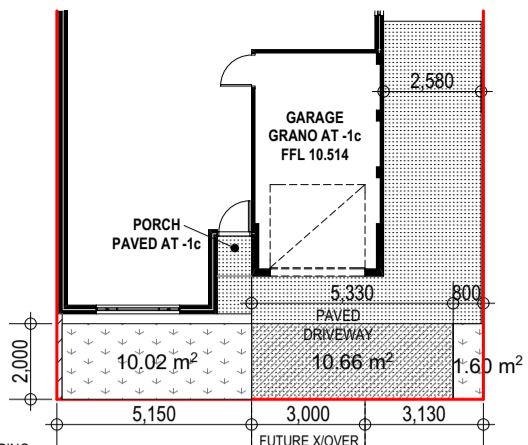




### SERVICE LEGEND

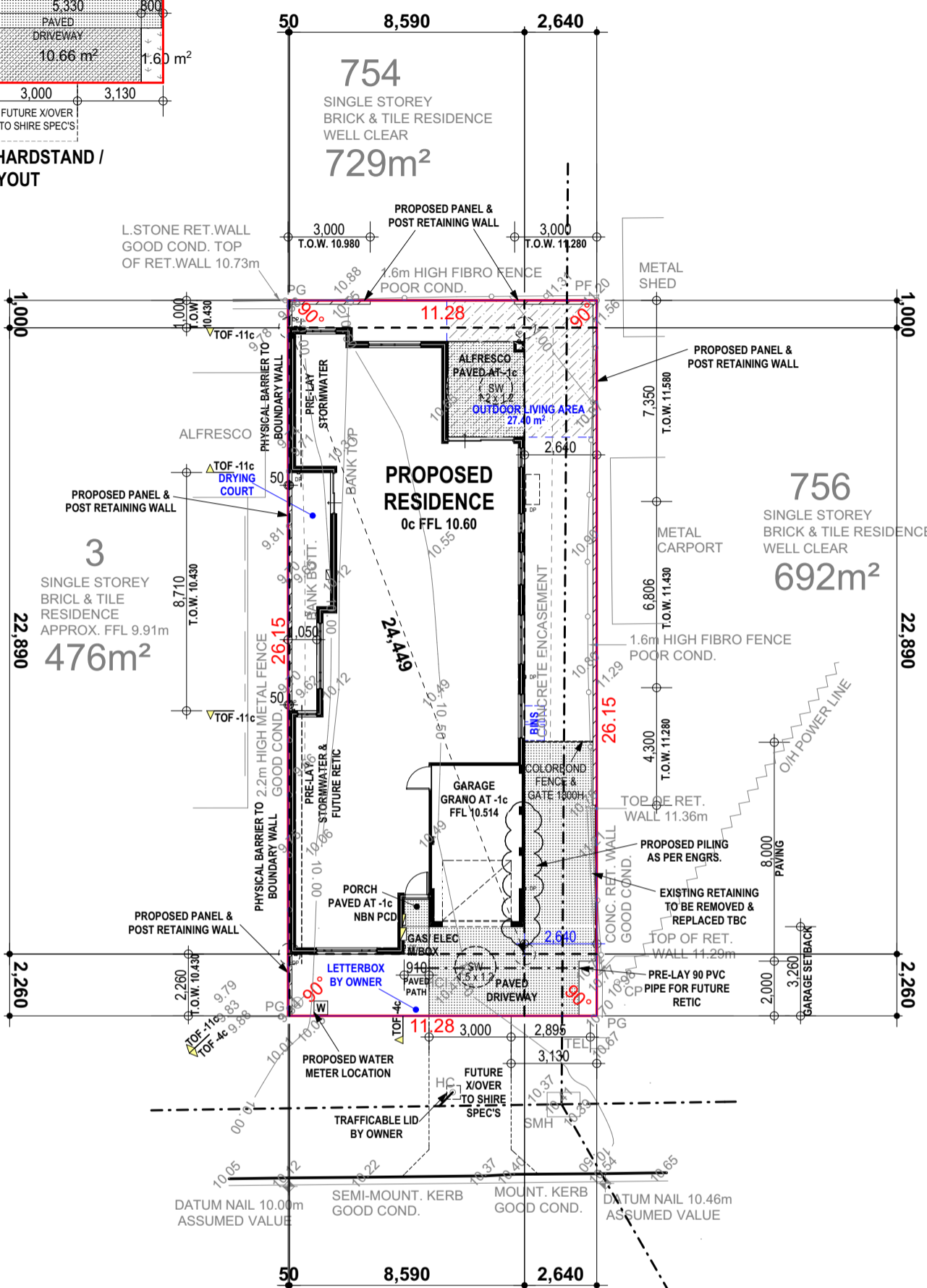
- POWER**
- CONSUMER POLE ○ CP
- POWER POLE ○ PP
- LIGHT POLE ○ LP
- STAY POLE ○ SP
- S. WIRE ANCHOR ○ SWA
- UNI PILLAR ⊗
- EXPOSED CABLES ○ EC
- GAS**
- PRE-LAID CONN. ○ GPL
- METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
- INSPECT. SHAFT ○ IS
- INSPECT. OPENING ○ IO
- HOUSE CONNECTION ○ HC
- HOUSE CONN. INDICATOR ○ HCI
- INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
- PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
- GULLY PIT □
- LOT PIT ○ LDP
- HOUSE CONN. ○ DHC
- SIDE ENTRY PIT □
- COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
- HYDRANT ○ HY
- FLUSH POINT ○ FP
- WATER TAP ○ WTP
- WATER METER ○ M
- PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ⊕
- PEG FOUND ○ PF
- PEG DISTURBED ○ PD
- PEG GONE PG
- STAKE FOUND ○ STF



**FRONT SETBACK HARDSTAND / LANDSCAPING LAYOUT**  
SCALE 1:200

- SOFT LANDSCAPING
- HARDSTAND

**CONCRETOR/ BRICKLAYER NOTE**  
-BRICK WALL ON BOUNDARY SET IN 10mm



PAVING AREAS	
Paving	Area
DRIVEWAY	36.00
FUTURE XOVER	18.51
ALFRESCO	9.65
PORCH	0.91
PATH	0.91
	<b>65.98 m²</b>
Grano	
Area	
GARAGE	18.54
	<b>18.54 m²</b>

**GROUND COVER**  
SANDY / GRASS / WEED

**SITE COVER CALC'S.**  
 R-CODE: R20/R60  
 SITE AREA: 295m²  
**SITE COVER (ENCLOSED AREA)**  
 HOUSE: 147.11m²  
 GARAGE: 20.15m²  
 PORCH: 0.91m²  
**TOTAL: 168.17m², 52.39%**  
 (OPEN SPACE: 152.83m², 47.61%)

### LOT RECORDS

LOT SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER		✓		✓
SEWERAGE	✓			
GAS		✓		✓
TELE.	✓			
DRAINAGE				✓
POWER <u>U/G</u>	✓			
	<u>O/H</u>	✓		✓

AREA: ESTAB 07/2018  
 COASTAL DISTANCE >10km  
 LOT: 4  
 AREA: 295 m²  
 APPROX. AHD + 46.19m  
 SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.  
 SEWER CONNECTION POSITION APPROXIMATE ONLY  
 SEWER INVERT LEVEL 7.34  
 SEWER BROUGHT UP 0.00  
 DEPTH TO CONNECTION 3.05

### SITE PLAN

**DANGER: OVERHEAD POWERLINES**

**CLIENT NOTE**  
-FLOOR LEVELS ON PLAN CAN VARY 100mm EITHER WAY

**PLUMBER NOTE**  
-ASSESS SOAKWELL SIZE & LOCATION

**RAINWATER DISPERSAL**

- SOAKWELLS
- SILT PIT
- BY BUILDER
- BY OWNER

Soak Well Type	No.	Capacity
SW 1200x1200	1	1.4 m³
SW 1500x1200	1	2.1 m³
<b>Total Capacity</b>		<b>3.5 m³</b>
Roof Area GF		183.4 m²
Total Area		183.4 m²
Capacity Required (Area x 0.0165)		<b>3.0 m³</b>
Extra Capacity Provided		<b>0.5 m³</b>

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

TITLE : FEATURE SURVEY  
 CLIENT : V K MORRIS  
 BUILDER : IDEAL HOMES

P: (08) 9354 8511  
 W: www.linkssurveying.com.au  
 E: info@linkssurveying.com.au

**LINKS SURVEYING**

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

LOT : 4 No. 1 WOODFORD CT  
 SUBURB : KOONDOOLA DP : 414138  
 AUTHORITY : CITY OF WANNEROO C/T : 2955/342  
 UBD REF : 208 L 11 GPS : S 31.84295° E 115.86284°

5 0 2.5 5 10 15

SHEET 1 of 1 BUILDER'S REF I19286 SURVEYED 18/02/20 SCALE @ A3 1:200 DWG No 38232-01-500 REV A



CLIENT: MORRIS  
 PROPOSED RESIDENCE  
**LOT 4 (1) WOODFORD COURT, KOONDOOLA**  
 HOUSE TYPE: **INDIVIDUAL**

SIGNATURES  
 CLIENT 1: ..... DATE: .....  
 CLIENT 2: ..... DATE: .....  
 BUILDERS: ..... DATE: .....  
 NO STRUCTURAL CHANGES (PRINTED DATE: 5/05/2020)

DRAWN / AMENDMENTS  
 16/1/20 FINANCE BCM/AGM  
 31/03/20 WORKING AT/AGM  
 21/04/20 PS VO #57140 NR  
 30/04/20 ENG CHK AT  
 05/05/20 SHIRE AMDT AT

WORKING DRAWINGS  
 © COPYRIGHT IDEAL HOMES  
 BCA ENERGY EFFICIENCY REQUIREMENTS MAY ALTER THIS DESIGN  
 Dimensions take preference over scaling & to be checked on site prior to commencing construction

JOB NO: **119286**  
 SCALE: 1:200  
 SHEET: **1 of 8**

**CLIENT NOTE**

-DIMENSIONS RELATE TO BRICKWORK SETOUT ONLY.  
 NO ALLOWANCE IS MADE FOR PLASTER OR WALL FINISH WHERE THESE APPLY.  
 -FIXTURES ARE DIAGRAMMATIC, SIZE MAY VARY DUE TO MANUFACTURERS SPECIFICATIONS.

**CONCRETOR/BK LAYER NOTE**

-TOP OF ISOLATED PIER FOOTINGS AT -4c

**BRICKLAYER NOTE**

**2c FACE BRICKWORK**

-RENDER TO FRONT ELEVATION ONLY  
 -290 x 90 x 162 BRICKWORK LAID 1/3 BOND  
 -1st COURSE OF BRICKWORK TO FOOTING AND SLAB TO BE 2c CORED BRICK  
 -2c FACE BKWK TO BOUNDARY WALL & INSIDE OF GARAGE  
 -PHYSICAL TERMITE BARRIER TO BOUNDARY WALL AT 0c

**BRICKLAYER/  
 WINDOW SUPPLIER NOTE**

-TIMBER DOOR FRAMES MARKED 'TF'

**PLUMBER NOTE**

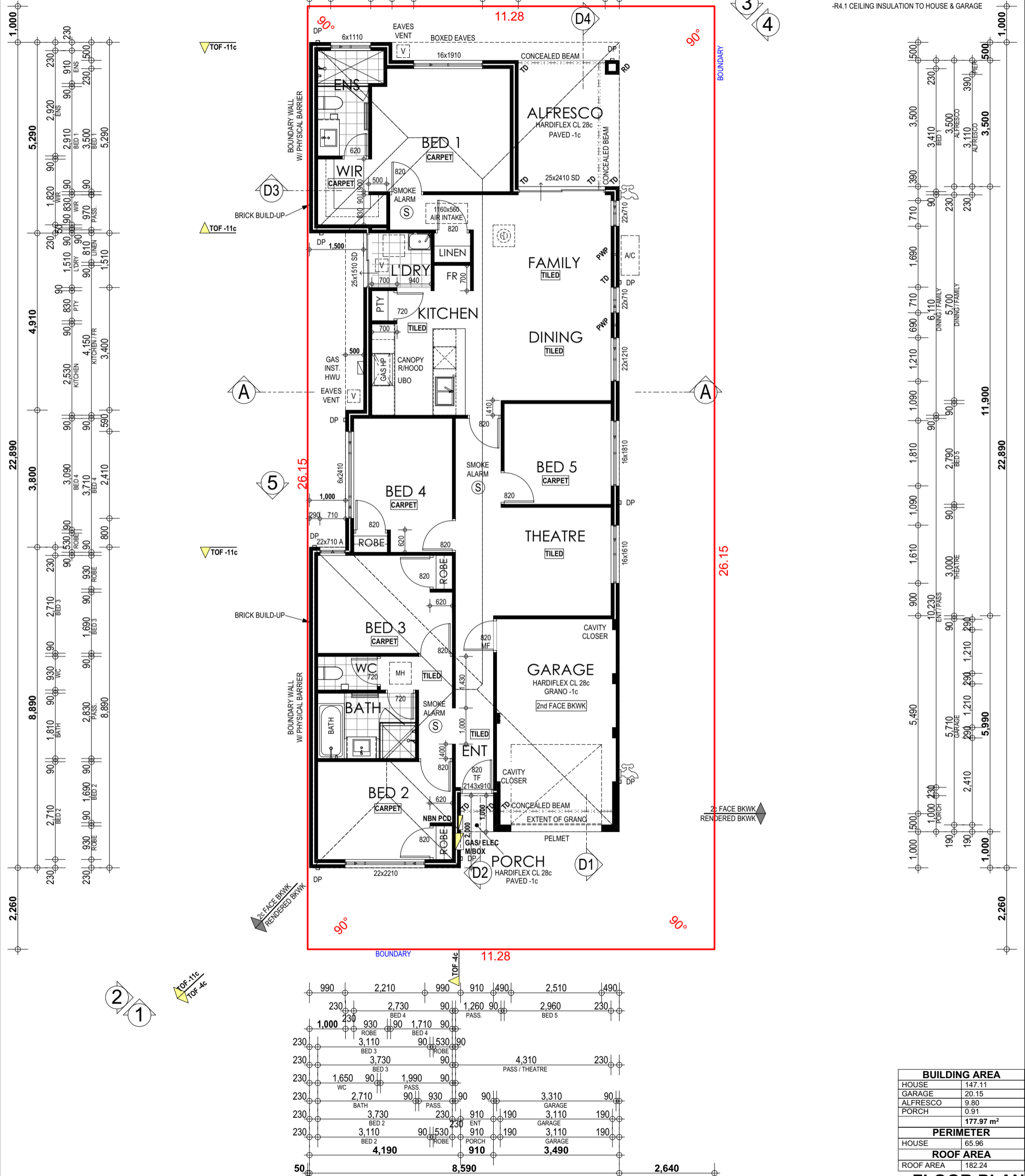
-LOCATION OF FLOOR WASTES TO WET AREAS TO BE DETERMINED ON SITE AT PLUMBERS DISCRETION  
 -LOCATION OF DOWNPIPES ARE INDICATIVE AND MAY BE CHANGED ON SITE AT PLUMBERS DISCRETION

**FIXING CARPENTER NOTE**

-WEATHERDRAFT SEALS TO EXTERNAL DOORS  
 -SHELF & RAIL TO ROBES AT 1700AFL U.O.N.  
 -4x SHELVES TO LINENS, STORE & PANTRY AT 500/400/400/400 CTS U.O.N.


**INSULATION NOTE**

-R4.1 CEILING INSULATION TO HOUSE & GARAGE



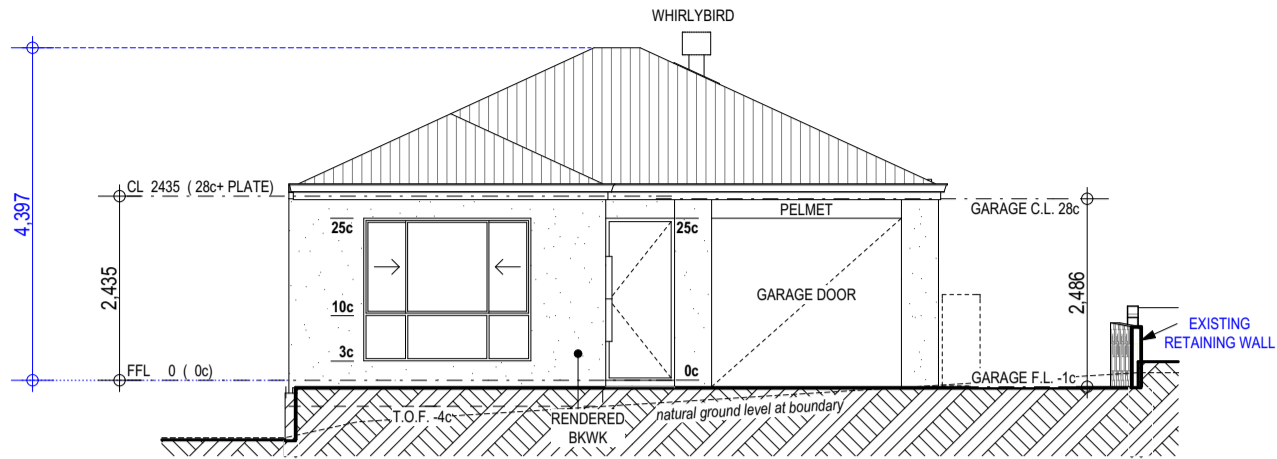
BUILDING AREA	
HOUSE	147.11
GARAGE	20.15
ALFRESCO	9.80
PORCH	0.91
177.97 m <sup>2</sup>	
PERIMETER	
HOUSE	65.96
ROOF AREA	
ROOF AREA	182.24

**FLOOR PLAN**

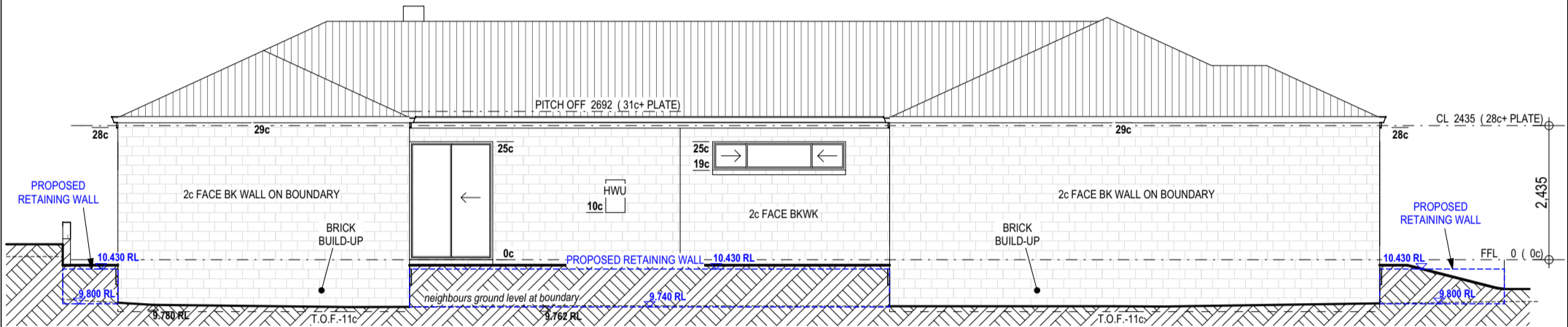
 <p>14 LUISINI ROAD WANGARA 6065                  PH: 6200 2022 E: info@idealthomes.com.au</p>	<p><b>CLIENT</b>                  MORRIS                  PROPOSED RESIDENCE  <b>LOT 4 (1) WOODFORD COURT,                  KOONDOOLA</b></p>	<p><b>SIGNATURES</b></p> <p>CLIENT 1: ..... DATE: .....</p> <p>CLIENT 2: ..... DATE: .....</p> <p>BUILDERS: ..... DATE: .....</p> <p>NO STRUCTURAL CHANGES (PRINTED DATE: 5/05/2020)</p>	<p><b>DRAWN / AMENDMENTS</b></p> <p>16/1/20 FINANCE BCM/AGM                  31/03/20 WORKING AT/AGM                  21/04/20 PS VO #57140 NR                  30/04/20 ENG CHK AT                  05/05/20 SHIRE AMDT AT</p>	<p><b>WORKING DRAWINGS</b></p> <p>© COPYRIGHT IDEAL HOMES</p> <p><b>BCA ENERGY EFFICIENCY REQUIREMENTS MAY ALTER THIS DESIGN</b></p> <p><i>Dimensions take preference over scaling &amp; to be checked on site prior to commencing construction</i></p>	<p><b>JOB NO: 119286</b></p> <p><b>SCALE: 1:100</b></p> <p><b>SHEET: 3 of 8</b></p>
	<p>HOUSE TYPE: <b>INDIVIDUAL</b></p>				

1c SOLID RECESSED SILLS TO FACE BRICKWORK

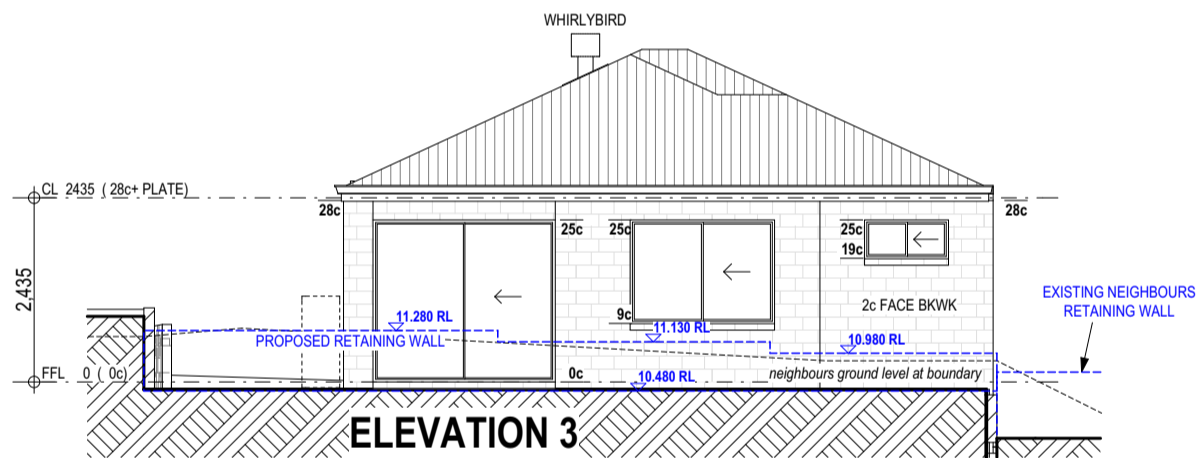
25° PITCH  
**METALDECK ROOF**  
 -ROOF FRAME TO COMPLY WITH AS1684  
 -R1 CORROSION CLASSIFICATION  
 -M1 WIND CLASSIFICATION



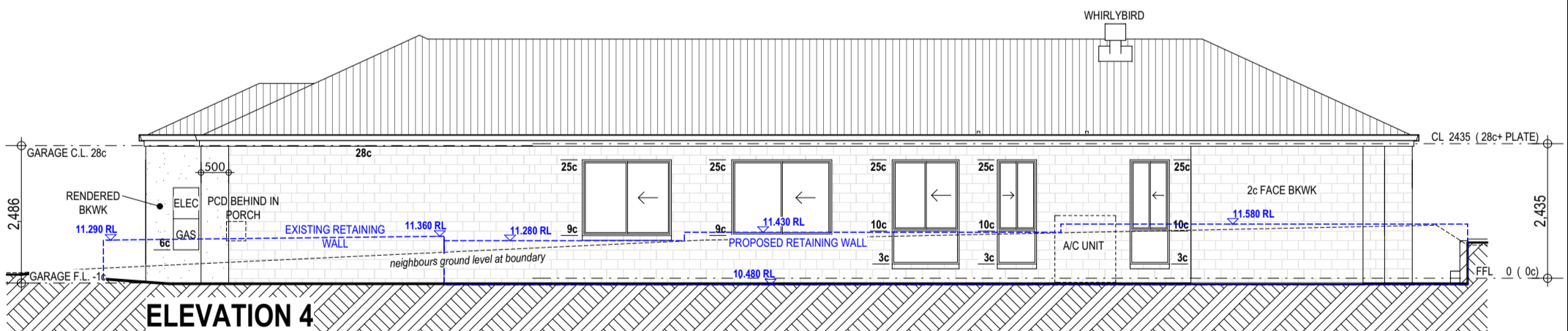
**ELEVATION 1**



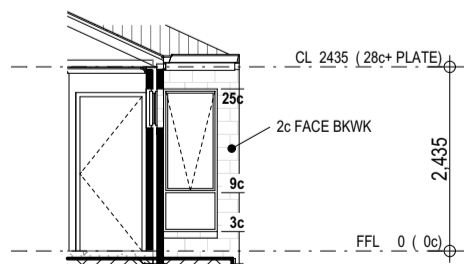
**ELEVATION 2**



**ELEVATION 3**




**ELEVATION 4**



**ELEVATION 5**

**ELEVATIONS**

 14 LUISINI ROAD WANGARA 6065 PH: 6200 2022 E: info@idealhomes.com.au	CLIENT <b>MORRIS</b> PROPOSED RESIDENCE <b>LOT 4 (1) WOODFORD COURT,                  KOONDOOLA</b>	SIGNATURES CLIENT 1: ..... DATE: ..... CLIENT 2: ..... DATE: ..... BUILDERS: ..... DATE: ..... NO STRUCTURAL CHANGES (PRINTED DATE: 5/05/2020)	DRAWN / AMENDMENTS 16/1/20 FINANCE BCM/AGM 31/03/20 WORKING AT/AGM 21/04/20 PS VO #57140 NR 30/04/20 ENG CHK AT 05/05/20 SHIRE AMDT AT	WORKING DRAWINGS © COPYRIGHT IDEAL HOMES <b>BCA ENERGY                  EFFICIENCY REQUIREMENTS                  MAY ALTER THIS DESIGN</b> Dimensions take preference over scaling & to be checked on site prior to commencing construction	JOB NO: <b>119286</b> SCALE: 1:100 SHEET: <b>4 of 8</b>
	HOUSE TYPE: <b>INDIVIDUAL</b>				