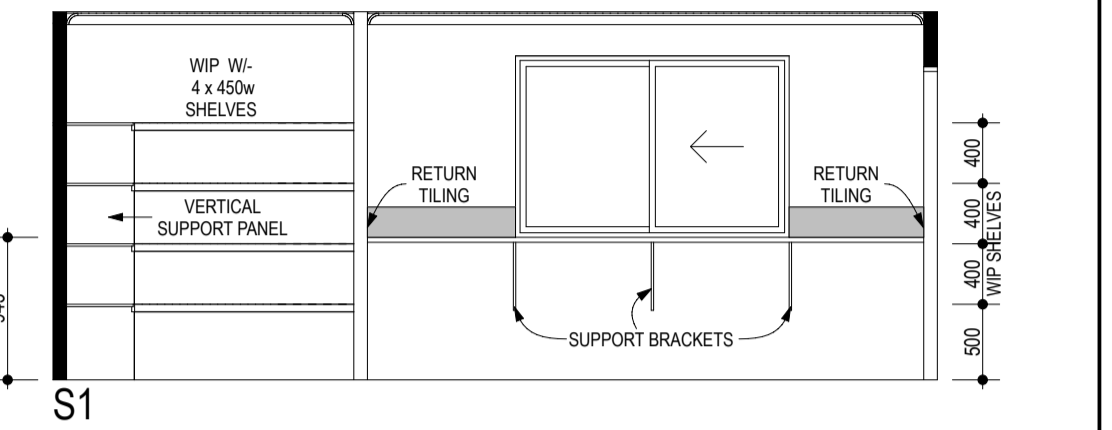
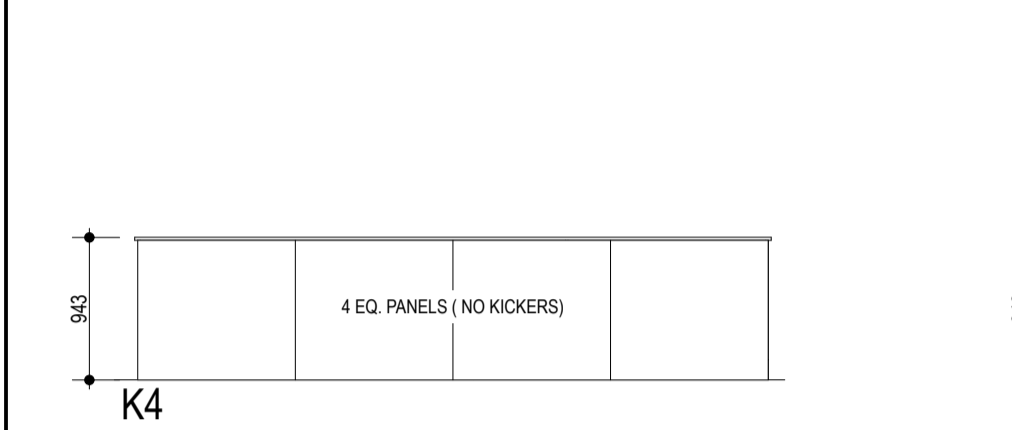
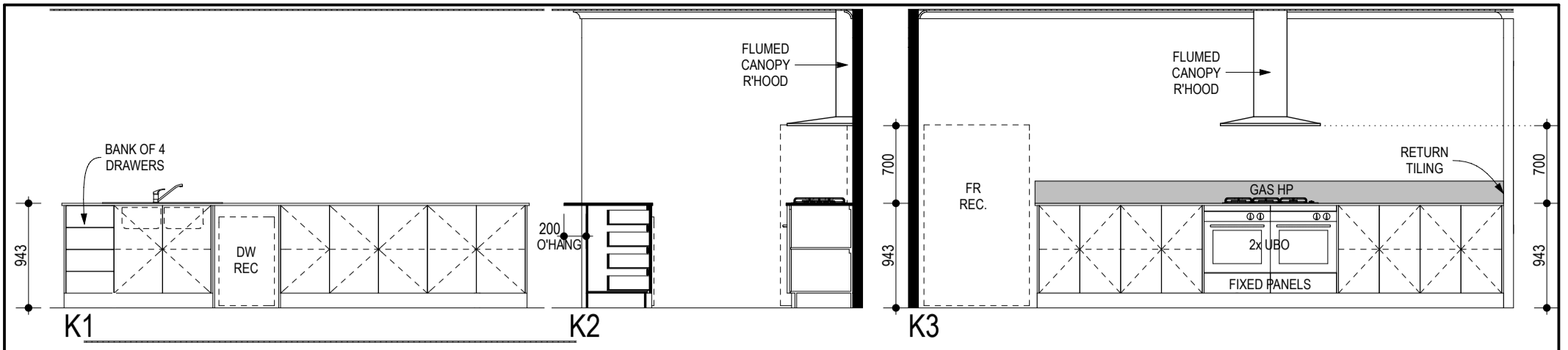
ADDRESS:
**LOT 1403 (#22)
FORREST GROVE
TWO ROCKS**

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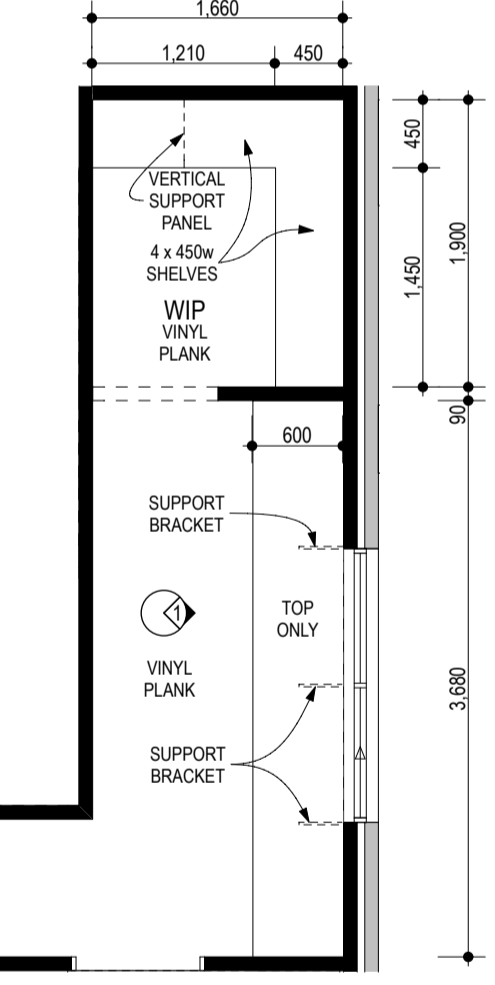
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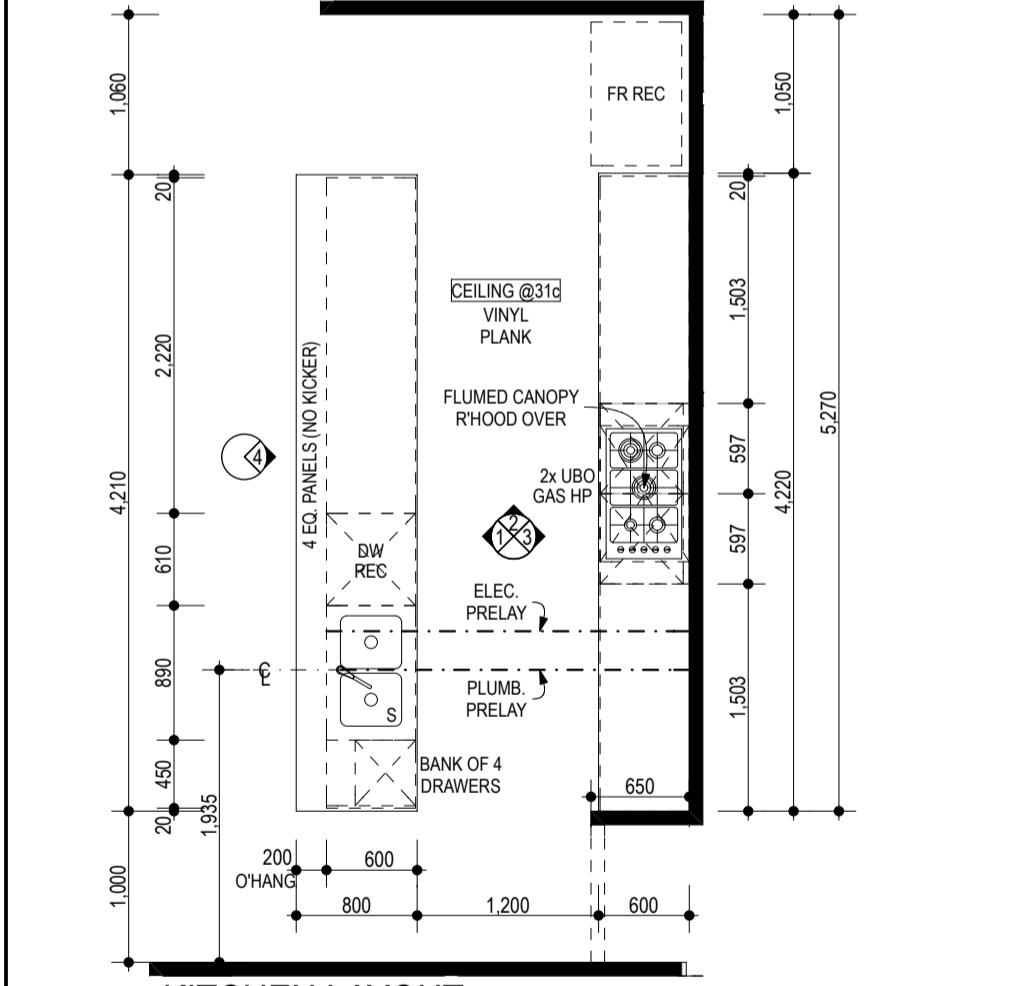
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31 /74 /68	N1
COASTAL CONDITION	ENGINEERS DETAIL
R4	D10V2
HOME ID	SHEET N°
50299	3 OF 6



LAUNDRY LAYOUT
SCALE 1: 50



SCULLERY LAYOUT
SCALE 1: 50



KITCHEN LAYOUT
SCALE 1: 50

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Sub-contractors to verify all dimensions on site.

NOTE:
PROVIDE SCALLOPED EDGE TO TOP & UNDERMOUNT SINK.

NOTE:
SOFT CLOSERS TO ALL DOORS & DRAWERS.

DISHWASHER PROVISION:

- 610w OPENING UNDER BENCH TOP.
- COLD WATER OUTLET.
- SINK TRAP SUITABLE TO CONNECT DISHWASHER WASTE.
- SUPPLY S.G.P.O.
- CABINETWORK CUTOUT FOR SERVICES BY DISHWASHER INSTALLER.

APPLIANCES

	2x UBO (FLUSH)	GAS HP	R/HOOD (FLUMED)
MAKE	FISHER & PAYKEL	FISHER & PAYKEL	FISHER & PAYKEL
MODEL	OB60SC5LCX1	CG905CNGX2	HC90PLX4
FINISH	BRUSHED STAINLESS STEEL WITH BLACK GLASS	STAINLESS STEEL	STAINLESS STEEL
CUT-OUT			
H	598	52	1039
W	597	914	898
D	565	533	500

- NOTE:** ALL EXTERNAL TILED CORNERS TO BE MITRED.
- NOTE:** CABINET MAKER TO PROVIDE VENTING TO OVEN AS PER MANUFACTURERS DETAILS.
- NOTE:** RECESSED LAMINATED FINGER PULLS TO ALL CABINTRY.
- NOTE:** EXTENT OF TILING SHOWN SHADED.
- NOTE:** BUILDER TO SUPPLY TEMPLATE FOR 20mm ESSASTONE BENCHTOP TO KITCHEN ONLY.
- NOTE:** ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER/ PLASTER BOARD/ TILING/ LAMINATE PANELS.

COMMODORE HOMES

22 MOUNT STREET PERTH PH: 9261 1888
REG. BUILDER N°: 9769
A.B.N. 54 052 543 450
BGC RESIDENTIAL PTY LTD

REVISION	VO #	DRN	DATE	CHK
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Sub-contractors to verify all dimensions on site.

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DATE:.....
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BUILDER:.....
DATE:.....

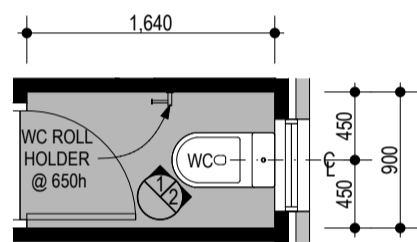
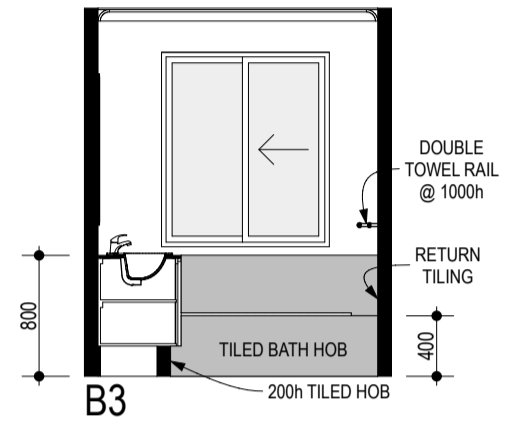
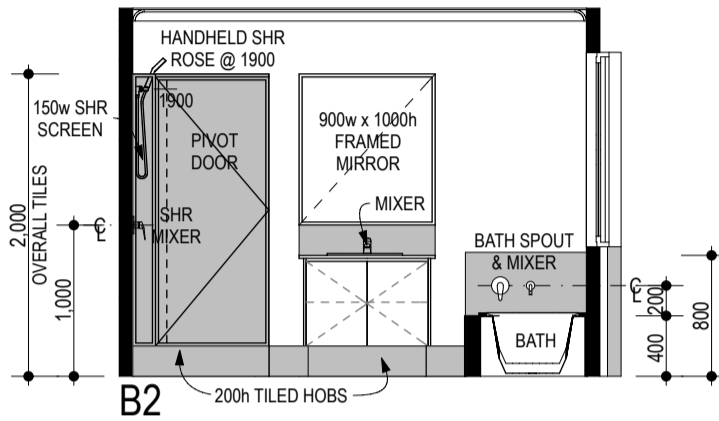
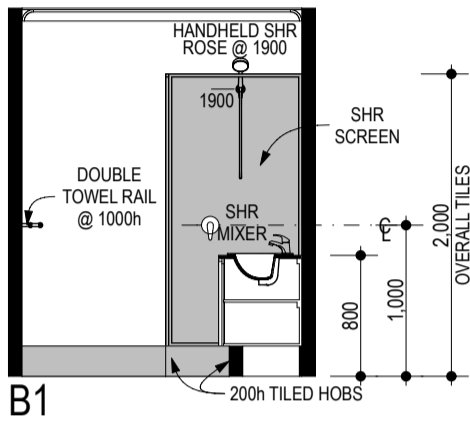
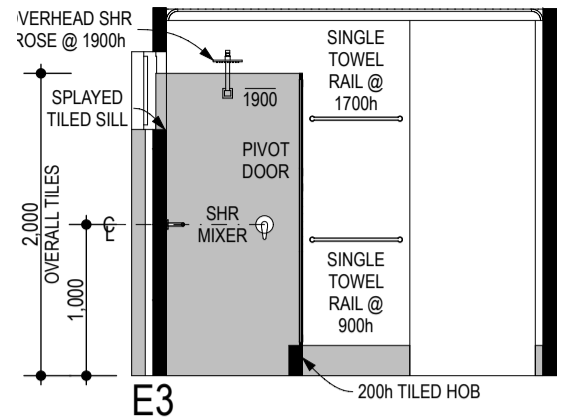
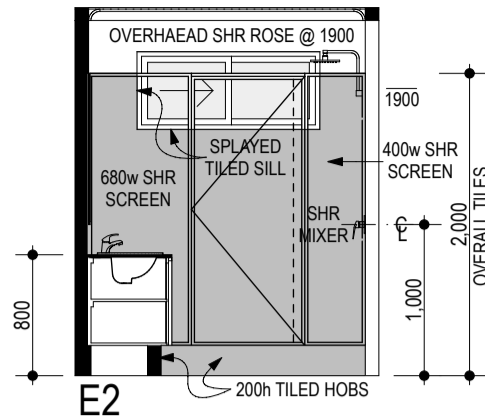
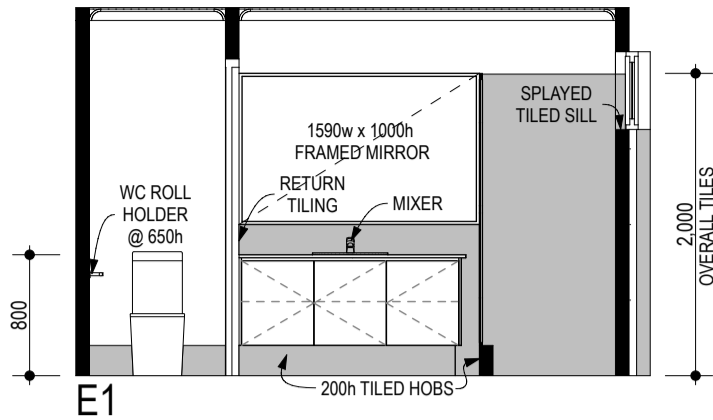
CLIENT:
KUCERA

ADDRESS:
**LOT 1403 (#22)
FORREST GROVE
TWO ROCKS**

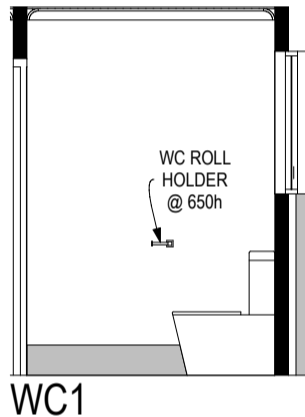
WEDGE

BENCHMARK SPEC

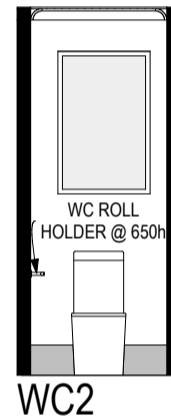
MODEL N°	DATE
47667	23.03.20
MAP REF.	WIND RATING
31 /74 /68	N1
COASTAL CONDITION	ENGINEERS DETAIL
R4	D10V2
HOME ID	SHEET N°
50299	4 OF 6



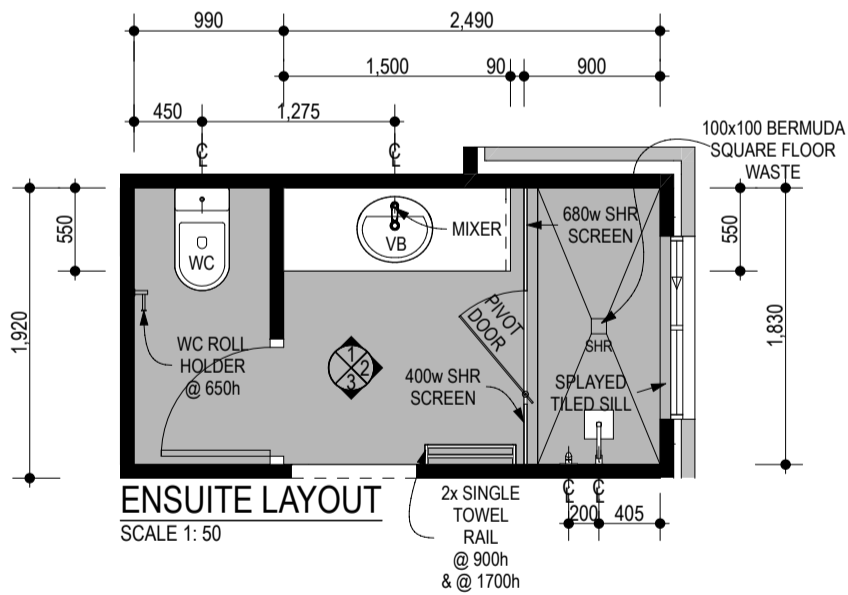
WC LAYOUT
SCALE 1: 50



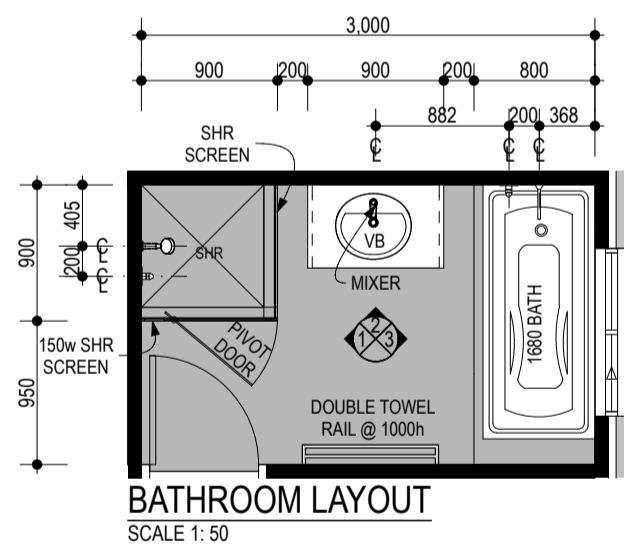
WC1



WC2



ENSUITE LAYOUT
SCALE 1: 50



BATHROOM LAYOUT
SCALE 1: 50

REVISION	VO #	DRN	DATE	CHK
CONTRACT		MAB	30.10.19	CJ
PRE-CONTRACT		MAB	11.11.19	AP
6 STAR AMEND		RDC	13.11.19	AP
AMENDMENT		AV	21.11.19	
AMENDMENT		AV	22.11.19	
AMENDMENT		AV	26.11.19	
V.O.	1,2	JAR	04.02.20	EP
CORRECTIONS		AV	05.02.20	
AMENDMENT		AV	06.02.20	
V.O.	3,4	AV	26.02.20	

Sub-contractors to verify all dimensions on site.

NOTE:
RECESSED LAMINATED FINGER PULLS TO ALL CABINetry.

NOTE:
SOFT CLOSERS TO ALL DOORS & DRAWERS.

NOTE:
BUILDER TO SUPPLY TEMPLATE FOR 20mm ESSASTONE BENCHTOP TO BATHROOM & ENSUITE.

NOTE:
EXTENT OF TILING SHOWN SHADED.

NOTE:
ALL EXTERNAL TILED CORNERS TO BE MITRED.

NOTE:
ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER/ PLASTER BOARD/ TILING/ LAMINATE PANELS.



22 MOUNT STREET PERTH PH: 9261 1888
REG. BUILDER N°: 9769
A.B.N. 54 052 543 450
BGC RESIDENTIAL PTY LTD

REVISION	VO #	DRN	DATE	CHK
AMENDMENT		AV	04.03.20	
AMENDMENT		AV	10.03.20	
AMENDMENT		AV	23.03.20	

Sub-contractors to verify all dimensions on site.

STD Drawn By: RC 21.12.16 AMEND 5: CE 30.10.18

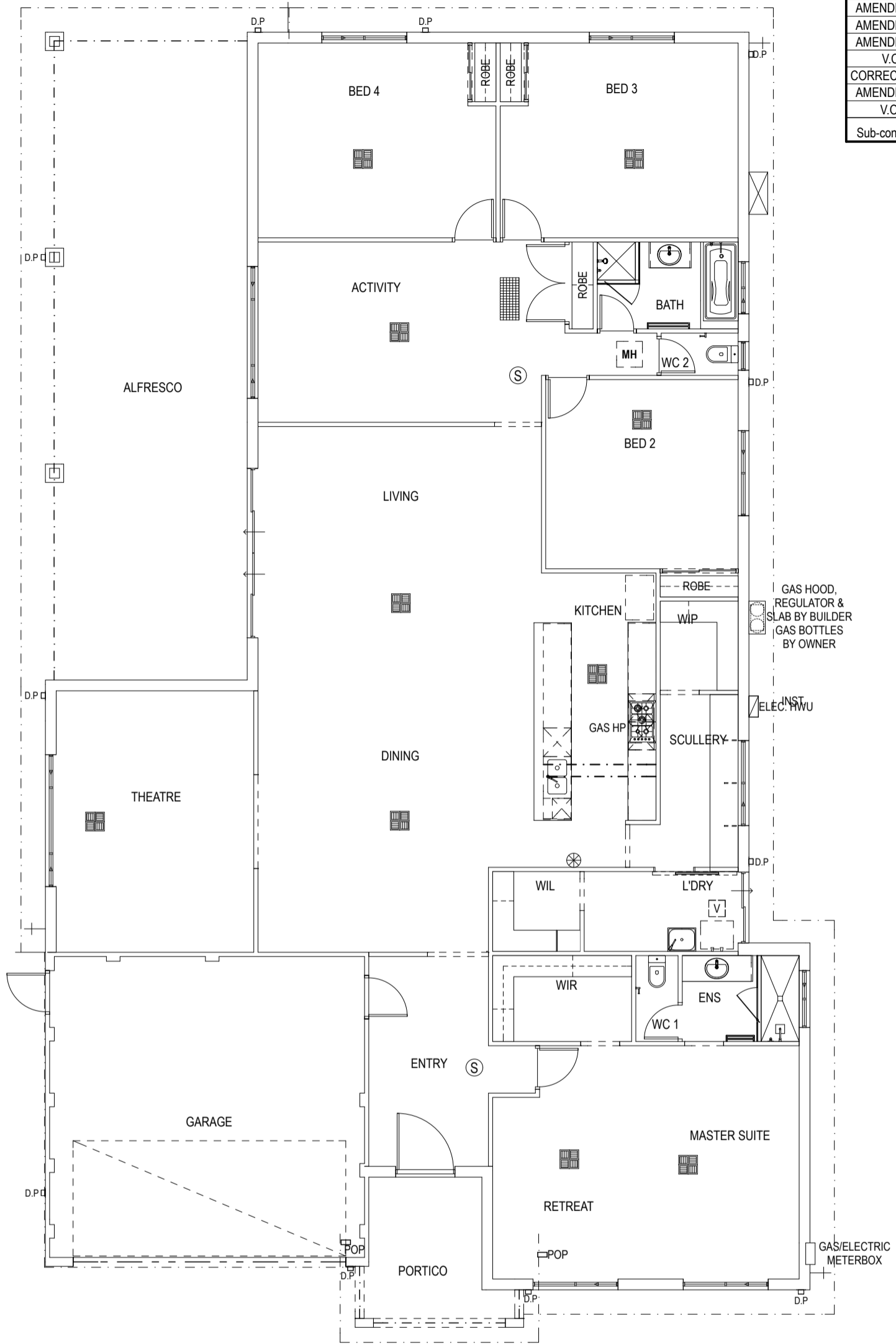
CLIENT:.....
DATE:.....
CLIENT:.....
DATE:.....
BUILDER:.....
DATE:.....

CLIENT:
KUCERA
ADDRESS:
**LOT 1403 (#22)
FORREST GROVE
TWO ROCKS**

WEDGE	
BENCHMARK SPEC	
MODEL N°	DATE
47667	23.03.20
MAP REF.	WIND RATING
31 /74 /68	N1
COASTAL CONDITION	ENGINEERS DETAIL
R4	D10V2
HOME ID	SHEET N°
50299	5 OF 6

REVISION	VO #	DRN	DATE	CHK
CONTRACT		MAB	30.10.19	CJ
PRE-CONTRACT		MAB	11.11.19	AP
6 STAR AMEND		RDC	13.11.19	AP
AMENDMENT		AV	21.11.19	
AMENDMENT		AV	22.11.19	
AMENDMENT		AV	26.11.19	
V.O.	1,2	JAR	04.02.20	EP
CORRECTIONS		AV	05.02.20	
AMENDMENT		AV	06.02.20	
V.O.	3,4	AV	26.02.20	

Sub-contractors to verify all dimensions on site.



ELECTRICAL PACKAGE LAYOUT

SCALE 1:100



22 MOUNT STREET PERTH PH: 9261 1888
 REG. BUILDER N°: 9769
 A.B.N. 54 052 543 450
 BGC RESIDENTIAL PTY LTD

REVISION	VO #	DRN	DATE	CHK
AMENDMENT		AV	04.03.20	
AMENDMENT		AV	10.03.20	
AMENDMENT		AV	23.03.20	

Sub-contractors to verify all dimensions on site.

CLIENT:
 DATE:
 CLIENT:
 DATE:
 BUILDER:
 DATE:

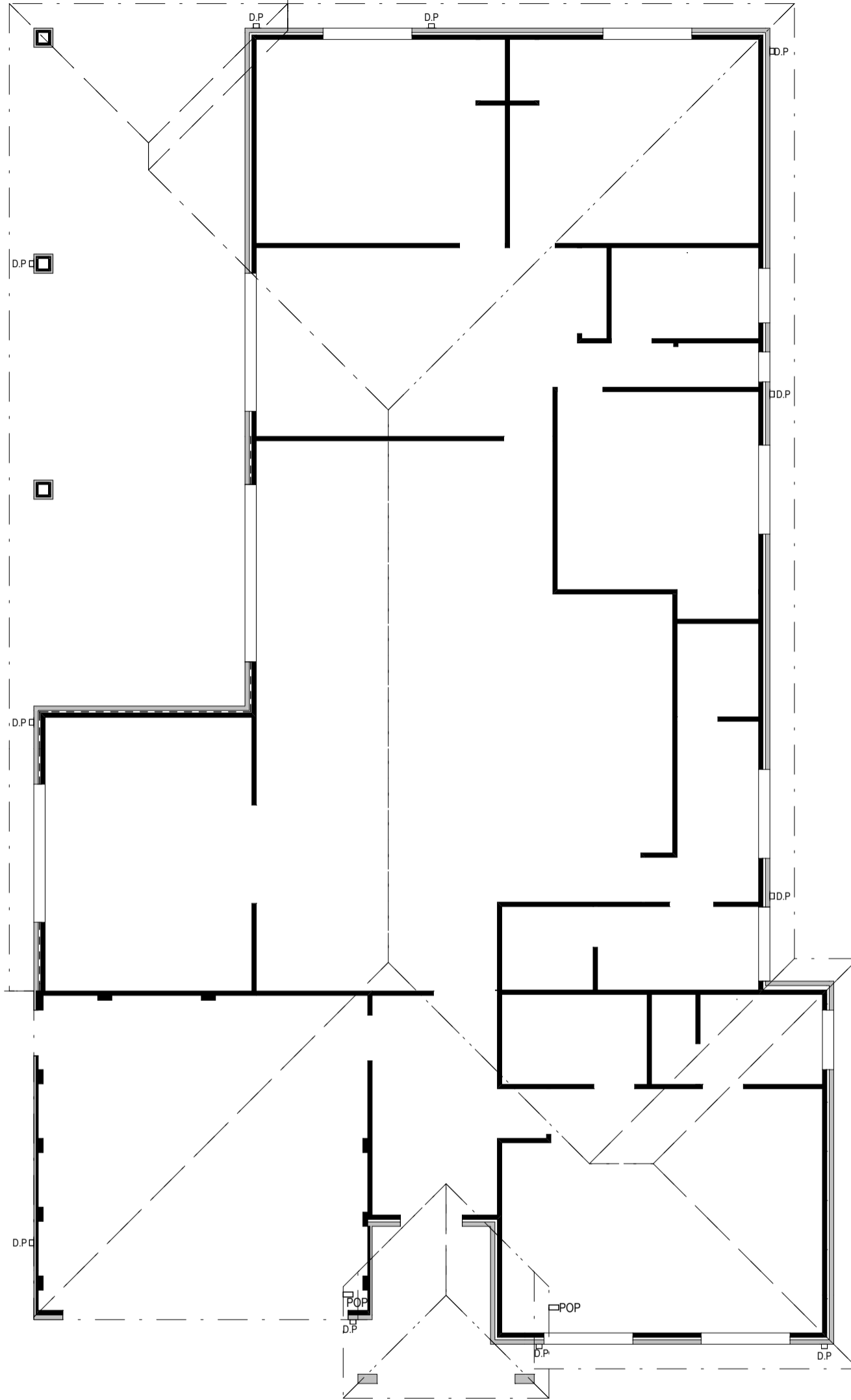
CLIENT:
KUCERA
 ADDRESS:
**LOT 1403 (#22)
 FORREST GROVE
 TWO ROCKS**

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WEDGE	
BENCHMARK SPEC	
MODEL N°	DATE
47667	23.03.20
MAP REF.	WIND RATING
31 /74 /68	N1
COASTAL CONDITION	ENGINEERS DETAIL
R4	D10V2
HOME ID	SHEET N°
50299	7 OF 6

REVISION	VO #	DRN	DATE	CHK
CONTRACT		MAB	30.10.19	CJ
PRE-CONTRACT		MAB	11.11.19	AP
6 STAR AMEND		RDC	13.11.19	AP
AMENDMENT		AV	21.11.19	
AMENDMENT		AV	22.11.19	
AMENDMENT		AV	26.11.19	
V.O.	1,2	JAR	04.02.20	EP
CORRECTIONS		AV	05.02.20	
AMENDMENT		AV	06.02.20	
V.O.	3,4	AV	26.02.20	

Sub-contractors to verify all dimensions on site.



COMMODORE HOMES

22 MOUNT STREET PERTH PH: 9261 1888
 REG. BUILDER N°: 9769
 A.B.N. 54 052 543 450
 BGC RESIDENTIAL PTY LTD

REVISION	VO #	DRN	DATE	CHK
AMENDMENT		AV	04.03.20	
AMENDMENT		AV	10.03.20	
AMENDMENT		AV	23.03.20	

Sub-contractors to verify all dimensions on site.

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

CLIENT:
KUCERA

ADDRESS:
**LOT 1403 (#22)
 FORREST GROVE
 TWO ROCKS**

WEDGE	
BENCHMARK SPEC	
MODEL N°	DATE
47667	23.03.20
MAP REF.	WIND RATING
31 /74 /68	N1
COASTAL CONDITION	ENGINEERS DETAIL
R4	D10V2
HOME ID	SHEET N°
50299	8 OF 6