

NOTE:
ALL DIMENSIONS TO BE CONFIRMED ON
SITE PRIOR TO COMMENCEMENT OF WORKS

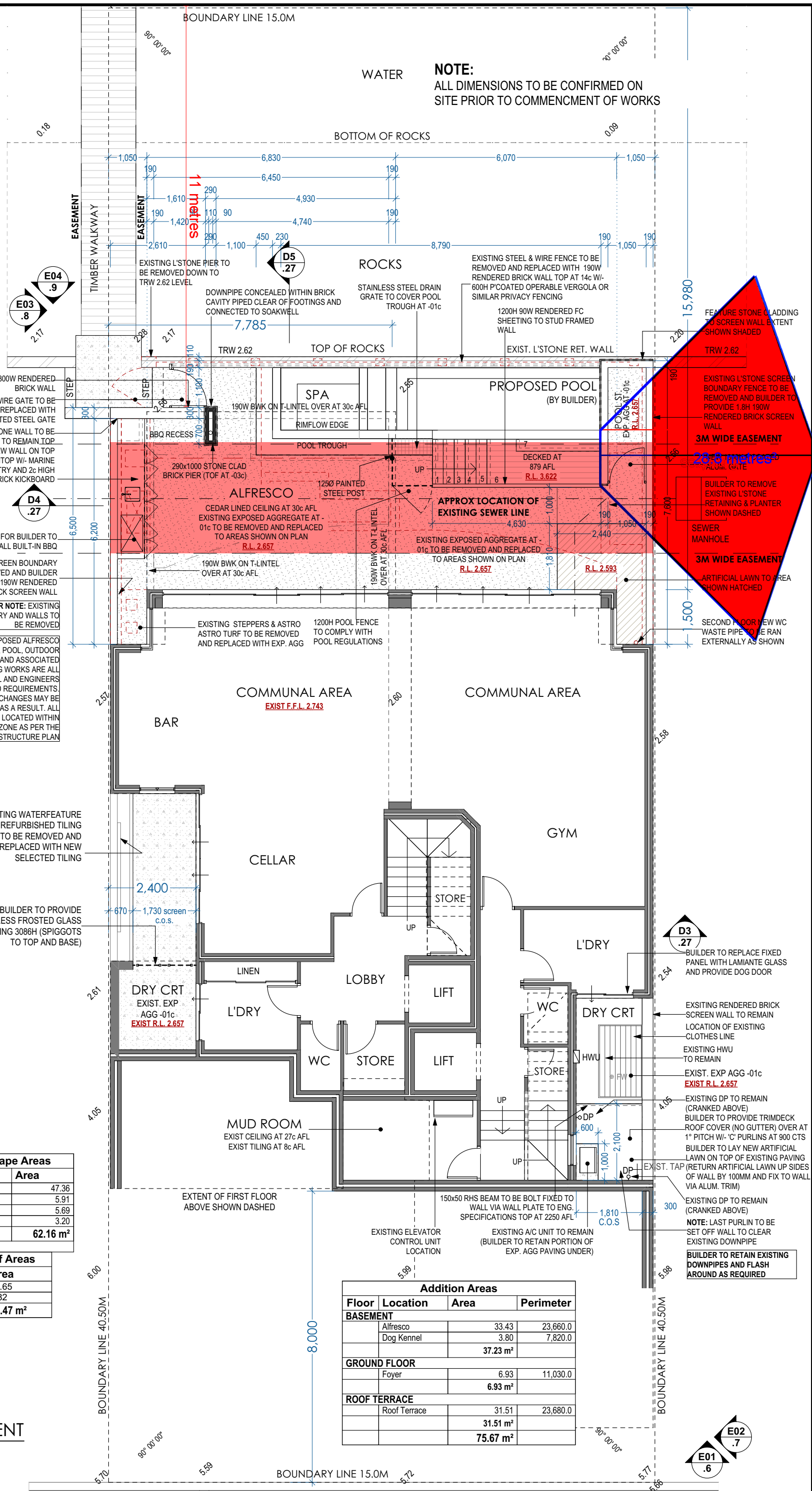
DRAWN BY: **04**
CHECKED BY:
PROJECT NO. **.1**
REVISION NO.
DRAWING NO.

SITE: Lot 546 (#20) Southampton Lane, Mandarrie
LOCAL AUTHORITY: City of Wanneroo

CLIENT: **Willemse**
DRAWING TITLE: **WKG DWGS Basement**

PROPOSAL	DATE	NAME	CHK
01	14/10/2019	Chris	
02	22/11/2019	Chris	
03	18/02/2020	Chris	
04	21/04/2020	Chris	

WHITE on WHITE
DESIGN



CLIENT NOTE: PROPOSED ALFRESCO ROOF STRUCTURE, POOL, OUTDOOR KITCHEN, AND ASSOCIATED LANDSCAPING WORKS ARE ALL SUBJECT TO COUNCIL AND ENGINEERS APPROVALS AND REQUIREMENTS. POSSIBLE CHANGES MAY BE REQUIRED AS A RESULT. ALL STRUCTURES ARE LOCATED WITHIN THE EXCLUSION ZONE AS PER THE LOCAL COUNCILS STRUCTURE PLAN

BUILDER NOTE: EXISTING CABINETRY AND WALLS TO BE REMOVED

OWNER SUPPLIED FOR BUILDER TO INSTALL BUILT-IN BBQ

EXISTING L'STONE SCREEN BOUNDARY FENCE TO BE REMOVED AND BUILDER TO PROVIDE 1.8H 190W RENDERED BRICK SCREEN WALL

EXISTING L'STONE WALL TO BE REMOVED RET. WALL TO REMAIN TOP AT -01c BUILD NEW WALL ON TOP 40MM STONE BENCHTOP W/ MARINE PLY CARCASS CABINETRY AND 2c HIGH TILED BRICK KICKBOARD

EXISTING STEEL WIRE GATE TO BE REMOVED AND REPLACED WITH 1800H P'COATED STEEL GATE

EXISTING L'STONE PIER TO BE REMOVED DOWN TO TRW 2.62 LEVEL

EXISTING STEEL & WIRE FENCE TO BE REMOVED AND REPLACED WITH 190W RENDERED BRICK WALL TOP AT 14c W/ 600H P'COATED OPERABLE VERGOLA OR SIMILAR PRIVACY FENCING

EXISTING L'STONE RET. WALL

EXISTING EXPOSED AGGREGATE AT -01c TO BE REMOVED AND REPLACED TO AREAS SHOWN ON PLAN

EXISTING EXPOSED AGGREGATE AT -01c TO BE REMOVED AND REPLACED TO AREAS SHOWN ON PLAN

EXISTING STEPPERS & ASTRO TURF TO BE REMOVED AND REPLACED WITH EXP. AGG

EXISTING WATERFEATURE TO BE REFURBISHED TILING TO BE REMOVED AND REPLACED WITH NEW SELECTED TILING

BUILDER TO PROVIDE FRAMLESS FROSTED GLASS PANNELLING 3086H (SPIGGOTS TO TOP AND BASE)

BUILDER TO REPLACE FIXED PANEL WITH LAMIANTE GLASS AND PROVIDE DOG DOOR

EXISTING RENDERED BRICK SCREEN WALL TO REMAIN

LOCATION OF EXISTING CLOTHES LINE

EXISTING HWU TO REMAIN

EXIST. EXP AGG -01c EXIST R.L. 2.657

EXISTING DP TO REMAIN (CRANKED ABOVE)

BUILDER TO PROVIDE TRIMDECK ROOF COVER (NO GUTTER) OVER AT 1° PITCH W/ 'C' PURLINS AT 900 CTS

BUILDER TO LAY NEW ARTIFICIAL LAWN ON TOP OF EXISTING PAVING (RETURN ARTIFICIAL LAWN UP SIDES OF WALL BY 100MM AND FIX TO WALL VIA ALUM. TRIM)

EXISTING DP TO REMAIN (CRANKED ABOVE)

NOTE: LAST PURLIN TO BE SET OFF WALL TO CLEAR EXISTING DOWNPIPE

BUILDER TO RETAIN EXISTING DOWNPIPES AND FLASH AROUND AS REQUIRED

New Hardscape Areas

Location	Area
Alfresco	47.36
Pool Store	5.91
Pool Deck	5.69
Dog Astro Turf	3.20
Total	62.16 m²

Addition Roof Areas

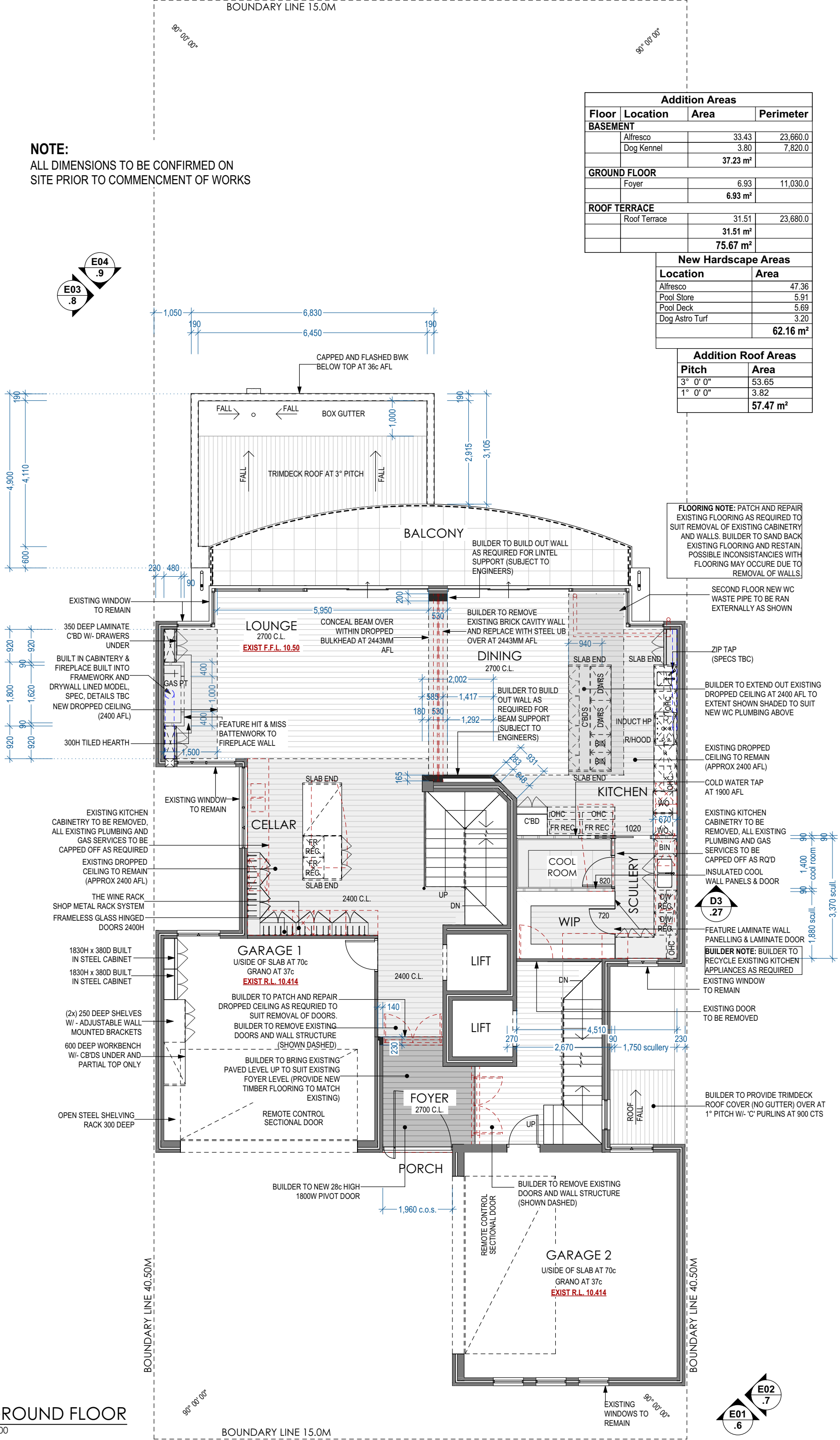
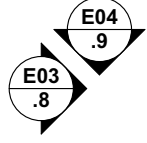
Pitch	Area
3° 0' 0"	53.65
1° 0' 0"	3.82
Total	57.47 m²

Addition Areas

Floor	Location	Area	Perimeter
BASEMENT	Alfresco	33.43	23,660.0
	Dog Kennel	3.80	7,820.0
	Total	37.23 m²	
GROUND FLOOR	Foyer	6.93	11,030.0
	Total	6.93 m²	
ROOF TERRACE	Roof Terrace	31.51	23,680.0
	Total	31.51 m²	
	Total	75.67 m²	

BASEMENT
1:100

NOTE:
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Addition Areas			
Floor	Location	Area	Perimeter
BASEMENT			
	Alfresco	33.43	23,660.0
	Dog Kennel	3.80	7,820.0
		37.23 m²	
GROUND FLOOR			
	Foyer	6.93	11,030.0
		6.93 m²	
ROOF TERRACE			
	Roof Terrace	31.51	23,680.0
		31.51 m²	
		75.67 m²	

New Hardscape Areas	
Location	Area
Alfresco	47.36
Pool Store	5.91
Pool Deck	5.69
Dog Astro Turf	3.20
	62.16 m²

Addition Roof Areas	
Pitch	Area
3° 0' 0"	53.65
1° 0' 0"	3.82
	57.47 m²

FLOORING NOTE: PATCH AND REPAIR EXISTING FLOORING AS REQUIRED TO SUIT REMOVAL OF EXISTING CABINERY AND WALLS. BUILDER TO SAND BACK EXISTING FLOORING AND RESTAIN. POSSIBLE INCONSISTENCIES WITH FLOORING MAY OCCURE DUE TO REMOVAL OF WALLS.

DRAWN BY: CW

CHECKED BY: CW

PROJECT NO. -

Plot Date: 22/04/2020

04
2

REVISION NO.

DRAWING NO.

SITE: Lot 546 (#20) Southampton Lane, Mandarrie

LOCAL AUTHORITY: City of Wanneroo

CLIENT: Willemse

DRAWING TITLE: WKG DWGS Ground Floor

PROPOSAL	DATE	BY	CHK
01	14/10/2019	Chris CW	Chris CW
02	22/11/2019	Chris CW	Chris CW
03	18/02/2020	Chris CW	Chris CW
04	21/04/2020	Chris CW	Chris CW

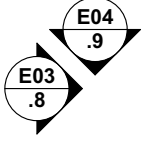
WHITE on WHITE

DESIGN

GROUND FLOOR
1:100

BOUNDARY LINE 15.0M

NOTE:
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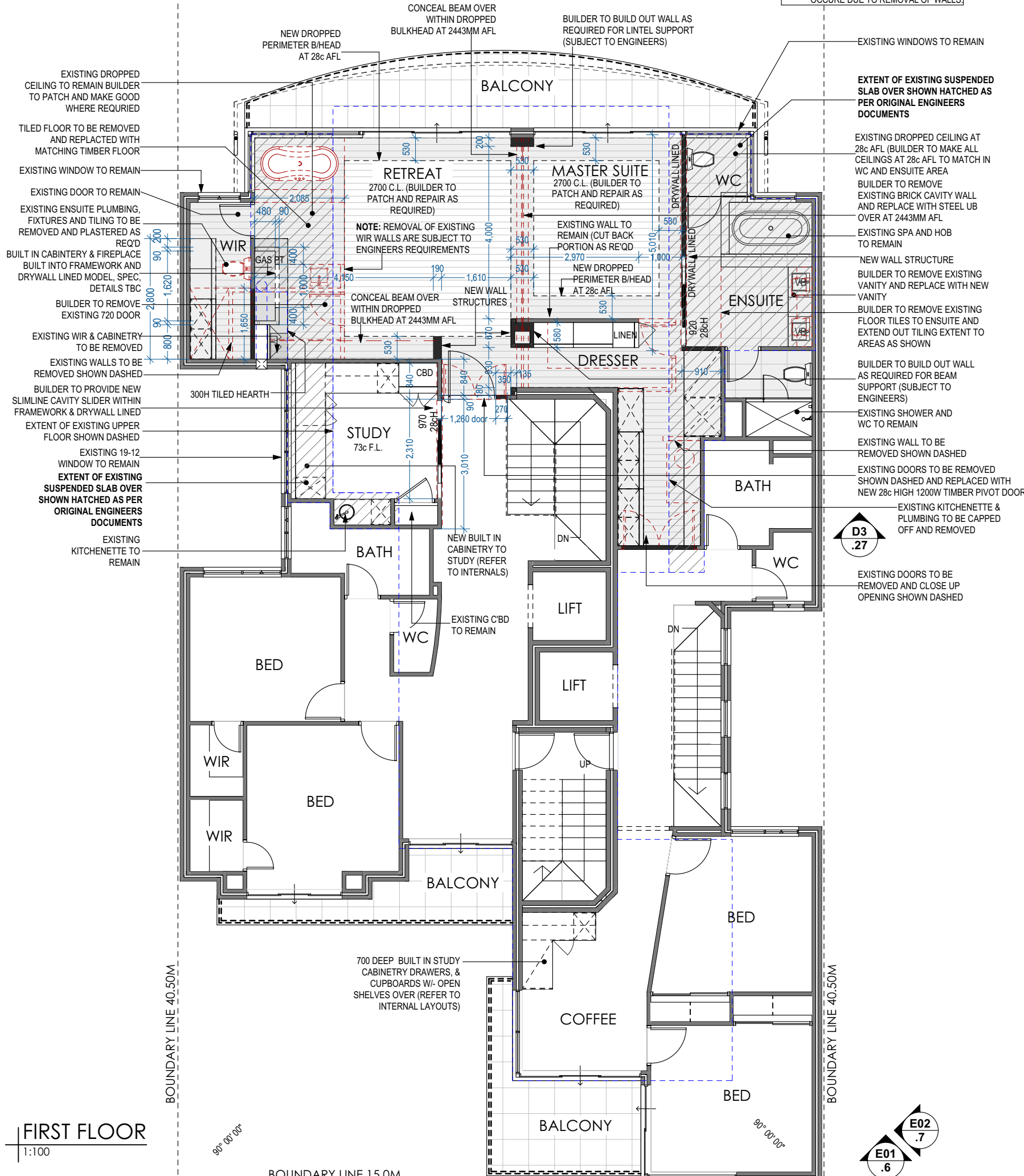


Addition Areas			
Floor	Location	Area	Perimeter
BASEMENT			
	Alfresco	33.43	23,660.0
	Dog Kennel	3.80	7,820.0
		37.23 m²	
GROUND FLOOR			
	Foyer	6.93	11,030.0
		6.93 m²	
ROOF TERRACE			
	Roof Terrace	31.51	23,680.0
		31.51 m²	
		75.67 m²	

New Hardscape Areas	
Location	Area
Alfresco	47.36
Pool Store	5.91
Pool Deck	5.69
Dog Astro Turf	3.20
	62.16 m²

Addition Roof Areas	
Pitch	Area
3° 0' 0"	53.65
1° 0' 0"	3.82
	57.47 m²

FLOORING NOTE: PATCH AND REPAIR EXISTING FLOORING AS REQUIRED TO SUIT REMOVAL OF EXISTING CABINERY AND WALLS. BUILDER TO SAND BACK EXISTING FLOORING AND RESTAIN. POSSIBLE INCONSISTANCIES WITH FLOORING MAY OCCURE DUE TO REMOVAL OF WALLS



DRAWN BY: _____
CHECKED BY: _____
PROJECT NO. **04.3**
Plot Date: 22/04/2020

REVISION NO. _____
DRAWING NO. _____

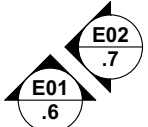
SITE: Lot 546 (#20) Southampton Lane, Mandarrie
LOCAL AUTHORITY: City of Wanneroo

CLIENT: **Willemse**
DRAWING TITLE: **WKG DWGS First Floor**

REV ID	DESCRIPTION	DATE	NAME	CHK
01	PROPOSAL	14/10/2019	Chris	
02	WKG DWGS	22/11/2019	Chris	
03	PLAN CHGS	18/02/2020	Chris	
04	PLAN CHGS	21/04/2020	Chris	

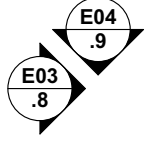
WHITE on WHITE
DESIGN

FIRST FLOOR
1:100



BOUNDARY LINE 15.0M

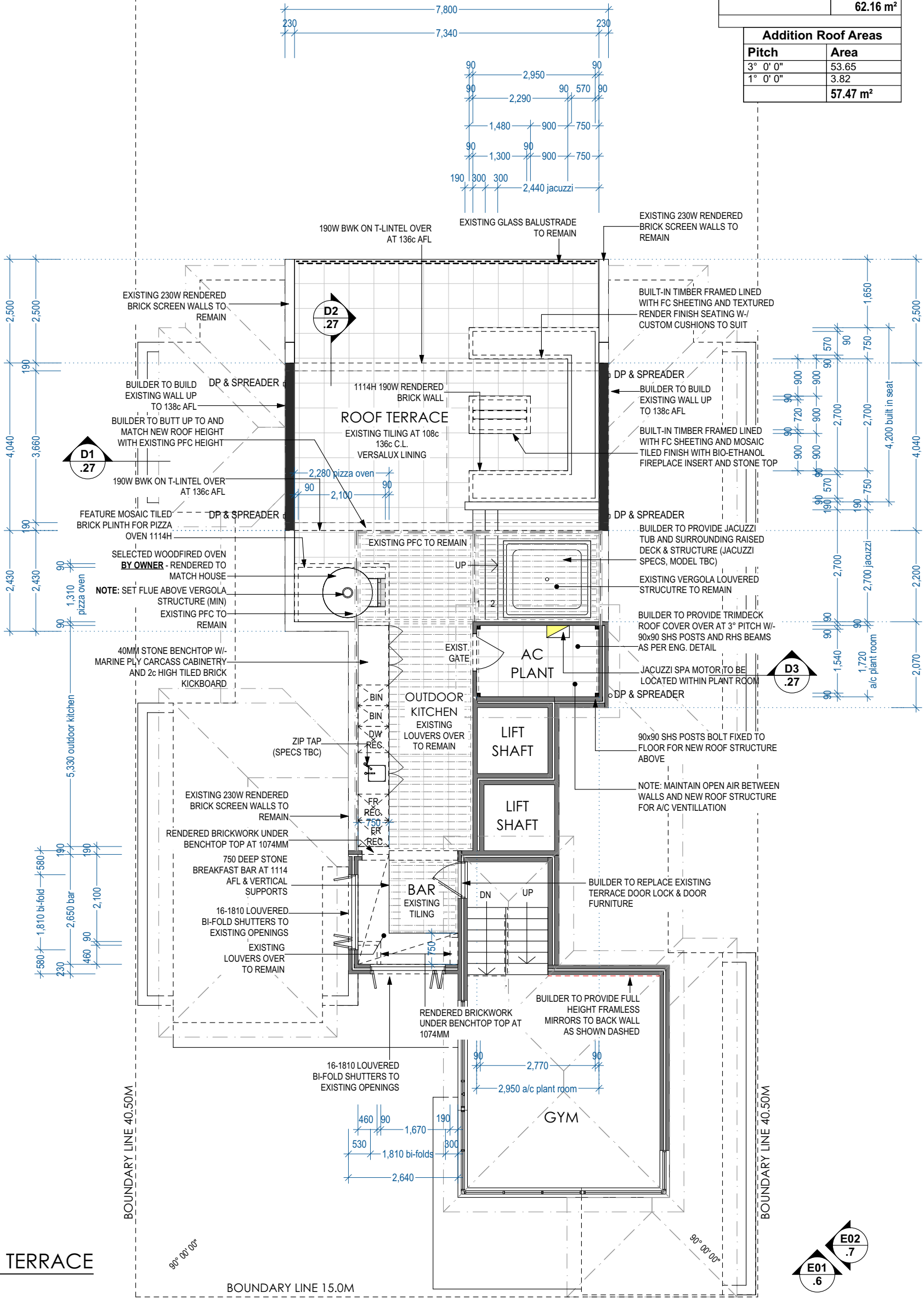
NOTE:
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Addition Areas			
Floor	Location	Area	Perimeter
BASEMENT			
	Alfresco	33.43	23,660.0
	Dog Kennel	3.80	7,820.0
		37.23 m²	
GROUND FLOOR			
	Foyer	6.93	11,030.0
		6.93 m²	
ROOF TERRACE			
	Roof Terrace	31.51	23,680.0
		31.51 m²	
		75.67 m²	

New Hardscape Areas	
Location	Area
Alfresco	47.36
Pool Store	5.91
Pool Deck	5.69
Dog Astro Turf	3.20
	62.16 m²

Addition Roof Areas	
Pitch	Area
3° 0' 0"	53.65
1° 0' 0"	3.82
	57.47 m²



DRAWN BY: CW
CHECKED BY: CW
PROJECT NO. 04
Plot Date: 22/04/2020

REVISION NO. 04
DRAWING NO. 4

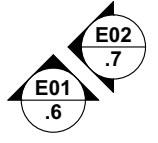
SITE: Lot 546 (#20) Southampton Lane, Mandarie
LOCAL AUTHORITY: City of Wanneroo

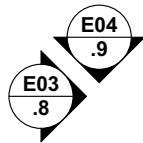
CLIENT: Willemse
DRAWING TITLE: WKG DWGS Roof Terrace

REV ID	DESCRIPTION	DATE	NAME	CHK
01	PROPOSAL	14/10/2019	Chris CW	
02	WKG DWGS	22/11/2019	Chris CW	
03	PLAN CHGS	18/02/2020	Chris CW	
04	PLAN CHGS	21/04/2020	Chris CW	

WHITE on WHITE
DESIGN

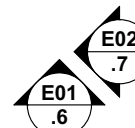
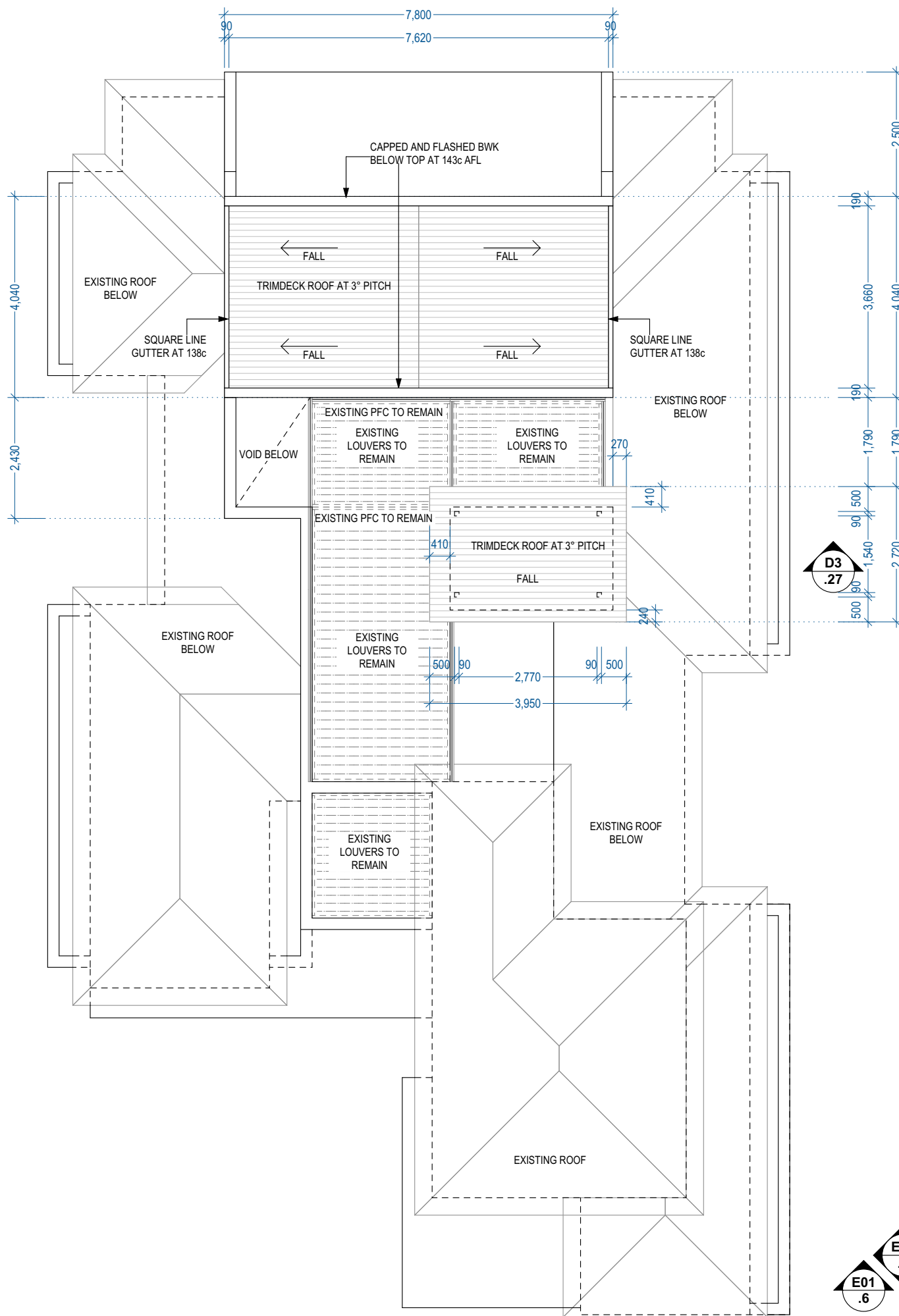
ROOF TERRACE
1:100





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SITE PRIOR TO COMMENCEMENT OF WORKS

Addition Roof Areas	
Pitch	Area
3° 0' 0"	53.65
1° 0' 0"	3.82
	57.47 m²



DRAWN BY :
CHECKED BY :
PROJECT NO. :
Plot Date: 22/04/2020

03
.5

REVISION NO.
DRAWING NO.

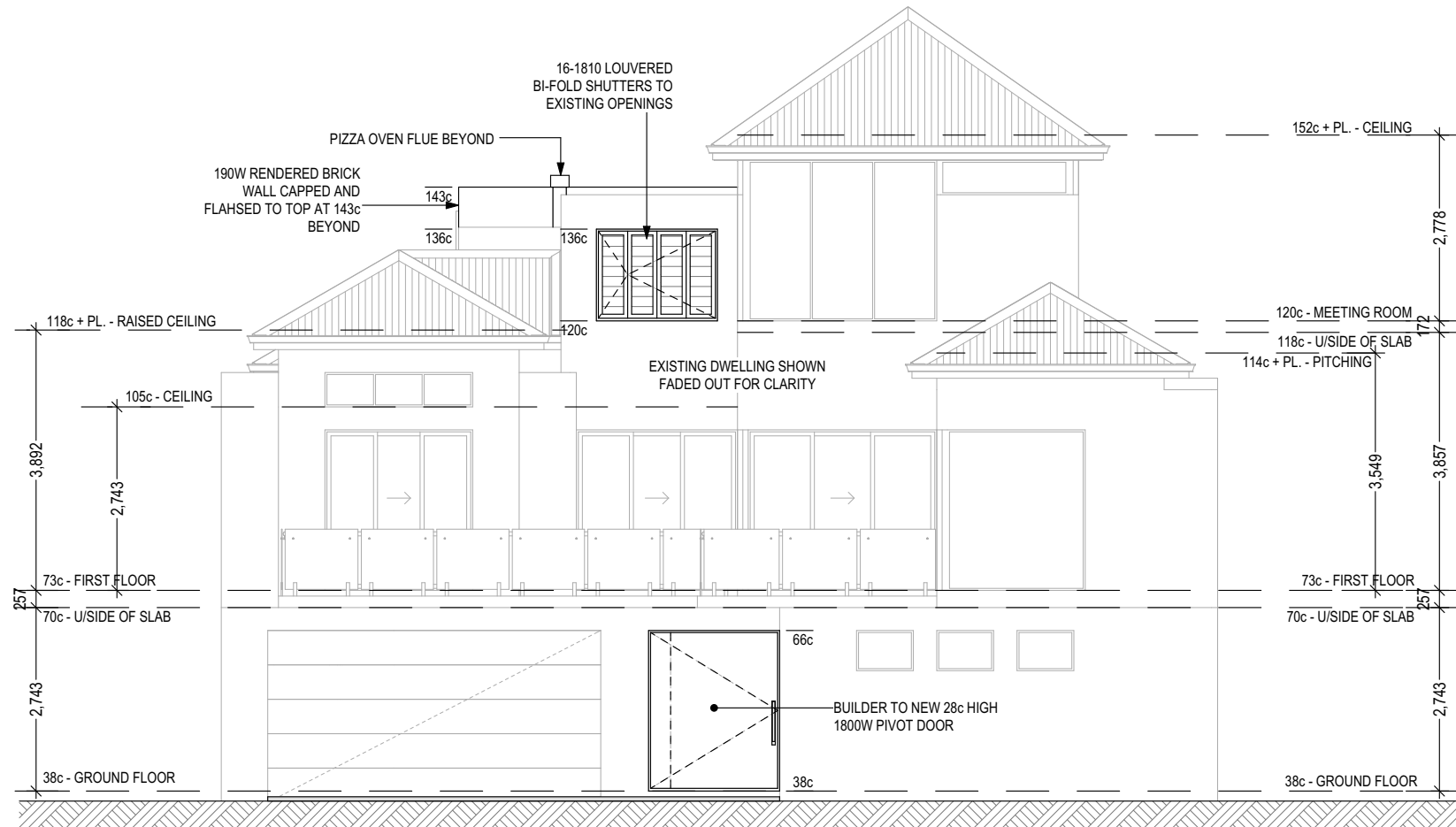
SITE : Lot 546 (#20) Southampton Lane, Mindarie
LOCAL AUTHORITY : City of Wanneroo

CLIENT : Willemse
DRAWING TITLE : WKG DWGS Roof Plan

REV ID	DESCRIPTION	DATE	NAME	CHK
01	WKG DWGS	22/11/2019	Chris	
02	PLAN CHGS	18/02/2020	Chris	
03	PLAN CHGS	21/04/2020	Chris	

WHITE on WHITE
DESIGN

NOTE:
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SITE PRIOR TO COMMENCMENT OF WORKS



E01 ELEVATION 1
SCALE 1:100

WHITE on WHITE
DESIGN

01	PROPOSAL	14/10/2019	Chris	CW
02	WKG DWGS	22/11/2019	Chris	CW
03	PLAN CHGS	18/02/2020	Chris	CW
04	PLAN CHGS	21/04/2020	Chris	CW
REV ID	DESCRIPTION	DATE	NAME	CHK

CLIENT :
Willemse

DRAWING TITLE :
WKG DWGS Elevations 1

SITE :
Lot 546 (#20) Southampton Lane, Mindarie

LOCAL AUTHORITY :
City of Wanneroo

REVISION NO.
04

DRAWING NO.
.6

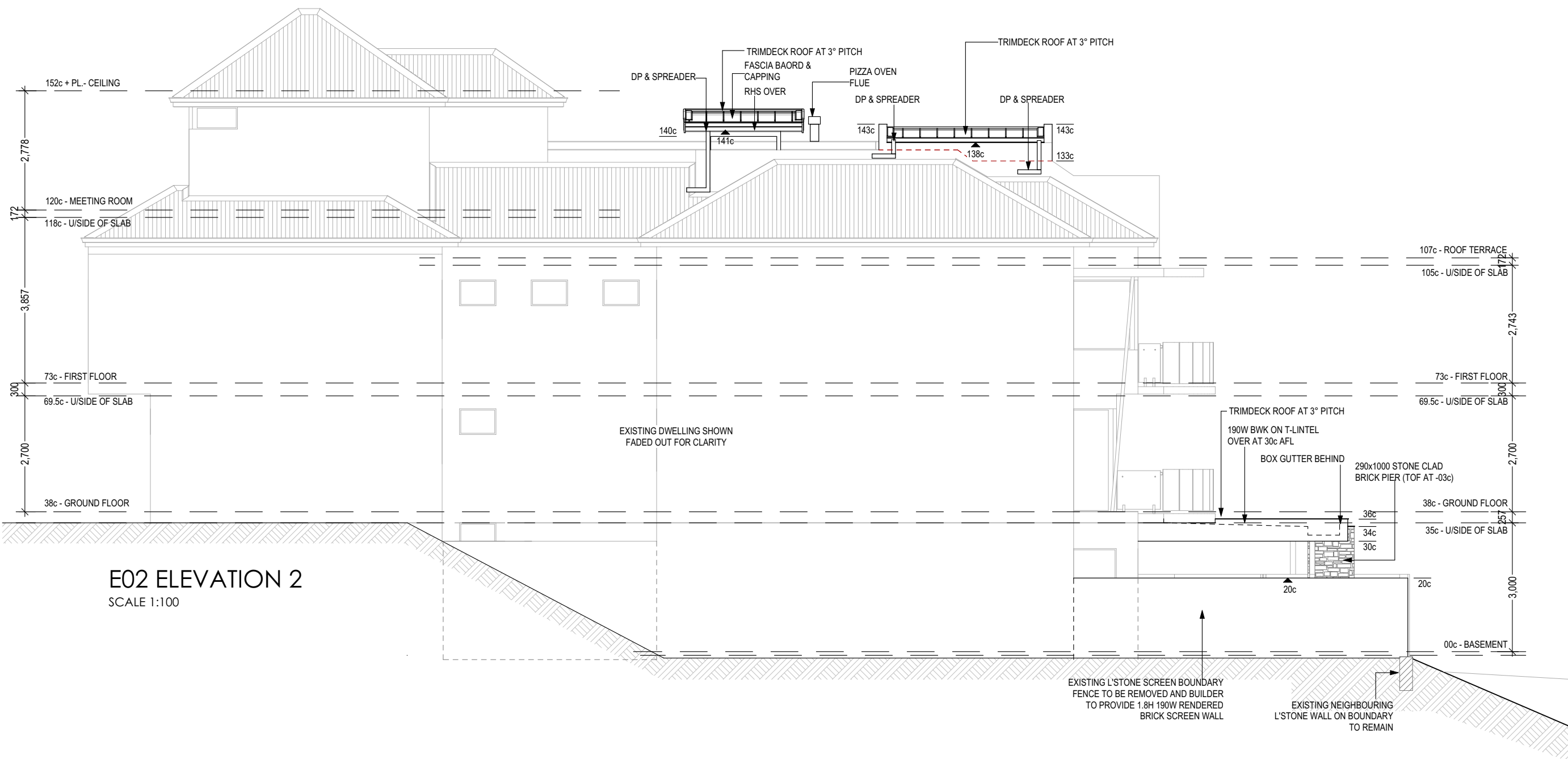
DRAWN BY :
CW

CHECKED BY :
CW

PROJECT NO.
-

Plot Date: 22/04/2020

NOTE:
ALL DIMENSIONS TO BE CONFIRMED ON
SITE PRIOR TO COMMENCEMENT OF WORKS



E02 ELEVATION 2
SCALE 1:100

01	PROPOSAL	14/10/2019	Chris	CW
02	WKG DWGS	22/11/2019	Chris	CW
03	PLAN CHGS	18/02/2020	Chris	CW
04	PLAN CHGS	21/04/2020	Chris	CW
REV ID	DESCRIPTION	DATE	NAME	CHK

CLIENT :
Willemse

DRAWING TITLE :
WKG DWGS Elevations 2

SITE :
Lot 546 (#20) Southampton Lane, Mindarie

LOCAL AUTHORITY :
City of Wanneroo

REVISION NO.
04

DRAWING NO.
.7

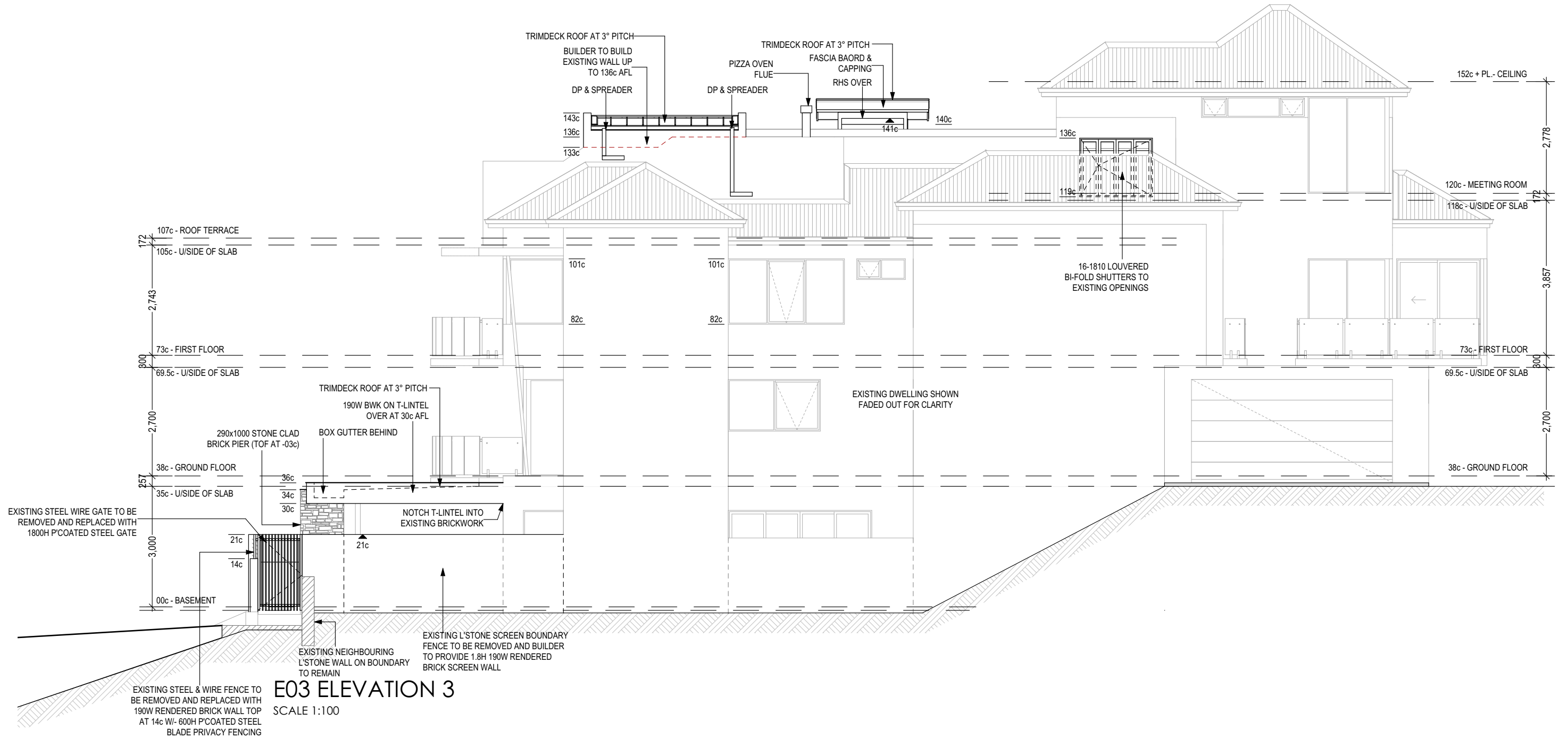
DRAWN BY :
CW

CHECKED BY :
CW

PROJECT NO.
-

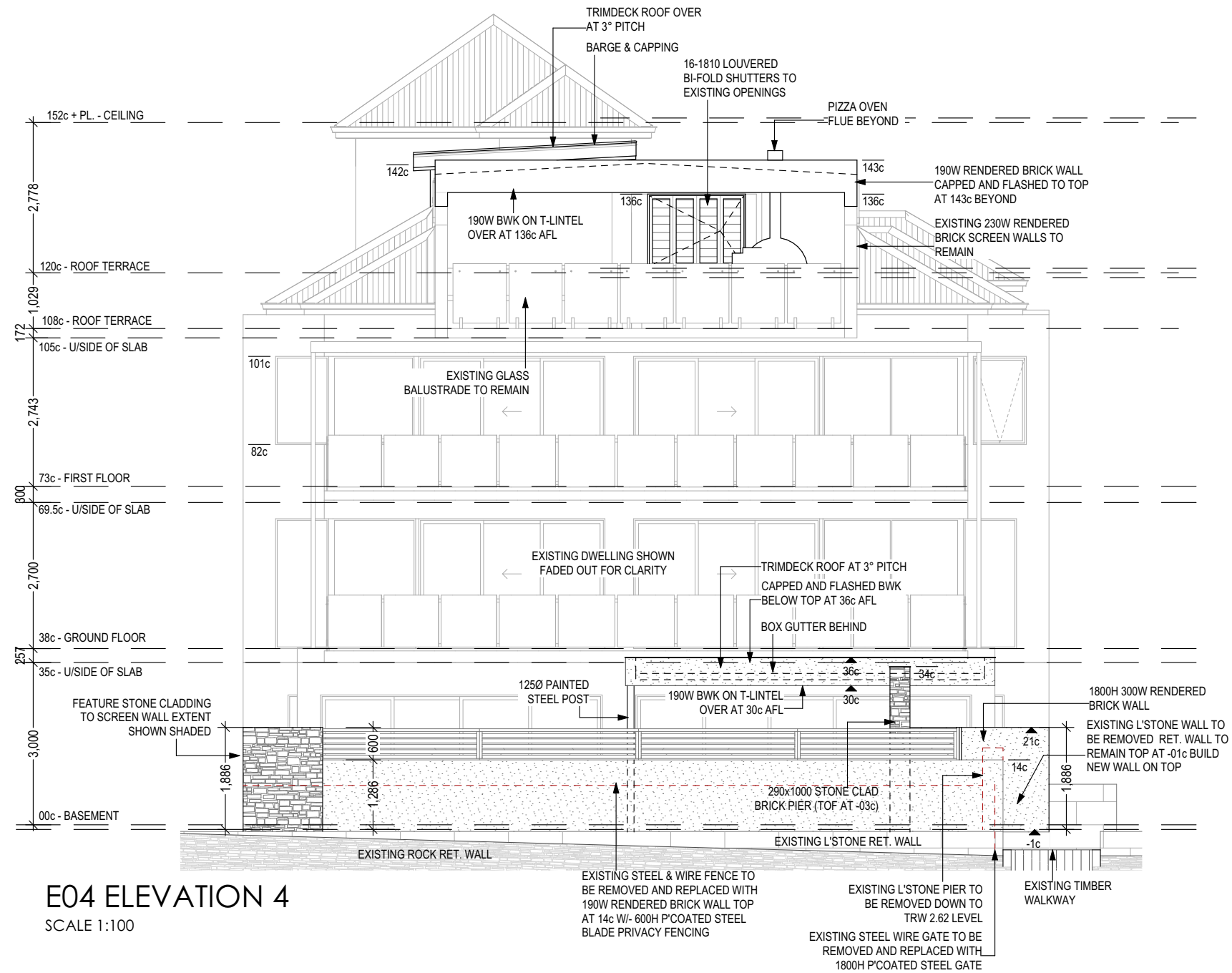
Plot Date:
22/04/2020

NOTE:
ALL DIMENSIONS TO BE CONFIRMED ON
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REV ID	DESCRIPTION	DATE	NAME	CHK
01	WKG DWGS	22/11/2019	Chris	
02	PLAN CHGS	18/02/2020	Chris	
03	PLAN CHGS	21/04/2020	Chris	

NOTE:
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E04 ELEVATION 4
SCALE 1:100

REV ID	DESCRIPTION	DATE	NAME	CHK
01	WKG DWGS	22/11/2019	Chris	
02	PLAN CHGS	18/02/2020	Chris	
03	PLAN CHGS	21/04/2020	Chris	

CLIENT :
Willemse

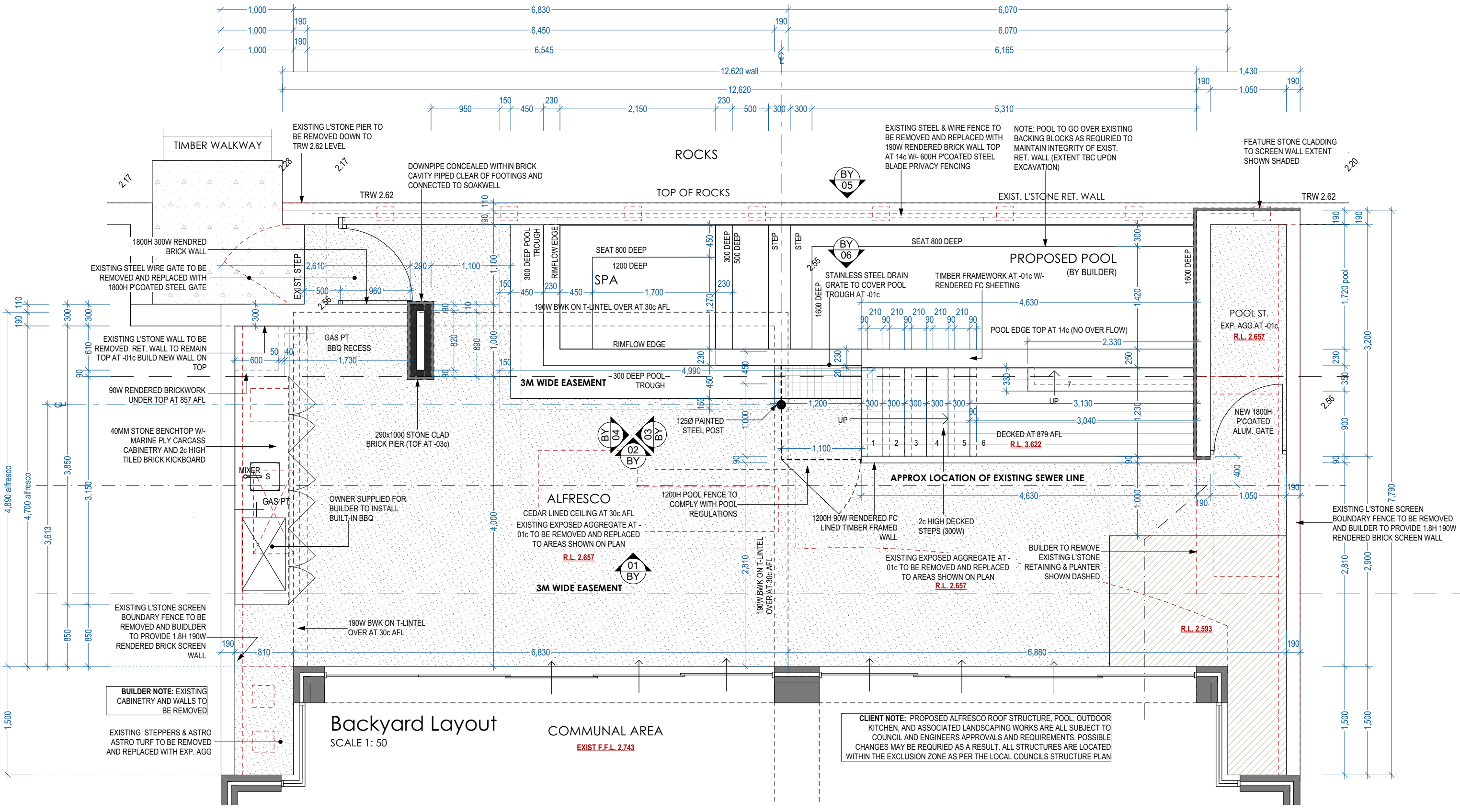
DRAWING TITLE :
WKG DWGS Elevations 4

SITE :
Lot 546 (#20) Southampton Lane, Mindarie

LOCAL AUTHORITY :
City of Wanneroo

REVISION NO.	03	DRAWN BY :
DRAWING NO.	.9	CHECKED BY :
		PROJECT NO. :
		Plot Date: 22/04/2020

NOTE:
ALL DIMENSIONS TO BE CONFIRMED ON
SITE PRIOR TO COMMENCEMENT OF WORKS



Backyard Layout
SCALE 1: 50
COMMUNAL AREA
EXIST F.F.L. 2.743

CLIENT NOTE: PROPOSED ALFRESCO ROOF STRUCTURE, POOL, OUTDOOR KITCHEN, AND ASSOCIATED LANDSCAPING WORKS ARE ALL SUBJECT TO COUNCIL AND ENGINEERS APPROVALS AND REQUIREMENTS. POSSIBLE CHANGES MAY BE REQUIRED AS A RESULT. ALL STRUCTURES ARE LOCATED WITHIN THE EXCLUSION ZONE AS PER THE LOCAL COUNCILS STRUCTURE PLAN

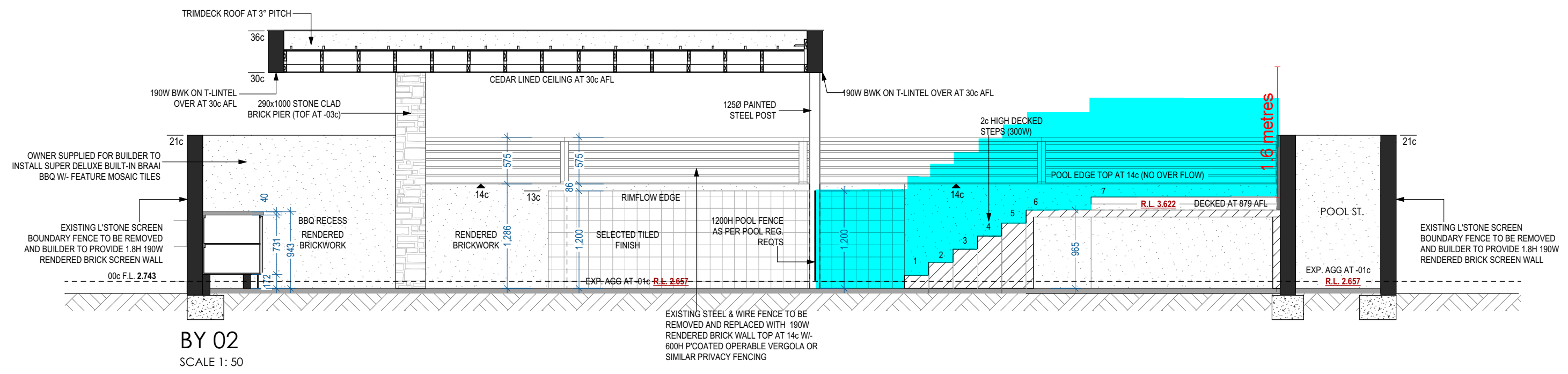
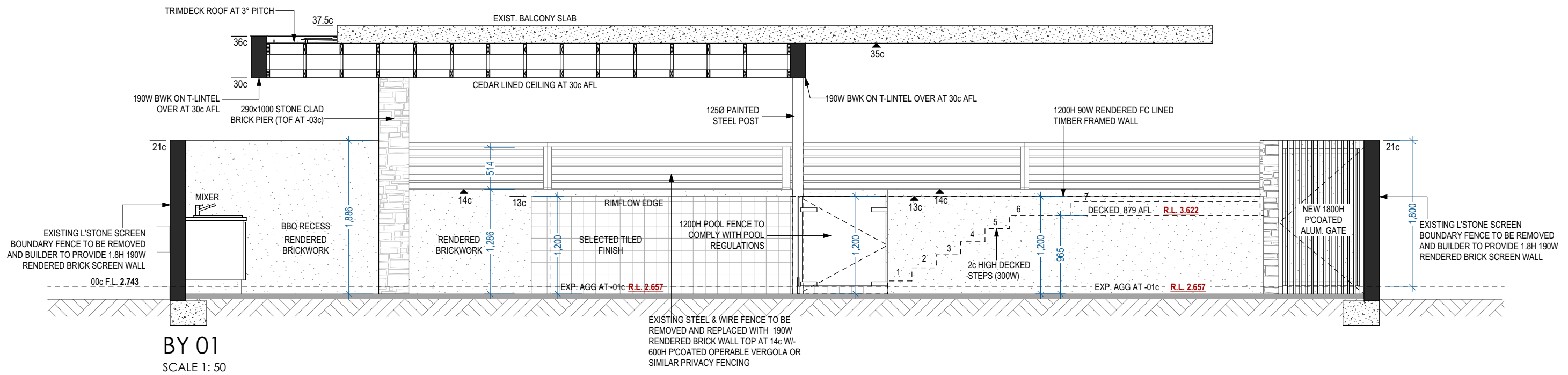
REV ID	DESCRIPTION	DATE	NAME	CHK
01	WKG DWGS	22/11/2019	Chris	
02	PLAN CHGS	18/02/2020	Chris	
03	PLAN CHGS	21/04/2020	Chris	

CLIENT:
Willemse
DRAWING TITLE:
WKG DWGS
Backyard Plan

SITE:
Lot 546 (#20) Southampton Lane, Mindarie
LOCAL AUTHORITY:
City of Wanneroo

REVISION NO.	03	DRAWN BY:	
DRAWING NO.	.10	CHECKED BY:	
		PROJECT NO.	
		Plot Date:	22/04/2020

NOTE:
ALL DIMENSIONS TO BE CONFIRMED ON
SITE PRIOR TO COMMENCEMENT OF WORKS



01	WKG DWGS	22/11/2019	Chris	
02	PLAN CHGS	18/02/2020	Chris	
03	PLAN CHGS	21/04/2020	Chris	
REV ID	DESCRIPTION	DATE	NAME	CHK

CLIENT :
Willemse

DRAWING TITLE :
**WKG DWGS
Backyard Elevations 1**

SITE :
Lot 546 (#20) Southampton Lane, Mindarie

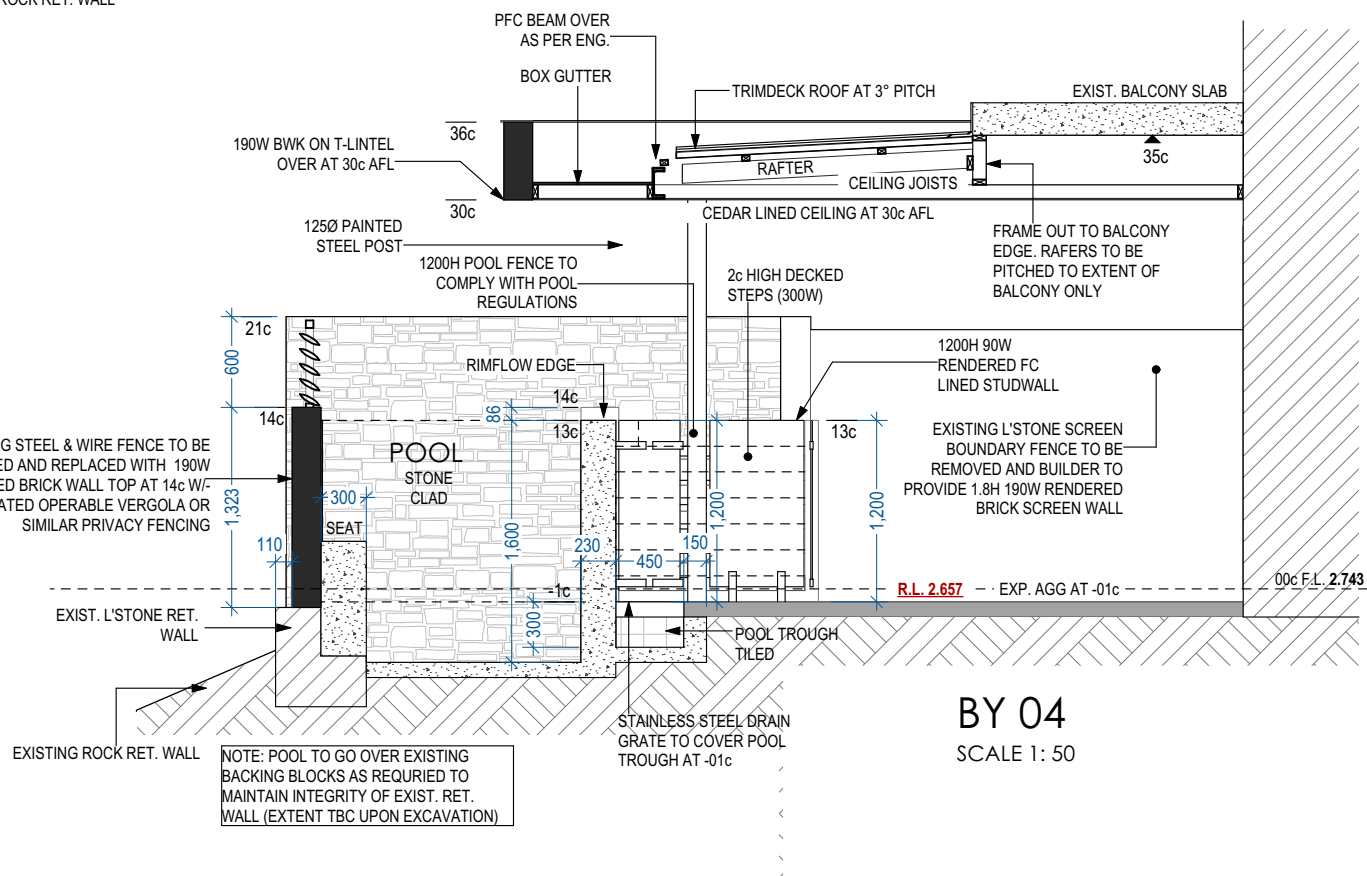
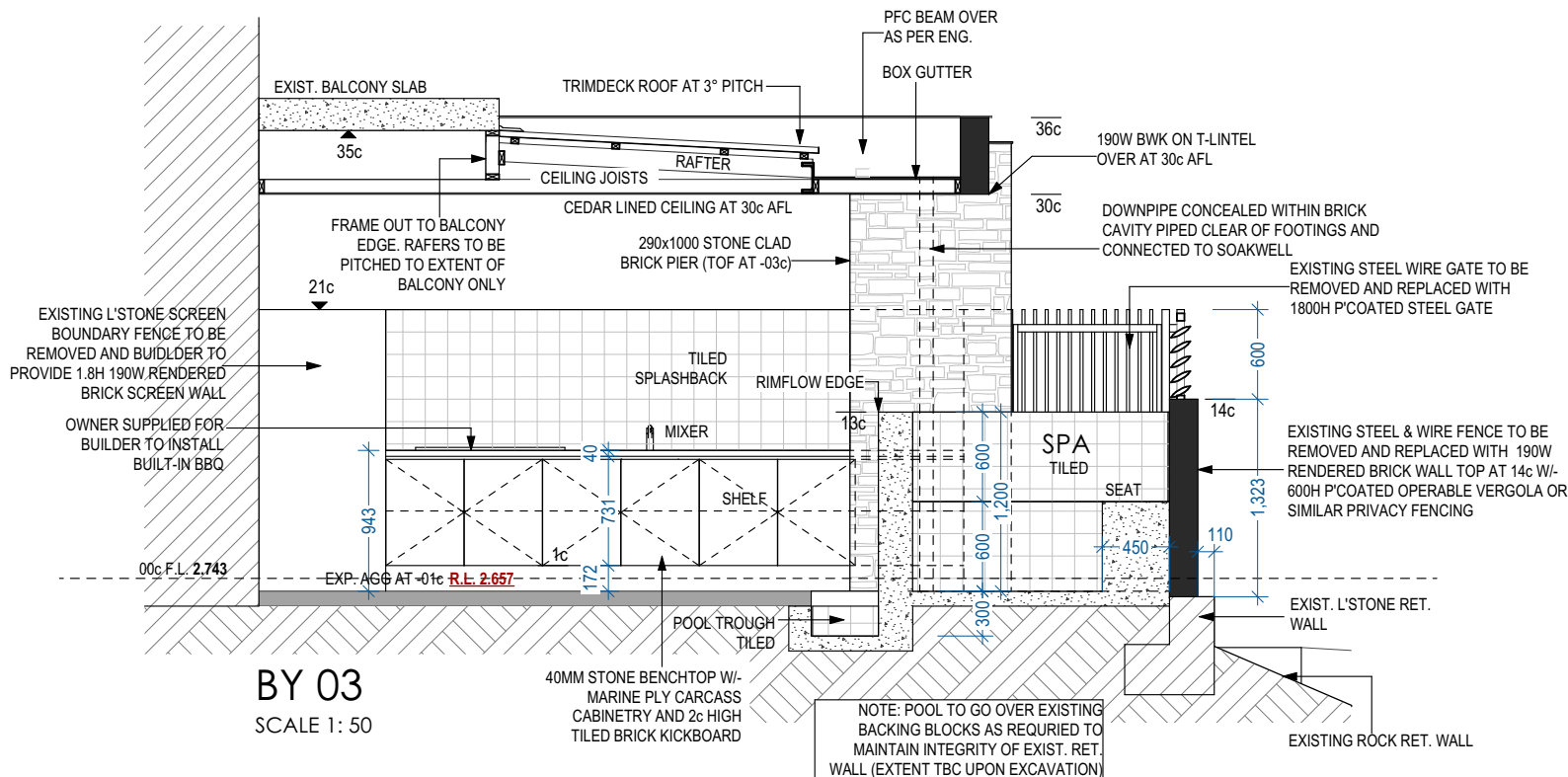
LOCAL AUTHORITY :
City of Wanneroo

REVISION NO.
03

DRAWING NO.
.11

DRAWN BY :
CHECKED BY :
PROJECT NO. :
Plot Date: 22/04/2020

WILLEMSE RESIDENCE



NOTE:
ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS

WHITE on WHITE
DESIGN

01	WKG DWGS	22/11/2019	Chris	
02	PLAN CHGS	18/02/2020	Chris	
03	PLAN CHGS	21/04/2020	Chris	
REV ID	DESCRIPTION	DATE	NAME	CHK

CLIENT:
Willemse

DRAWING TITLE:
WKG DWGS Backyard Elevations 2

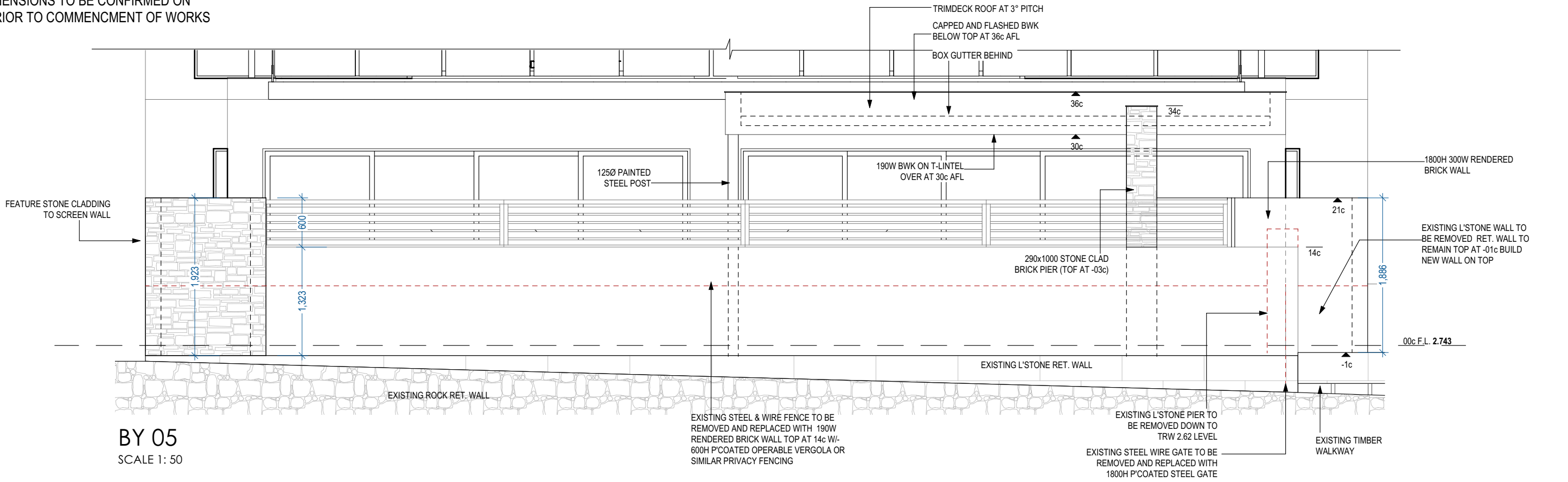
SITE:
Lot 546 (#20) Southampton Lane, Mindarie

LOCAL AUTHORITY:
City of Wanneroo

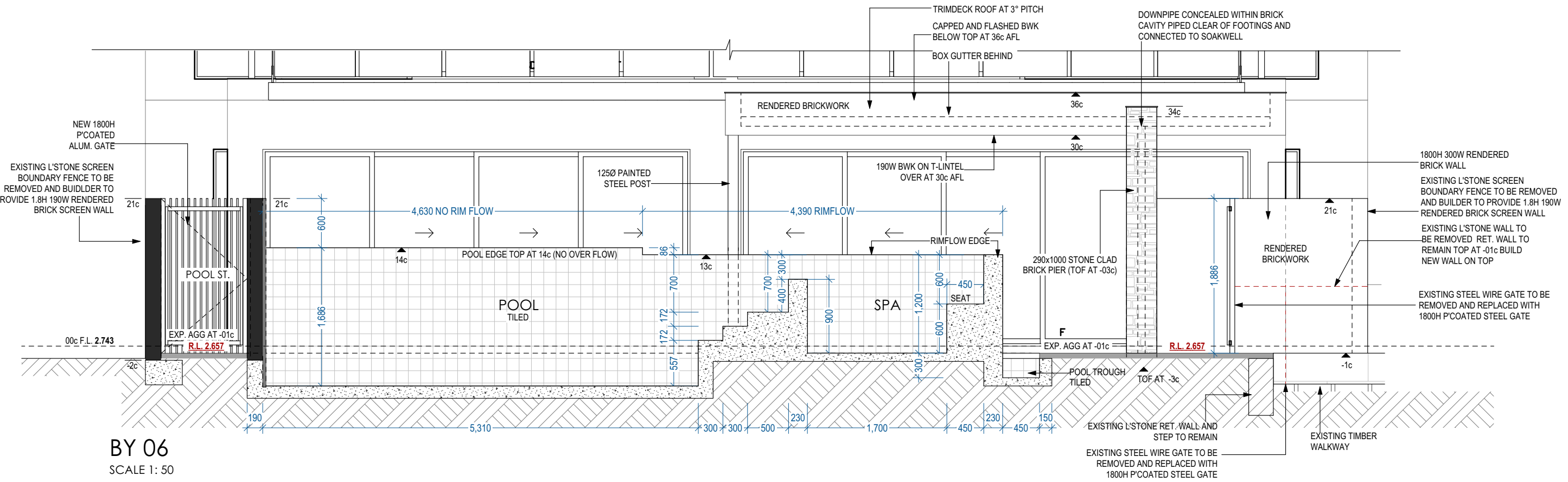
REVISION NO.	03	DRAWN BY:
DRAWING NO.	.12	CHECKED BY:
		PROJECT NO.
		Plot Date: 22/04/2020

WILLEMSE RESIDENCE

NOTE:
ALL DIMENSIONS TO BE CONFIRMED ON
SITE PRIOR TO COMMENCEMENT OF WORKS



BY 05
SCALE 1: 50



BY 06
SCALE 1: 50