

Lot 394 (665m<sup>2</sup>)

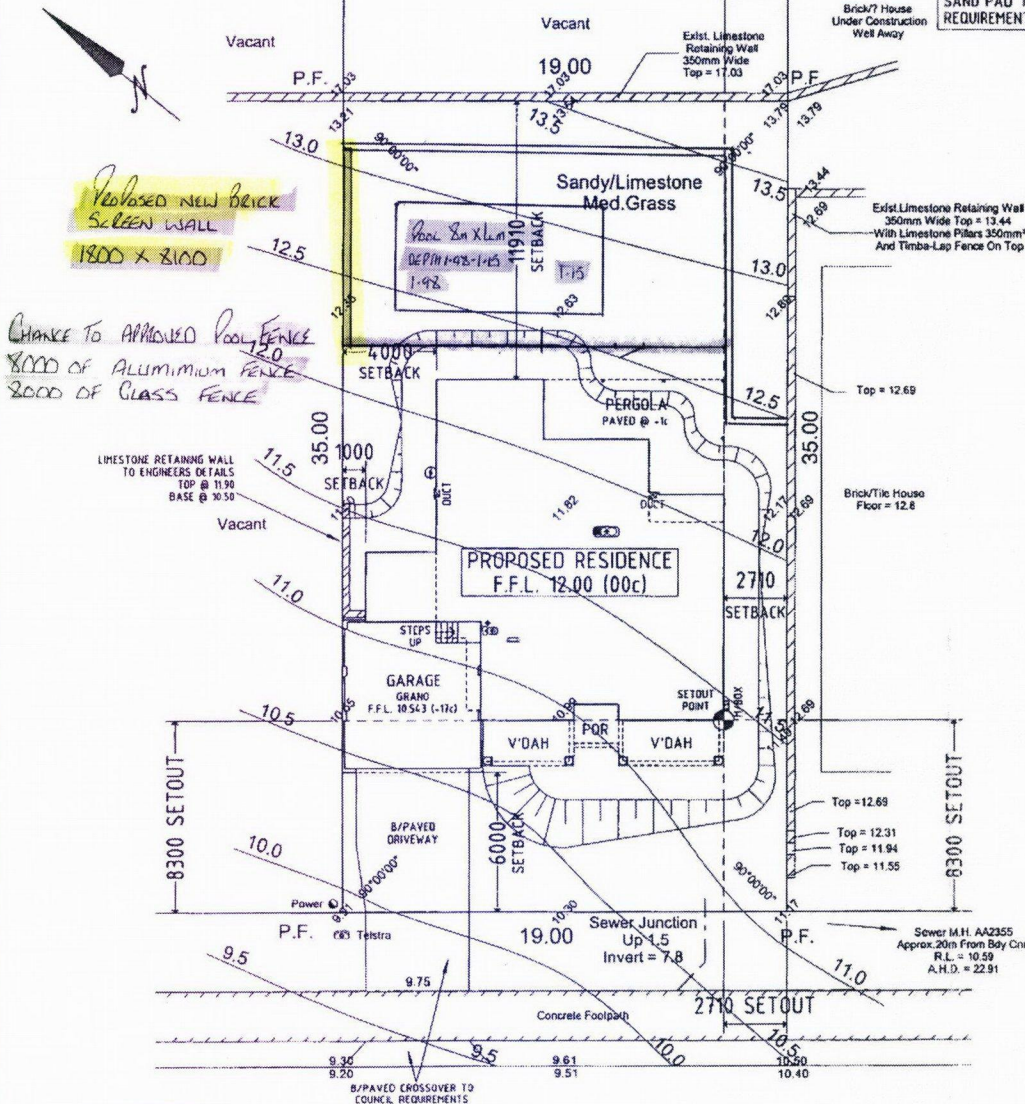
**EARTHWORKER NOTE:**  
SAND PAD TO ENGINEERS REQUIREMENTS.

Address: **LOT 394**  
Seaham Way, Mandurah

**FINE LINES**  
**DRAFTING**

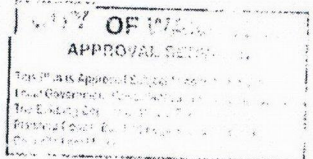
Client: **Nadi Moussa**  
Local Authority: City Of Wanneroo  
Plan/Dia: P.24281 C/T Vol: 2199/58  
Map Reference: Pg.189,06:29 ( Streetsmart  
Date: 14/09/01 Scale: 1:200

Office Copy retained for Approval  
314 Lakeside Drive, Joondalup, Western Australia 6027  
Services: 08 9301 1474 Fax: (08) 9301 1495  
**AMENDED PLAN**  
Sheet 2 of FEB 2003  
Project No: 01-68



Proposed NEW BRICK SCREEN WALL 1800 X 2100  
Change To APPROVED POOL FENCE 12.0  
8000 OF ALUMINIUM FENCE  
2000 OF GLASS FENCE

LOCALITY DIAGRAM



03/0713  
20 FEB 2003

Footpath: Yes	Road: Bitumen
Water: Yes	Kerb: Mountable
Gas: Yes	Electricity: Underground
Telstra: Yes	Soil: Sandy/Limestone
Drainage: Good	Vegetation: Med.Grass
Re-Peg:	Sewer: Yes Depth: 3.2 m

DRAWN	DATE	CHKD	DESCRIPTION
JB	2/10/01		

SEWER DIAGRAM

**WARNING**  
Possible Coastal Conditions May Apply

Seaham Way

Datum Nail (Centre Of Road)  
Assumed Datum = 10.00

Our Job No. 28894



61 FYFE CIRCLE  
BULLCREEK, WA 6149  
PH 9332 4948  
FAX 9332 3014

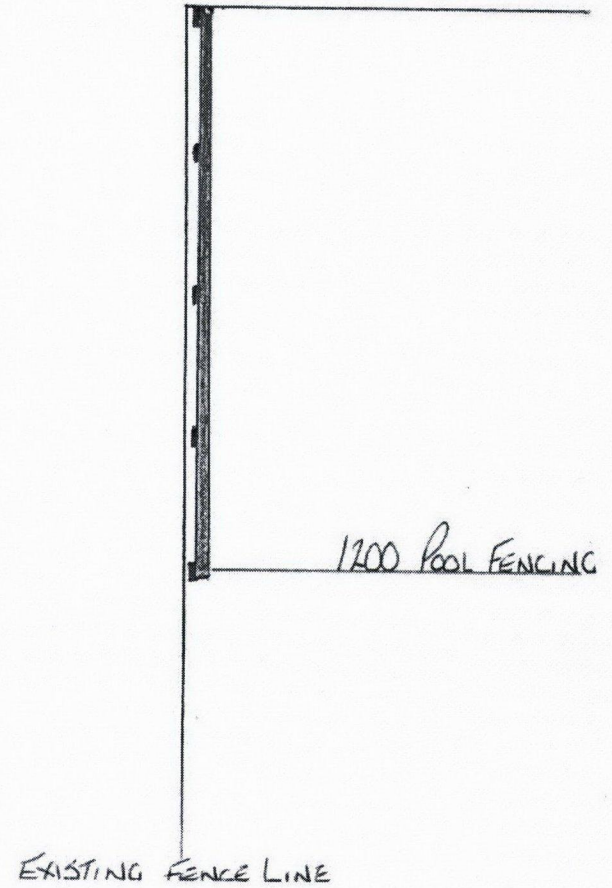
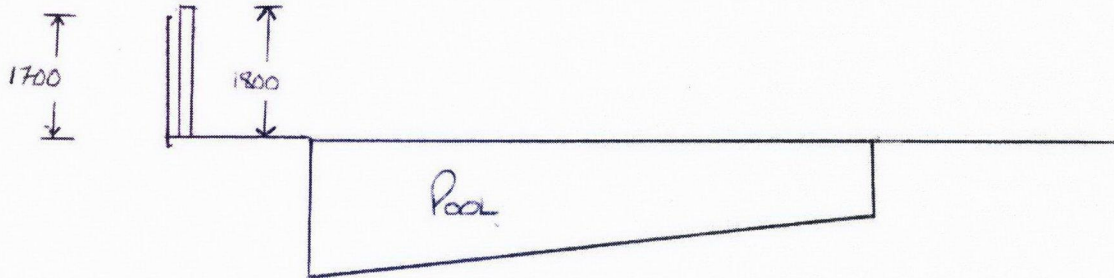
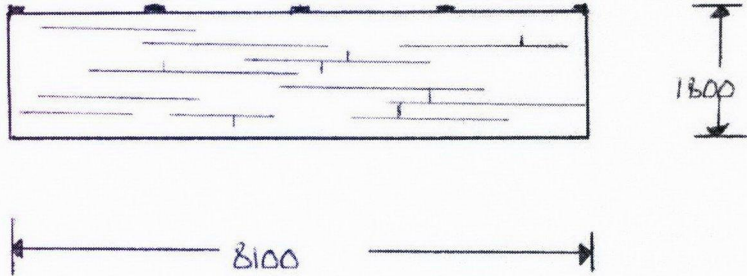
Some information shown is from W.A.W.A. plans. Check minimum clearances, as no liability can be accepted. Earthworker set out dimensions may vary on site at builder's discretion.

SCREEN WALL CONSTRUCTED IN BACK.

BRICK PIERS @ 2000 CENTRES

BRICK SIZE TO BE USED 290 X 90 X 162mm

70mm GAP FROM BACK OF PIER -  
EXISTING FENCE LINE



CURRENT FENCE LINE IS 1700mm  
COMPLIANT FENCING IS 1800mm

SCALE 1-100