

LEGEND

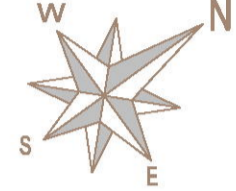
Symbol	SEC Dome
Symbol	Power Pole
Symbol	Phone Pile
Symbol	Water Conn.
Symbol	Top Pillar/Post
Symbol	Top Wall
Symbol	Top Retaining
Symbol	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from Information supplied by Water Corporation.



Floor Areas

Location	Area	Perimeter
EXIST. ALFRESCO	28.62	21.40
EXISTING HOUSE	243.39	77.56
EXISTING PORCH	2.60	6.60
EXISTING STORE	6.78	11.38
EXISTING V'DAH	10.00	14.00
NEW PATIO	61.82	43.34
TOTAL	353.21 m²	174.28 m

OPEN SPACE = 61.32%

SITE PLAN

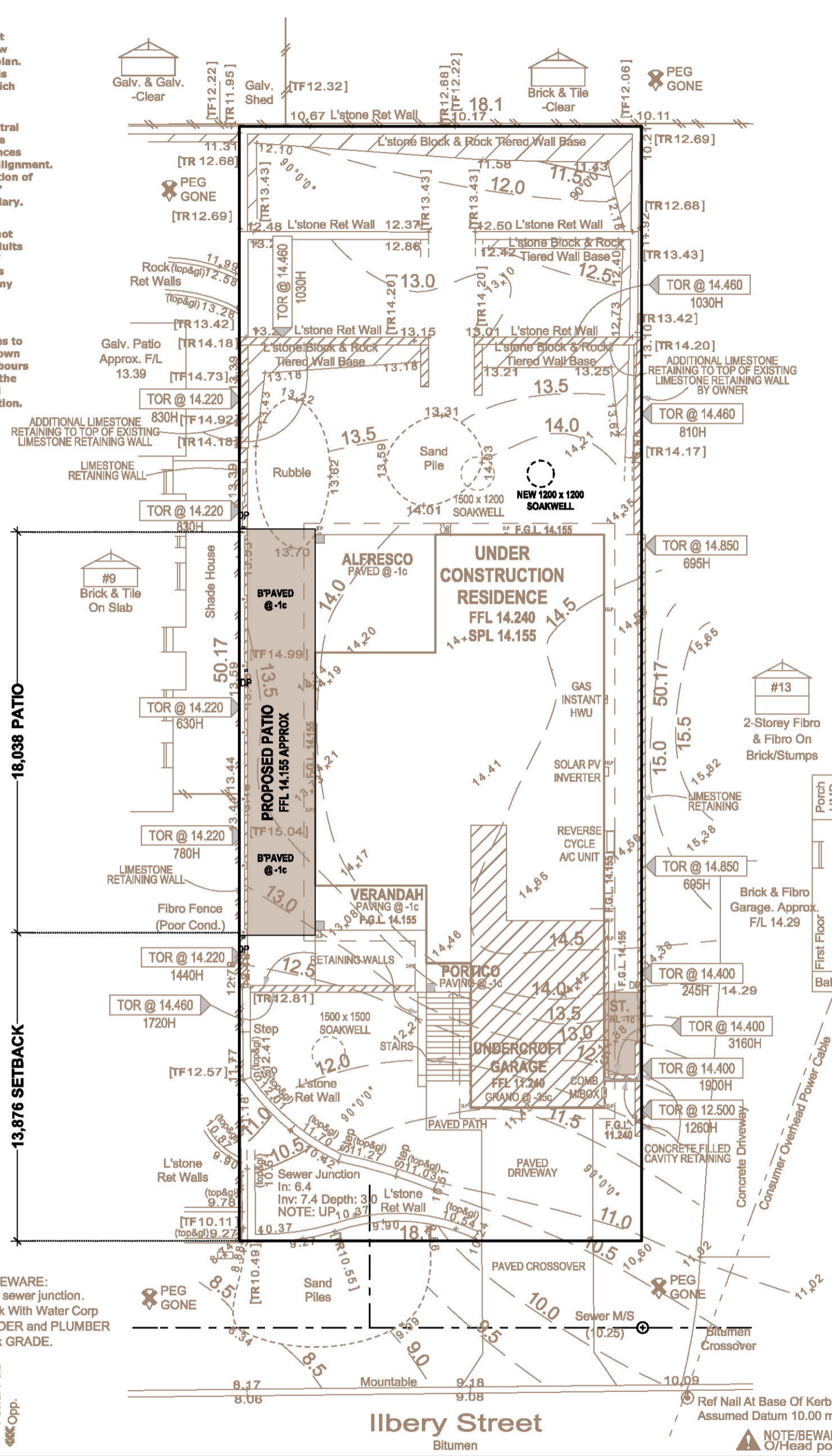
1:200
NOTE:
 • RE-PEG BY LICENSED SURVEYOR
 • STORMWATER DISPOSAL TO SHIRE REQUIREMENTS

LOT MISCLOSE
 0.000 m

SOIL DESCRIPTION
 Sand / L/Stone(Poss)
 Light Grass Cover

Scale 1:200

BEWARE:
 Deep sewer junction.
 Check With Water Corp
 BUILDER and PLUMBER
 check GRADE.



ADDRESS:
 LOT 238 (#11)
 ILBERY STREET
 QUINNS ROCKS
 CITY OF WANNEROO

WORKING DRAWINGS
 THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT.

DATED: / /

OWNER: _____ WITNESS: _____
 OWNER: _____ WITNESS: _____
 BUILDER: _____ WITNESS: _____

Sub-contractors to verify all dimensions on site.

REV	VO #	DRN	DATE	CHK

ABN: 44 281 730 821

51 Glomach Circuit Kinross WA 6028
 Mobile: 0466 672 189
 Email: premierresidential@gmail.com
 www.facebook.com/Premierresidential

Patio

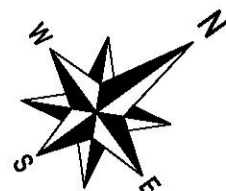
MODEL N° 90001

Premier Residential
The Way You Want To Live

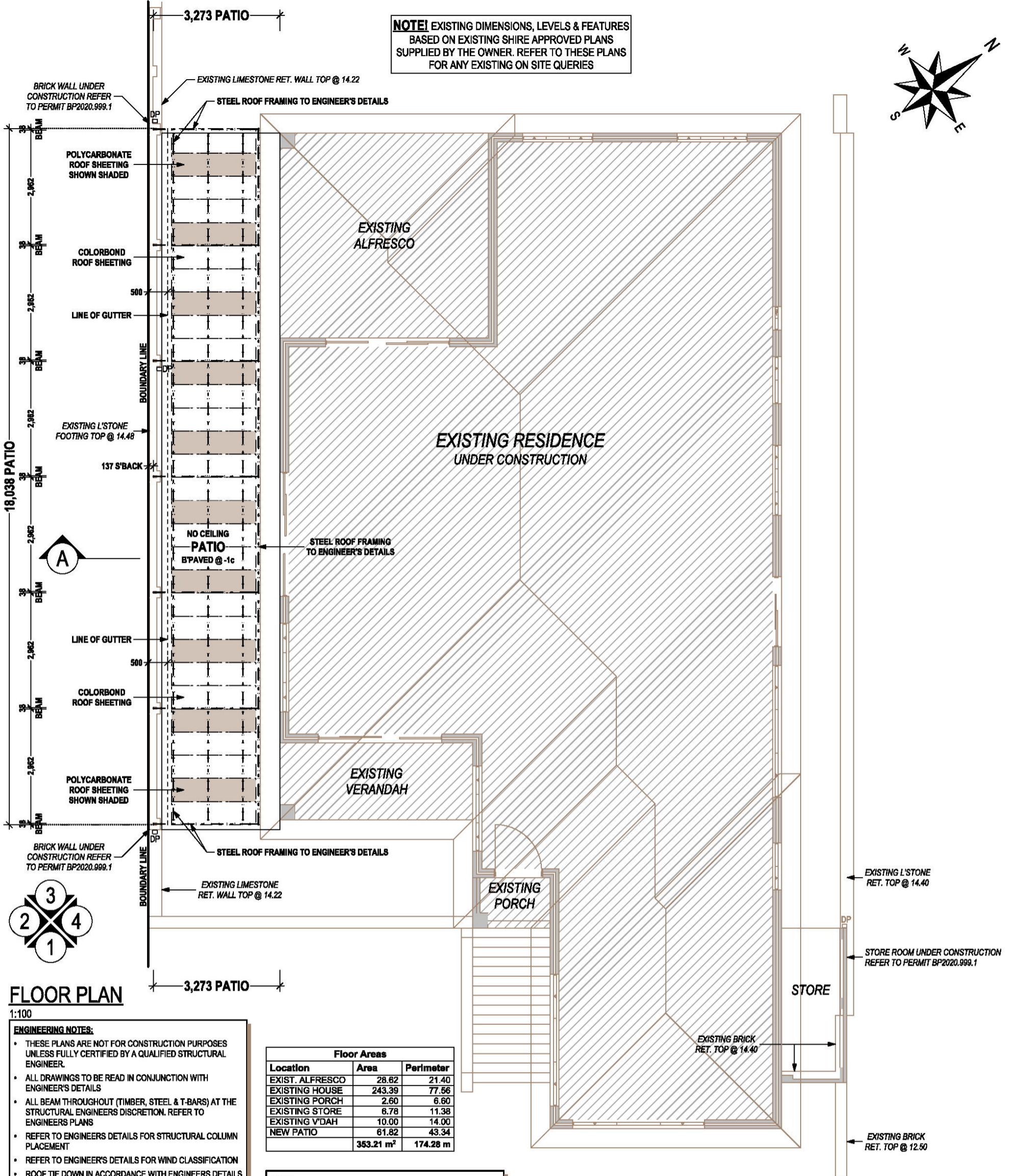
PPR

© COPYRIGHT

STD Drawn By: MM 09.03.2020



NOTE! EXISTING DIMENSIONS, LEVELS & FEATURES BASED ON EXISTING SHIRE APPROVED PLANS SUPPLIED BY THE OWNER. REFER TO THESE PLANS FOR ANY EXISTING ON SITE QUERIES



FLOOR PLAN

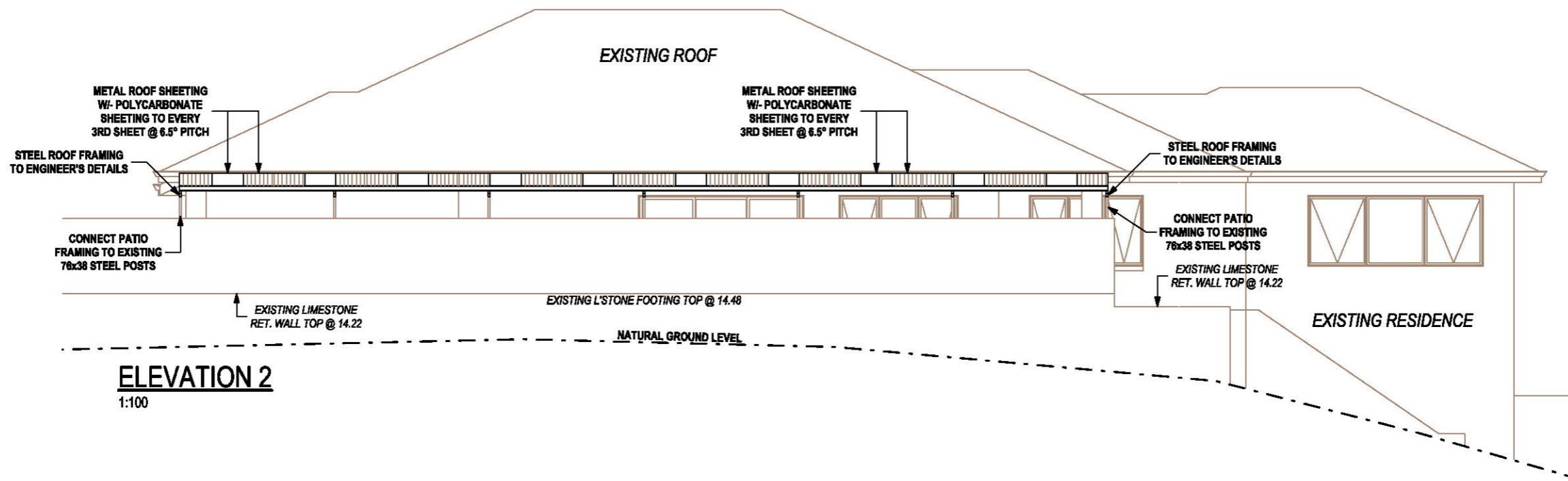
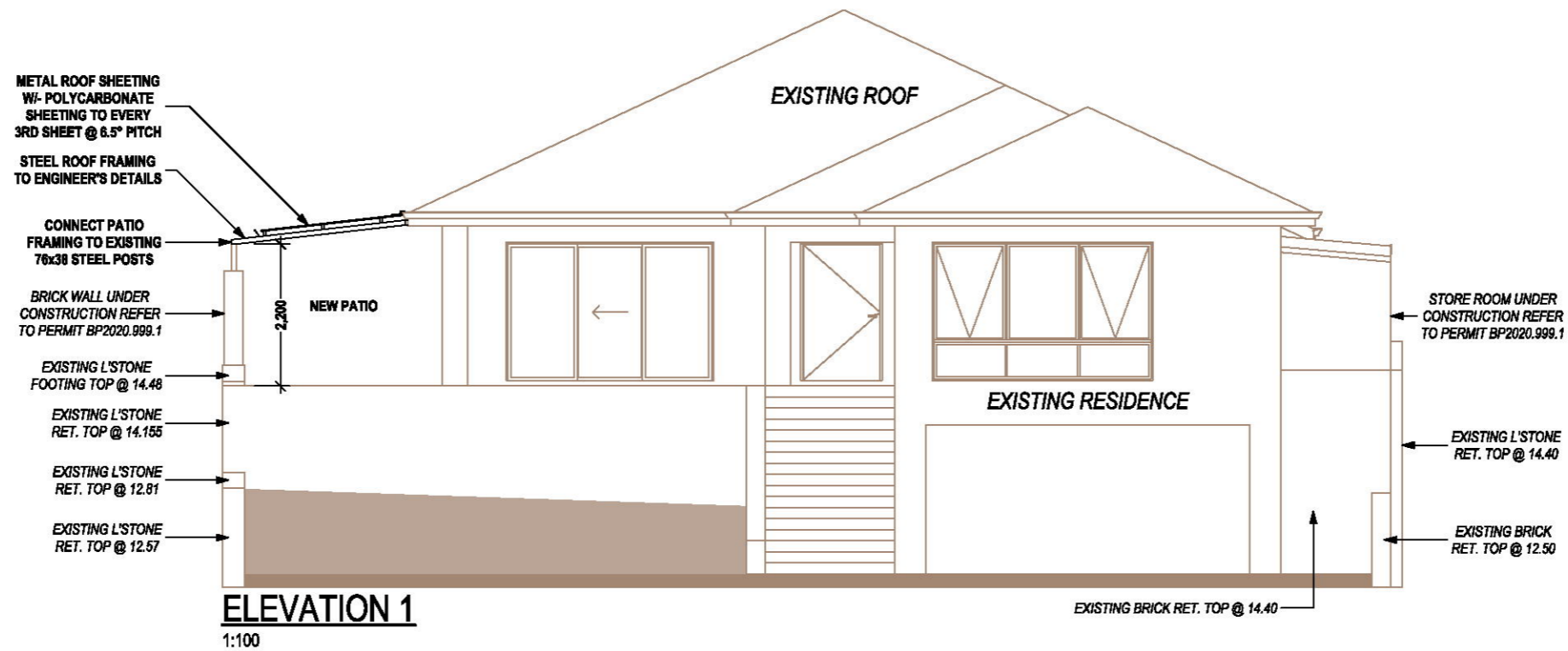
1:100

- ENGINEERING NOTES:**
- THESE PLANS ARE NOT FOR CONSTRUCTION PURPOSES UNLESS FULLY CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER.
 - ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS
 - ALL BEAM THROUGHOUT (TIMBER, STEEL & T-BARS) AT THE STRUCTURAL ENGINEERS DISCRETION. REFER TO ENGINEERS PLANS
 - REFER TO ENGINEERS DETAILS FOR STRUCTURAL COLUMN PLACEMENT
 - REFER TO ENGINEER'S DETAILS FOR WIND CLASSIFICATION
 - ROOF TIE DOWN IN ACCORDANCE WITH ENGINEERS DETAILS
 - REFER TO ENGINEER'S DETAILS FOR ALL CONCRETE FOOTING, SLAB DETAIL (SUSPENDED SLAB & STAIR DETAILS WHERE APPLICABLE)
 - GALVANISED RODS TO BRICK PIERS AS PER ENGINEER'S DETAILS

Floor Areas		
Location	Area	Perimeter
EXIST. ALFRESCO	28.82	21.40
EXISTING HOUSE	243.39	77.56
EXISTING PORCH	2.60	6.60
EXISTING STORE	6.78	11.38
EXISTING V'DAH	10.00	14.00
NEW PATIO	61.82	43.34
TOTAL	353.21 m²	174.28 m

- NOTE:**
- CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
 - BOUNDARY WALLS TO BE SETBACK FROM BOUNDARY AS PER PLAN
 - CORNER PLASTER BEADS THROUGHOUT

<p>REVISION DATE</p> <p>09.03.2020</p>	<p>JOB N°</p> <p>160</p>	<p>SHEET N°</p> <p>2 OF 5</p>	<p>ADDRESS:</p> <p>LOT 238 (#11)</p> <p>ILBERRY STREET</p> <p>QUINNS ROCKS</p> <p>CITY OF WANNEROO</p>	<p>OWNER</p> <p>OWNER</p> <p>OWNER</p> <p>BUILDER</p>	<p>WITNESS</p> <p>WITNESS</p> <p>WITNESS</p> <p>WITNESS</p>	<p>DATE:</p> <p>...../...../.....</p>	<p>WORKING DRAWINGS</p> <p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.</p>	<p>Sub-contractors to verify all dimensions on site.</p>	<p>REV</p> <p>VO #</p> <p>MM</p> <p>09.03.2020</p> <p>nochk</p>	<p>DRN</p> <p>DATE</p> <p>CHK</p>	<p>ABN: 44 281 730 821</p>	<p>51 Glomach Circuit Kinross WA 6028</p> <p>Mobile: 0466 672 189</p> <p>Email: premierresidential@gmail.com</p> <p>www.facebook.com/Premierresidential</p>	<p>Patio</p> <p>MODEL N°</p> <p>90001</p>	<p>© COPYRIGHT</p>
--	--------------------------	-------------------------------	--	---	---	---------------------------------------	--	--	---	-----------------------------------	----------------------------	---	--	--------------------



PR
Premier Residential
The Way You Want To Live
 51 Glomach Circuit Kinross WA 6028
 Mobile: 0466 672 189
 Email: premierresidential@gmail.com
 www.facebook.com/Premierresidential
 ABN: 44 281 730 821

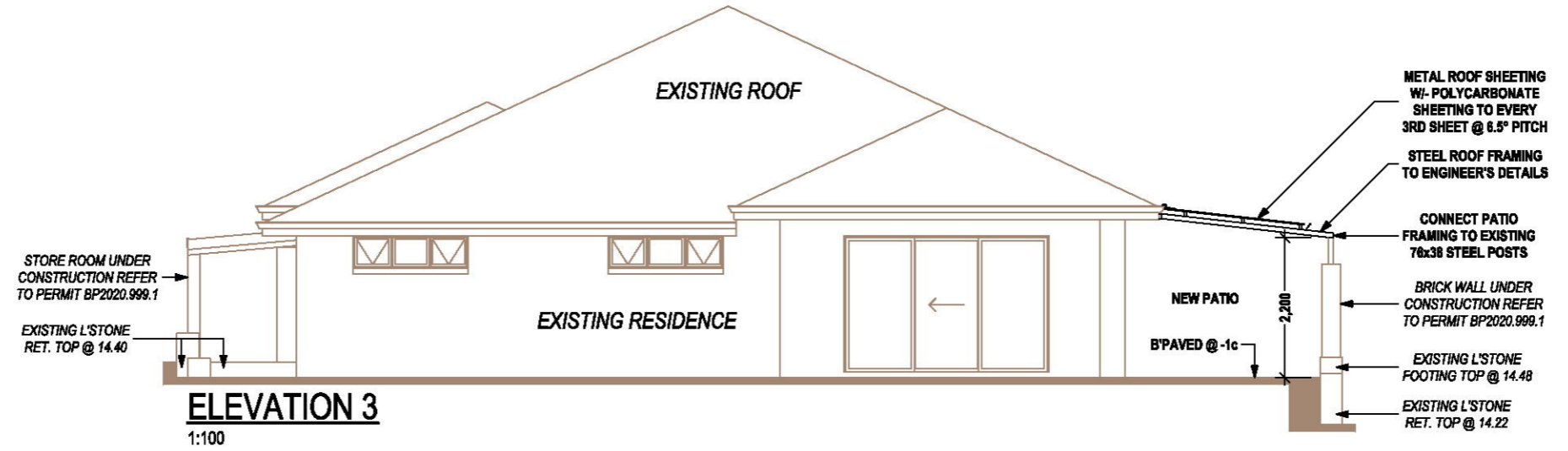
REV	VO #	DRN	DATE	CHK
		MM	09.03.2020	nochk

WORKING DRAWINGS
 THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.
 DATED:...../...../.....
 OWNER WITNESS
 OWNER WITNESS
 BUILDER WITNESS

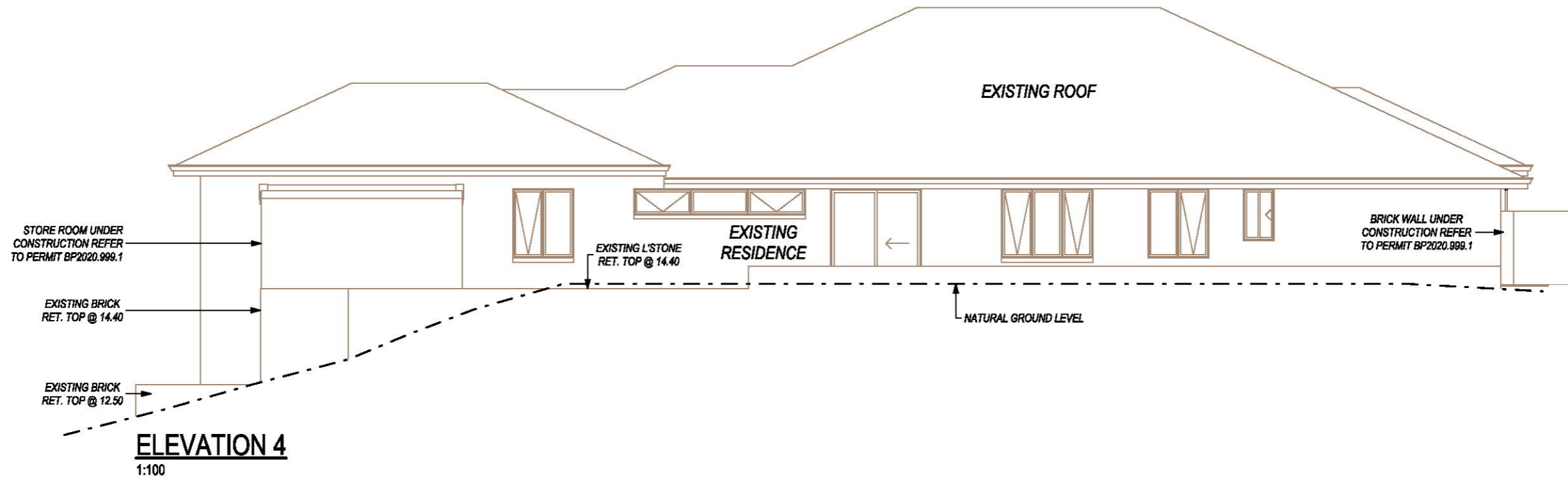
CLIENT:
 ADDRESS:
 LOT 238 (#11)
 ILBERY STREET
 QUINNS ROCKS
 CITY OF WANNEROO

Patio		REVISION -
MODEL N°	90001	DATE 09.03.2020
© COPYRIGHT		
SHEET N°	3 OF 5	+ 0 ANC
JOB N°	160	

STD Drawn By: MM 09.03.2020



ELEVATION 3
1:100



ELEVATION 4
1:100

PR
Premier Residential
The Way You Want To Live
51 Glomach Circuit Kinross WA 6028
Mobile: 0466 672 189
Email: premierresidential@gmail.com
www.facebook.com/Premierresidential
ABN: 44 281 730 821

REV	VO #	DRN	DATE	CHK
		MM	09.03.2020	nochk

Sub-contractors to verify all dimensions on site.

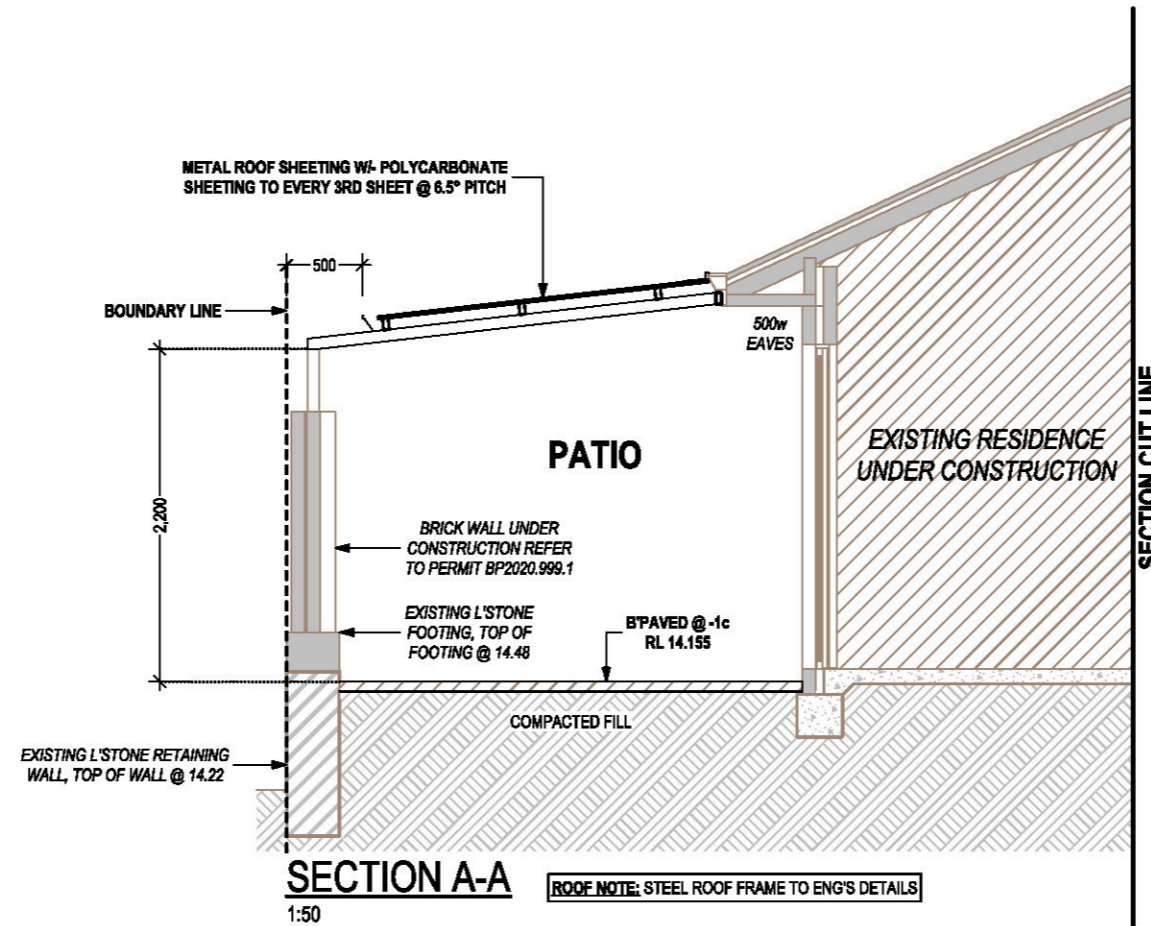
WORKING DRAWINGS
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.
DATED:...../...../.....
OWNER WITNESS
OWNER WITNESS
BUILDER WITNESS

CLIENT:
ADDRESS:
LOT 238 (#11)
ILBERY STREET
QUINNS ROCKS
CITY OF WANNEROO

Patio
MODEL N° 90001
© COPYRIGHT
SHEET N° 4 OF 5 + 0 ANC
JOB N° 160

REVISION
-
DATE
09.03.2020

STD Drawn By: MM 09.03.2020



PR
Premier Residential
The Way You Want To Live
51 Glomach Circuit Kinross WA 6028
Mobile: 0466 672 189
Email: premierresidential@gmail.com
www.facebook.com/Premierresidential
ABN: 44 281 730 821

REV	VO #	DRN	DATE	CHK
		MM	09.03.2020	nochk

Sub-contractors to verify all dimensions on site.

WORKING DRAWINGS
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.
DATED:...../...../.....
OWNER WITNESS
OWNER WITNESS
BUILDER WITNESS

CLIENT:

ADDRESS:
LOT 238 (#11)
ILBERY STREET
QUINNS ROCKS
CITY OF WANNEROO

Patio		REVISION -
MODEL N°	90001	DATE 09.03.2020
© COPYRIGHT		
SHEET N°	5 OF 5	+ 0 ANC
JOB N°	160	