

CLIENT: .....  
 DATE: .....  
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 DATE: .....  
 BUILDER: .....  
 DATE: .....

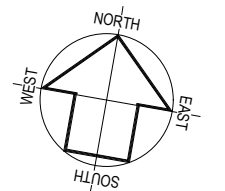
JOB N°	93418	SHEET N°	13 OF 13
REVISION	VO #	DRN	DATE
		RZM	13.03.20
		SLC	

Sub-contractors to verify all dimensions on site.

230 CAVITY BRICKWORK  
 THIRD BOND FINISH  
 EXTERNALLY, ACRYLIC  
 RENDER FINISH WHERE  
 SHOWN ON ELEVATIONS.

NOTE:  
 STORMWATER DISPOSAL TO COUNCIL  
 REQUIREMENTS. SOAKWELLS WHERE SHOWN  
 TO HAVE TRAFFICABLE LIDS.

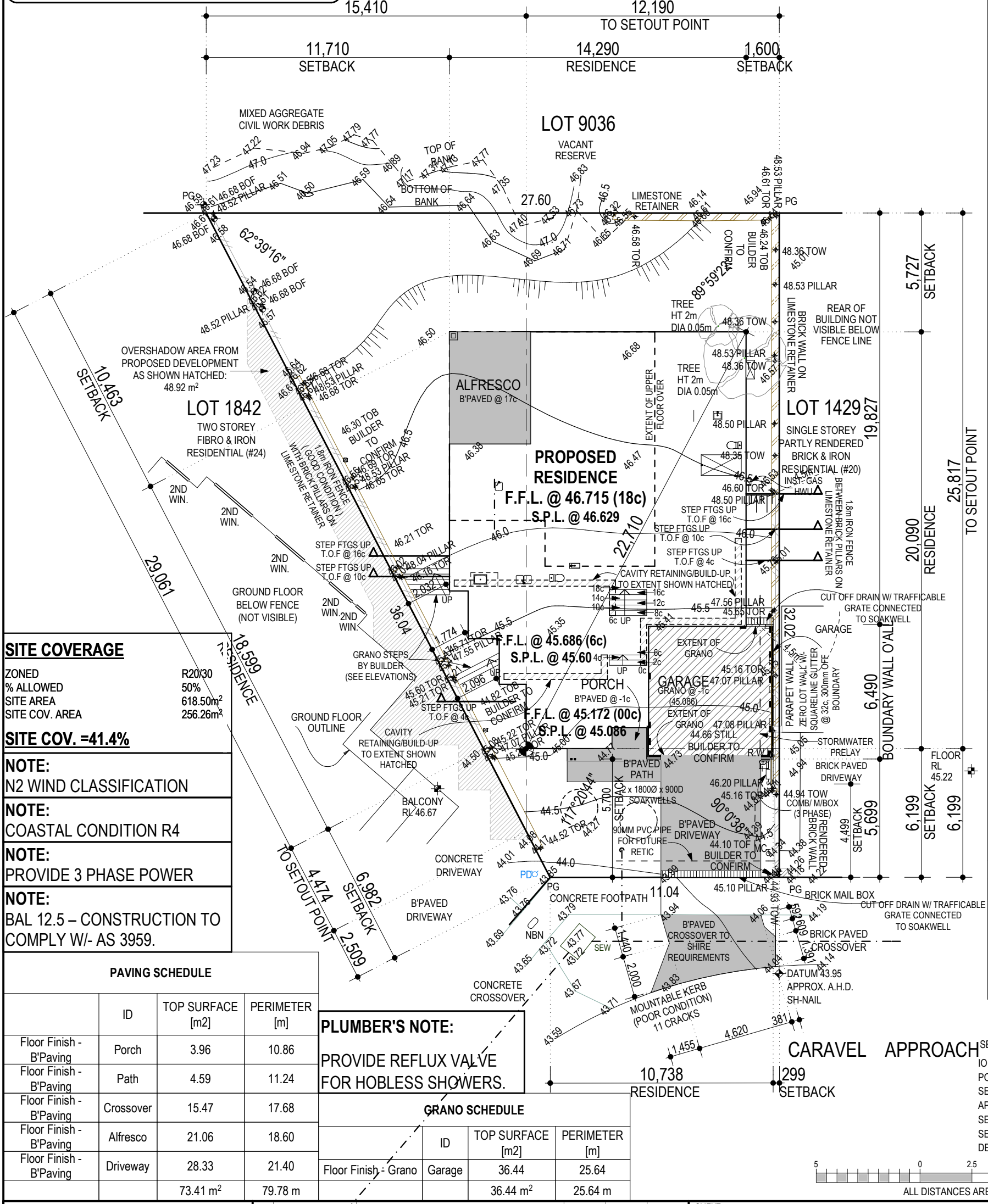
NOTE:  
 NO BUILT UP SAND PAD REQUIRED  
 STRUCTURALLY.



**LOT 1846**  
 619 m<sup>2</sup>  
 SANDY  
 ROCKY COVER

NOTE: BOUNDARY POSITION AS PER ALIGNMENT

WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.



**COMMON LEGEND**

- PF PEG FOUND
- Pdist PEG DISTURBED
- PG PEG GONE
- ◆ DATUM / CONTROL
- SV STOP VALVE
- HY (GROUND) HYDRANT
- FP FLUSH POINT
- ⊖ TAP WATER TAP
- ⊖ MC METER CONNECTION
- M WATER METER
- DRAINAGE MANHOLE
- ▣ GRATE
- ▭ SIDE ENTRY PIT
- SEW SEWER MANHOLE
- IS INSPECTION SHAFT
- IO INSPECTION OPENING
- CP CONSUMER POLE
- PP POWER POLE
- LP LAMP POST
- SP STAY POLE
- PD POWER DOME / PILLAR
- TEL / NBN TELSTRA / NBN PIT
- GAS GAS METER
- × G GAS LINE MARKER (PT)
- 99 TOW TOP OF WALL
- 99 TOR TOP OF RETAINER
- 99 STILL STILL DEEPER
- 99 TOB TOP OF BACKING BLOCK
- 99 TOF TOP OF FOOTING
- 99 BOR BOTTOM OF RETAINER
- 99 BOF BOTTOM OF FENCE FRAME

**SITE COVERAGE**

ZONED R20/30  
 % ALLOWED 50%  
 SITE AREA 618.50m<sup>2</sup>  
 SITE COV. AREA 256.26m<sup>2</sup>

**SITE COV. = 41.4%**

- NOTE:**  
 N2 WIND CLASSIFICATION
- NOTE:**  
 COASTAL CONDITION R4
- NOTE:**  
 PROVIDE 3 PHASE POWER
- NOTE:**  
 BAL 12.5 - CONSTRUCTION TO COMPLY W/- AS 3959.

**PAVING SCHEDULE**

ID	TOP SURFACE [m <sup>2</sup> ]	PERIMETER [m]
Floor Finish - B'Paving	Porch 3.96	10.86
Floor Finish - B'Paving	Path 4.59	11.24
Floor Finish - B'Paving	Crossover 15.47	17.68
Floor Finish - B'Paving	Alfresco 21.06	18.60
Floor Finish - B'Paving	Driveway 28.33	21.40
	<b>73.41 m<sup>2</sup></b>	<b>79.78 m</b>

**PLUMBER'S NOTE:**  
 PROVIDE REFLUX VALVE FOR HOBLESS SHOWERS.

**GRANO SCHEDULE**

ID	TOP SURFACE [m <sup>2</sup> ]	PERIMETER [m]
Floor Finish - Grano	Garage 36.44	25.64
	<b>36.44 m<sup>2</sup></b>	<b>25.64 m</b>

**SERVICE INFORMATION**

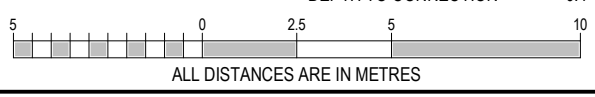
SEWERAGE: YES  
 WATER: YES  
 PRELAI: YES RIGHT  
 GAS: BTC  
 COMM: YES  
 POWER: U/G

TBE - To Be Established, BTC - Builder To Confirm

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION: SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.

NOTE:  
 SEWER CONNECTION CALCULATES ABOVE GROUND LEVEL  
 SEE WATER CORP. FOR CLARIFICATION.

POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY  
 SEWER INVERT LEVEL 41.54  
 SEWER BROUGHT UP 3.1  
 DEPTH TO CONNECTION -0.4



**AUTOMATED SURVEYS**  
 LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS  
 3 HASLER RD, OSBORNE PARK, WA 6017  
 P.O.Box 1862, Osborne Park DC WA 6916  
 Telephone (08) 9214 1777  
 www.automatedsurveys.com.au

B				
A	24/02/2020	SITE SURVEY	TEC	DEM
REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER
				CHECKED
BUILDER:	PERCEPTIONS		PLAN:	DP 408135
REF.:	93418		CIT.:	2901/351
H. Grid:	LOCAL	A.H.D level: 43.77	A.H.D. value	SEWER M/H
V. Datum:	APPROX.	Local level: 43.77	derived from:	AE1168
			Distance from Datum:	9.84 m

CLIENT:	SIMPKINS / COOK		
PROJECT:	LOT 1846 (#22) CARAVEL APPROACH, JINDALEE		
AUTHORITY:	CITY OF WANNEROO	UBD MAP:	104 /05 /36
PLAN:	SITE SURVEY	PACKAGE:	A
		SCALE:	1: 200 @ A3
Approx. 0.5 km FROM COAST LINE	SHEET:	1 of 1	DRAWING No.:
distance : 4.0 km FROM LAKE			231171
			REV:
			A

**GENERAL NOTES:**

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS OR CORNER BEADING.
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- 2340H DOORS THROUGHOUT UNLESS NOTED OTHERWISE.

**PLASTERER/ RENDERER NOTES:**

- ACRYLIC RENDER EXTERNALLY.
- INSTALL METAL ANGLE BEADS TO ALL WALL CORNERS
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

**BRICKLAYER NOTE:**

- WEEP HOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK.
- 230w RENDERED CAVITY BRICKWORK AS SHOWN ON FLOOR PLAN WITH 230w CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER OF HOUSE.

**CEILING FIXER NOTES:**

- CEILING @ 31c TO UPPER FLOOR UNLESS NOTED OTHERWISE.

**FLOORTECH NOTES:**

- FLOORTECH FLOOR SLAB TO UPPER FLOOR TO ENGINEER'S DETAILS
- REFER TO PLAN FOR AIRCON & PLUMBING DUCT RUNS WITHIN TRUSS SYSTEM (SHOWN DASHED)
- 450D SHELF @ 1700 HIGH AND RAIL TO ALL WIR, & ROBE UNLESS OTHERWISE NOTED.
- 4x450D SHELVES TO LINEN UNLESS OTHERWISE NOTED.
- PROVIDE MID-SHELF SUPPORTS WHERE NOTED "MSS" TO ANY SHELF OVER 2.4m LONG.

**ROOF PLUMBER NOTES:**

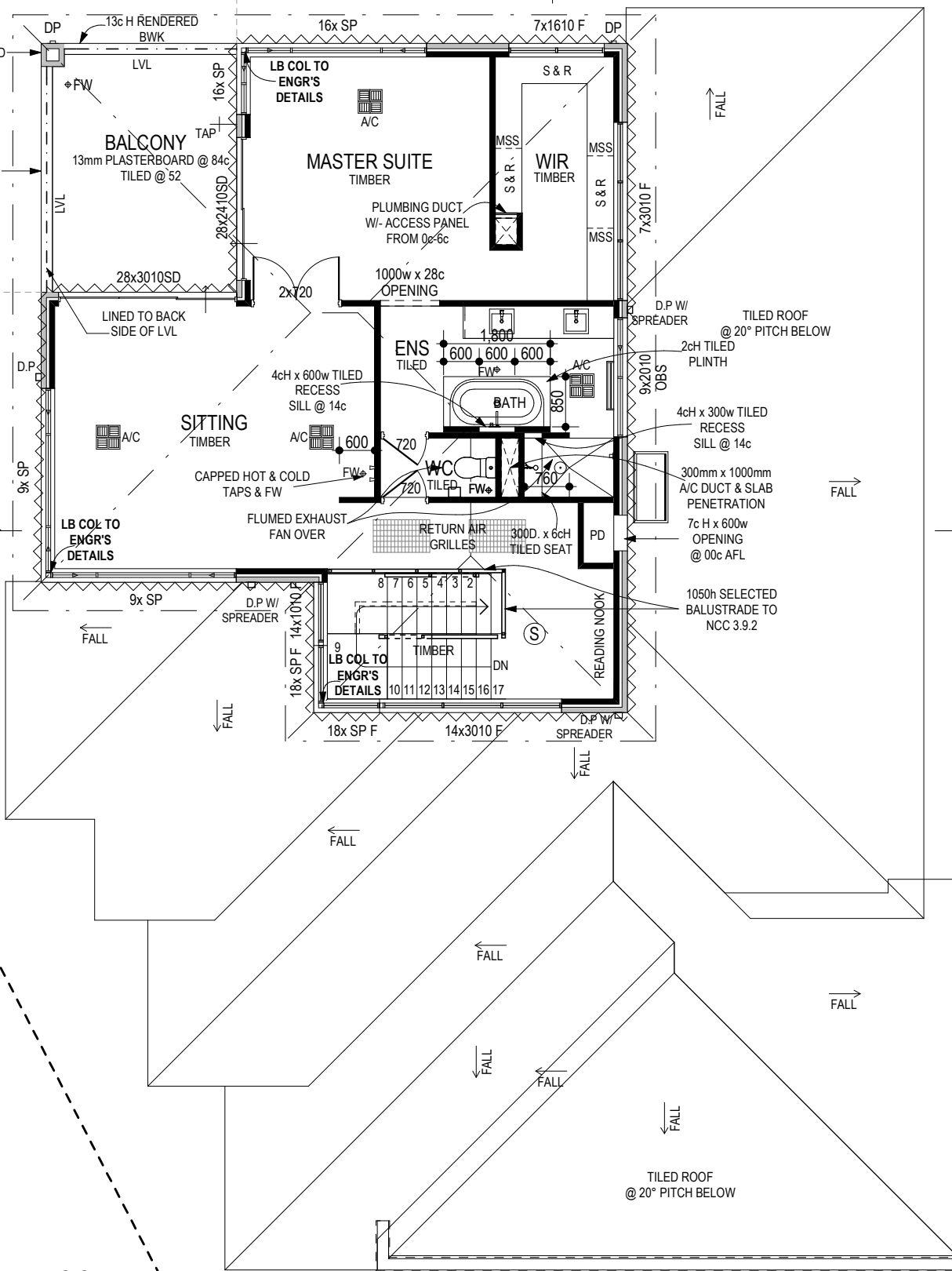
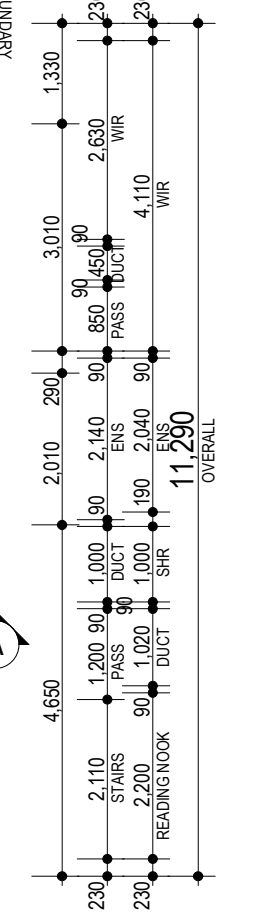
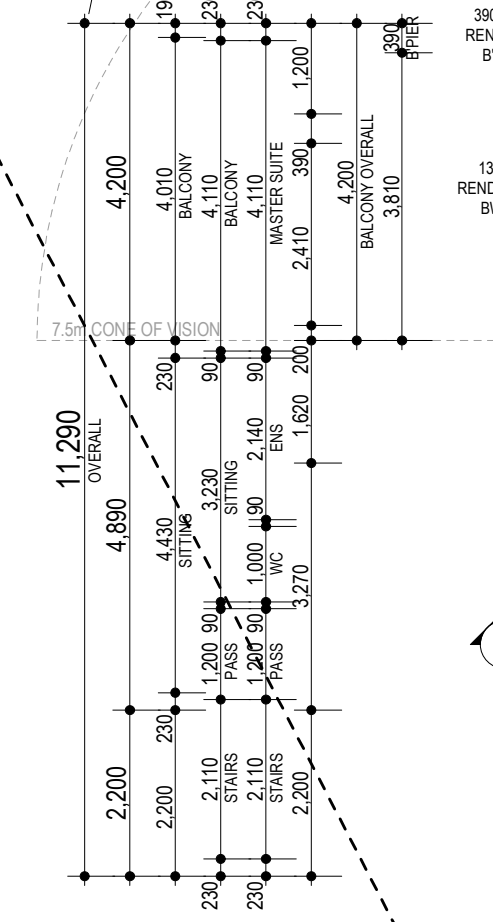
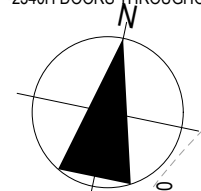
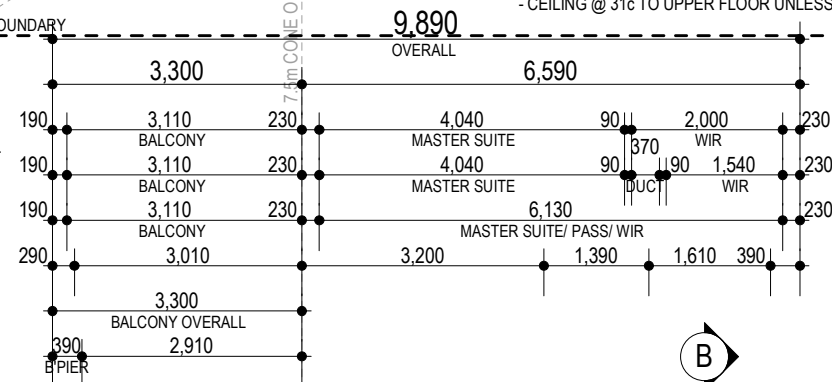
- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISOR'S DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES

**ROOF CARPENTER NOTES:**

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

**ROOF INSULATION NOTES:**

- R5.0 CEILING INSULATION AS PER ADDENDA.



**NOTE:**  
- EXTENT OF FOIL CAVITY WALL INSULATION SHOWN AS: [Symbol]

**BOUNDARY WALL NOTE:**

- FIRE SEPARATION TO NCC FIGURE 3.7.1.3 (c)

**AIRCON NOTE:**

- PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING TO CONTRACTORS PLAN.

**N.C.C NOTES:**

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- (S) HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786.

**PLUMBER NOTES:**

- PROVIDE REFLUX VALVE FOR HOBBLESS SHOWERS.

**BAL NOTE:**

- BAL 12.5 - CONSTRUCTION TO COMPLY WITH AS 8959

**INTERNAL WALL NOTE:**

- ALL INTERNAL WALLS TO BE DRYWALL LINING.

**GARAGE GRANO NOTES:**

- INSTALL EXPANSION FOAM IN BETWEEN GRANO AND BRICKWORK TO INSIDE PERIMETER OF GARAGE

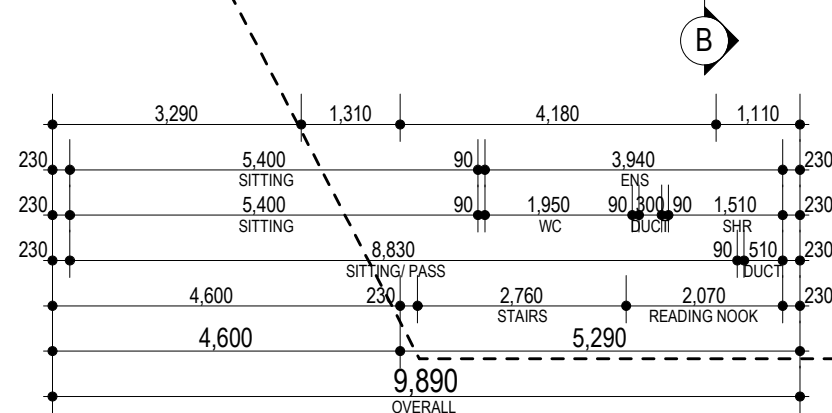
**BAL 12.5 REQUIREMENTS:**

- EMBER GUARDS TO BE INCLUDED TO ALL ROOF VENTS.
- ALL GLAZING WITHIN 400mm OF THE GROUND TO BE A MINIMUM OF 4mm TOUGHENED SAFETY GLASS.
- FRONT ENTRY TIMBER DOOR TO BE JARRAH.
- FRONT ENTRY DOOR TO BE FROM CORINTHIAN BAL 12.5 RANGE.
- ALUMINUM MESH TO ALL FLYSCREENS AND FLYDOORS.
- WEEPA 70mm BUSHFIRE INSERTS TO ALL WEEP HOLES.
- SARKING (AKA SISALATION) TO ENTIRE ROOF (TILED ROOFS ONLY)

**LEGEND**

- MAIN RENDER: [Symbol]
- FEATURE RENDER: [Symbol]
- 2c FACEBRICK: [Symbol]

**UPPER FLOOR PLAN**  
SCALE 1:100



**NOTE:**  
PROVIDE 3 PHASE POWER.

**NOTE:**  
COASTAL CONDITION R4

**NOTE:**  
ALL GLAZING TO BE SP10 POLARIS GLAZING TO SUIT 6 STAR REQUIREMENTS.

ROOF AREAS FIRST		
ROOF AREA - UPPER (m2 ON THE FLAT)		122.80
AREAS - UPPER		
	PERIM. (m)	AREA (m2)
HOUSE (FIRST)	42.36	87.68
BALCONY	15.00	13.86
		101.54 m <sup>2</sup>

**PERCEPTIONS**

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Phone (08) 6461 5500 | Fax (08) 6461 5521  
Ground Floor, 8 Bennett Street, East Perth WA 6004

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REVISION	VO #	DRN	DATE	CHK
		RZM	13.03.20	SLC

CLIENT: .....  
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BUILDER: .....  
DATE: .....

CLIENT:  
**L.J. COOK & R.L. SIMPKINS**  
ADDRESS:  
**LOT 1846 (#22)  
CARAVEL APPROACH  
JINDALEE**

**CUSTOM DESIGN**

LUXURY 2c BLOCKS

MODEL N°	DATE
13792	13.03.20
MAP REF.	WIND RATING
104/ 05/ 36	N2
COASTAL CATEGORY	ENGINEERS DETAIL
R4	D10
JOB N°	SHEET N°
93418	2 OF 13



**GENERAL NOTES:**

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**BRICKLAYER NOTE:**

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- 230w RENDERED CAVITY BRICKWORK AS SHOWN ON FLOOR PLAN WITH 230w CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER OF HOUSE.

**ROOF PLUMBER NOTES:**

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES

**ROOF CARPENTER NOTES:**

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

**ROOF INSULATION NOTES:**

- R4.0 CEILING INSULATION AS PER ADDENDA.

**CEILING FIXER NOTES:**

- CEILING @ 31c TO GROUND FLOOR UNLESS NOTED OTHERWISE.

**PLASTERER/ RENDERER NOTES:**

- ACRYLIC RENDER EXTERNALLY.
- INSTALL METAL ANGLE BEADS TO ALL WALL CORNERS
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**FLOORTECH NOTES:**

- FLOORTECH FLOOR SLAB TO UPPER FLOOR TO ENGINEER'S DETAILS
- REFER TO PLAN FOR AIRCON & PLUMBING DUCT RUNS WITHIN TRUSS SYSTEM (SHOWN DASHED)

**FIXING CARPENTER NOTES:**

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**GARAGE GRANO NOTES:**

- INSTALL EXPANSION FOAM IN BETWEEN GRANO AND BRICKWORK TO INSIDE PERIMETER OF GARAGE

**BOUNDARY WALL NOTE:**

- FIRE SEPARATION TO NCC FIGURE 3.7.1.3 (c)

**AIRCON NOTE:**

- PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING TO CONTRACTORS PLAN.

**N.C.C NOTES:**

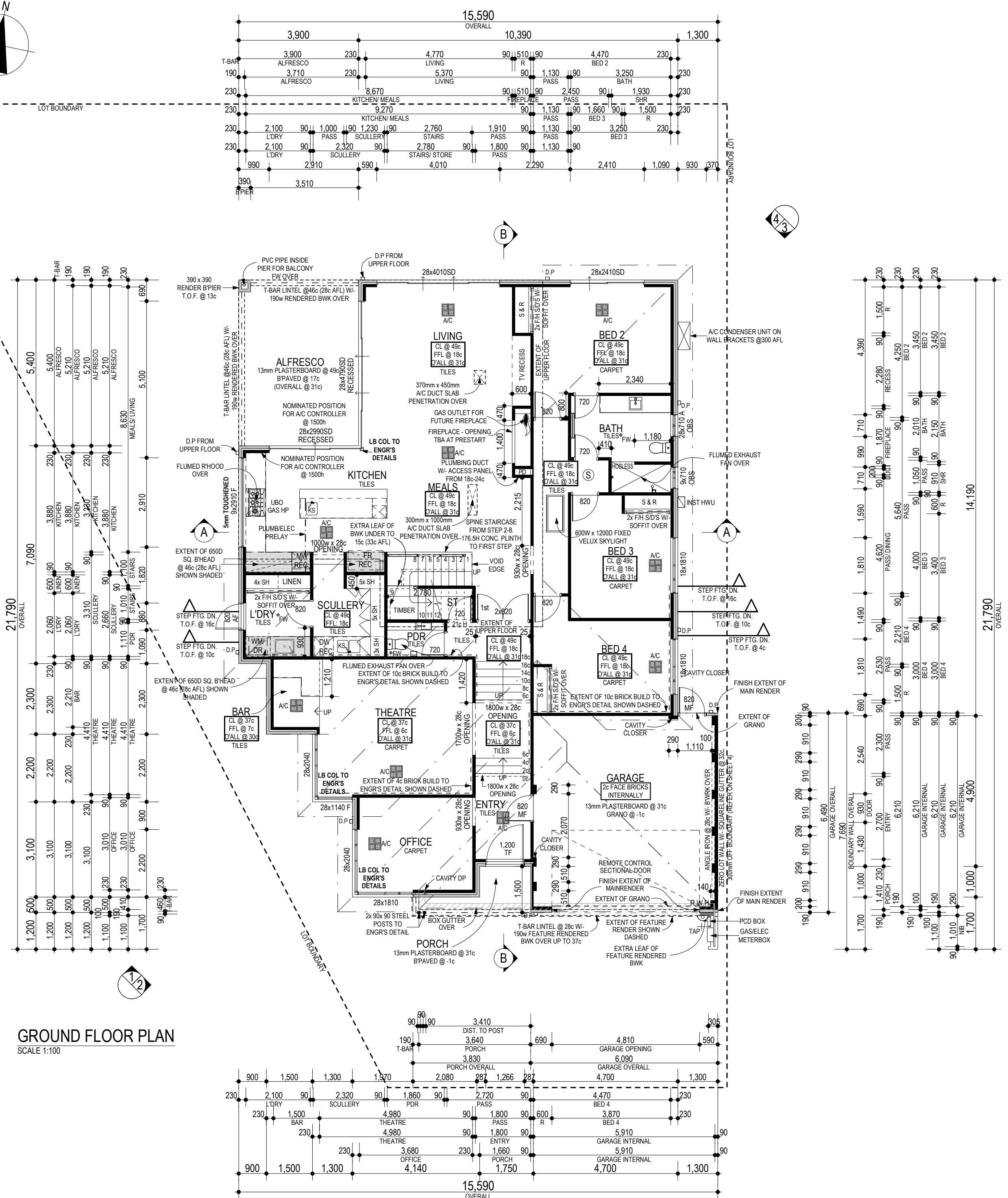
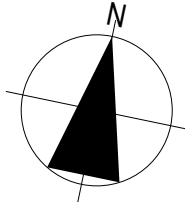
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- 50 HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786.

**PLUMBER NOTES:**

- PROVIDE REFLEX VALVE FOR HOBBLESS SHOWERS.

**BAL NOTE:**

- BAL 12.5 - CONSTRUCTION TO COMPLY WITH AS 8959



**GROUND FLOOR PLAN**  
SCALE 1:100

**LEGEND**

MAIN RENDER:	[Symbol]
FEATURE RENDER:	[Symbol]
2c FACEBRICK:	[Symbol]

ROOF AREAS GROUND	
ROOF AREA - GROUND [m2 ON THE FLAT]	194.52
AREAS - GROUND	
	PERIM. (m)
HOUSE (GROUND)	68.76
GARAGE	25.16
ALFRESCO	18.60
PORCH	10.86
	281.40 m <sup>2</sup>

**PERCEPTIONS**

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Ground Floor, 8 Bennett Street, East Perth WA 6004

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DATE: .....

CLIENT: L.J. COOK & R.L. SIMPSKIN  
ADDRESS: LOT 1846 (#22) CARAVEL APPROACH JINDALEE

**CUSTOM DESIGN**

LUXURY 2c BLOCKS

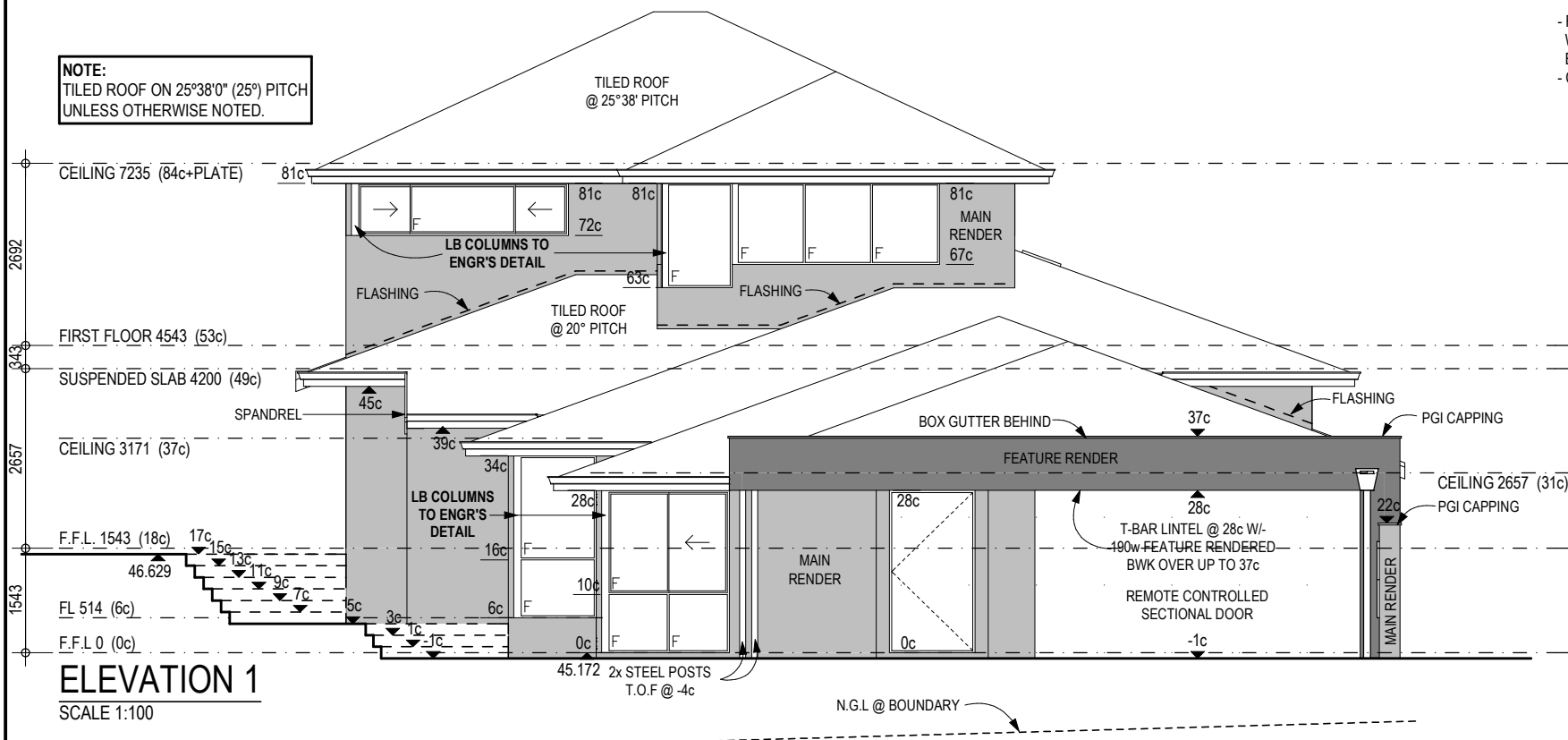
MODEL N°	13792	DATE	13.03.20
MAP REF.	104/ 05/ 36	WIND RATING	N2
COASTAL CATEGORY	R4	ENGINEERS DETAIL	D10
JOB N°	93418	SHEET N°	1 OF 13

**ELEVATION NOTES:**  
 - GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047.  
 - ROOF TIEDOWNS/ FIXING STRAPS TO COMPLY WITH AS3700 OR AS 4773 OR AS PER ENGINEERS DETAIL.  
 - CONVENTIONAL ROOF FRAME APPLIES.

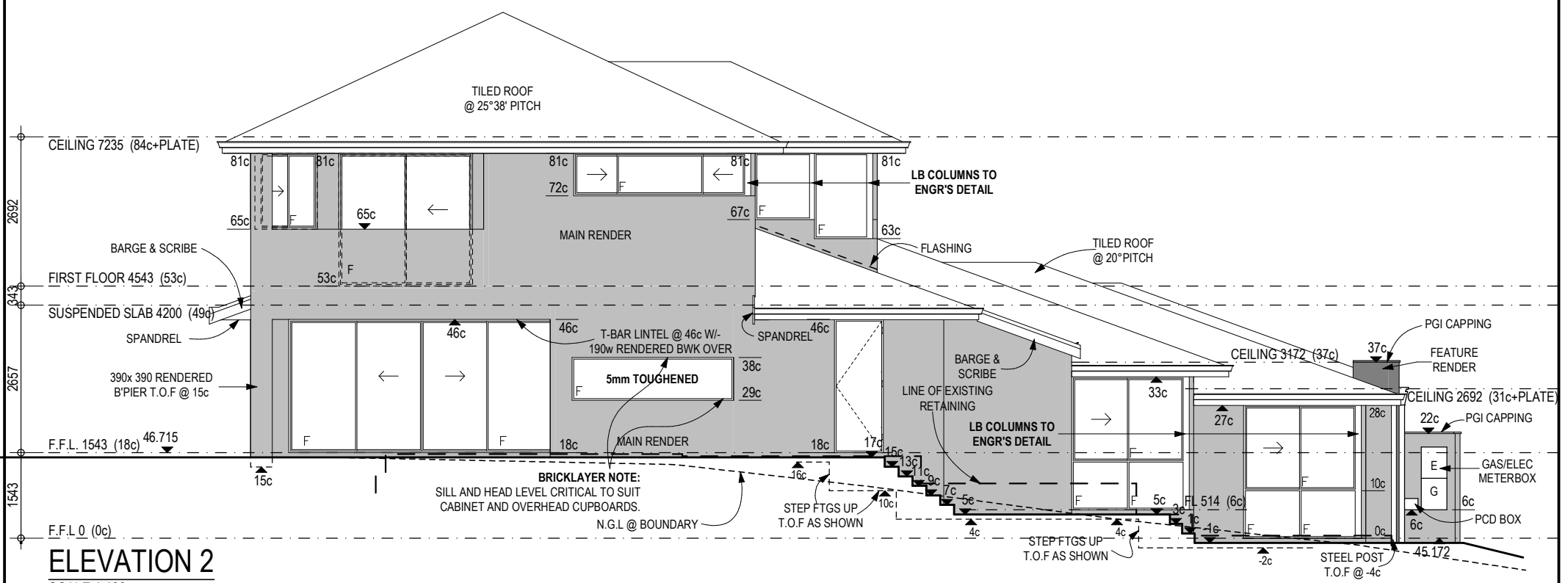
**NOTE:**  
 TILED ROOF ON 25°38'0" (25°) PITCH UNLESS OTHERWISE NOTED.

**LEGEND:**

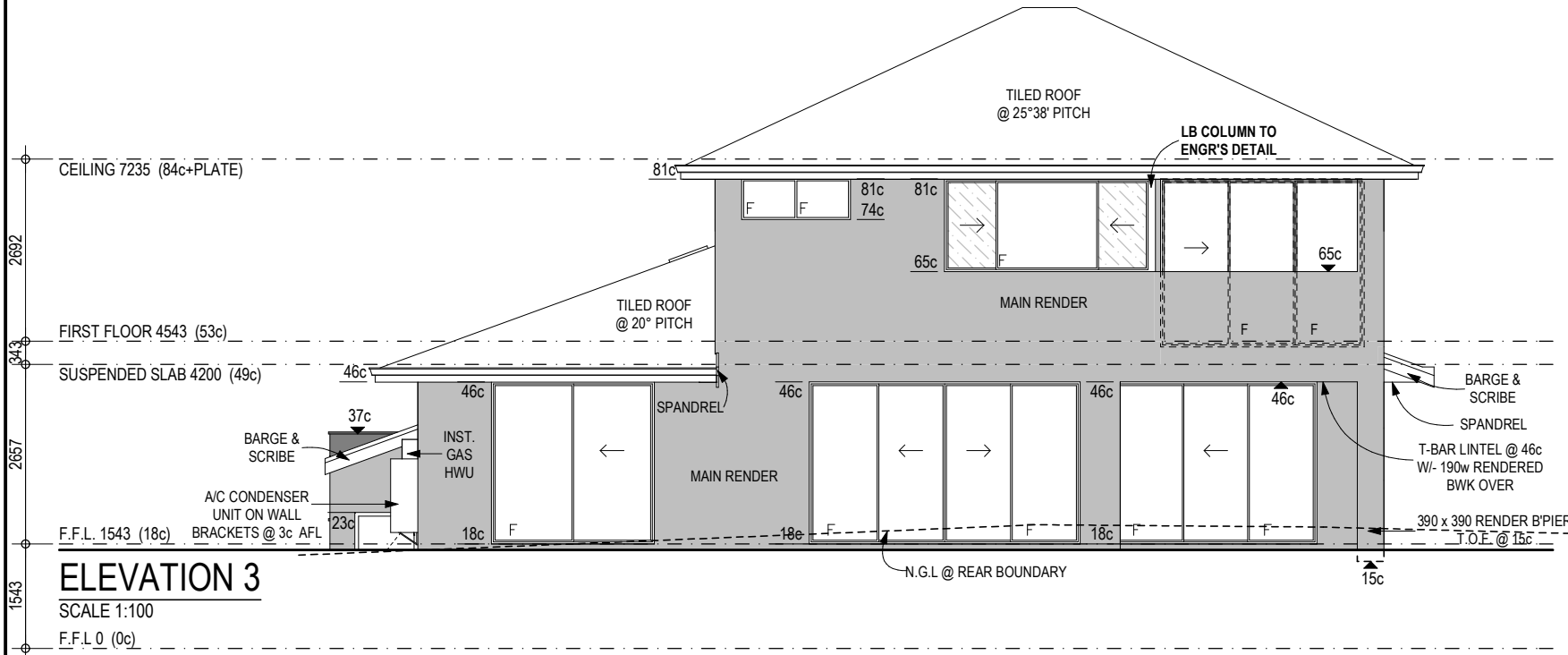
MAIN RENDER:	
OBSCURE GLAZING:	
FEATURE RENDER:	
RESTRICTED OPENING AS PER NCC 3.9.2.5 SHOWN HATCHED:	



**ELEVATION 1**  
 SCALE 1:100



**ELEVATION 2**  
 SCALE 1:100



**ELEVATION 3**  
 SCALE 1:100

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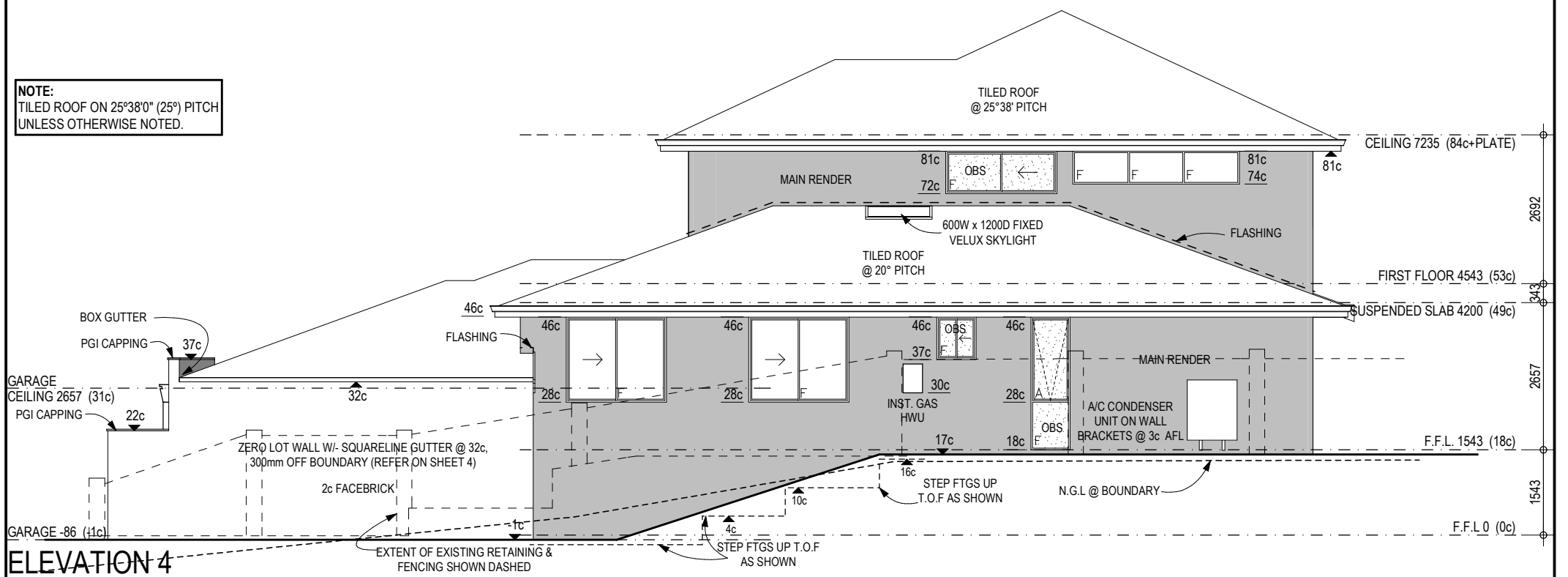
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JOB N°	SHEET N°
93418	3 OF 13

**NOTE:**  
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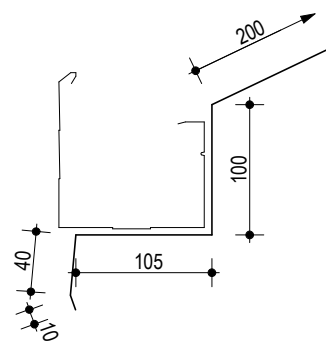
**ELEVATION 4**  
SCALE 1:100

**ELEVATION NOTES:**

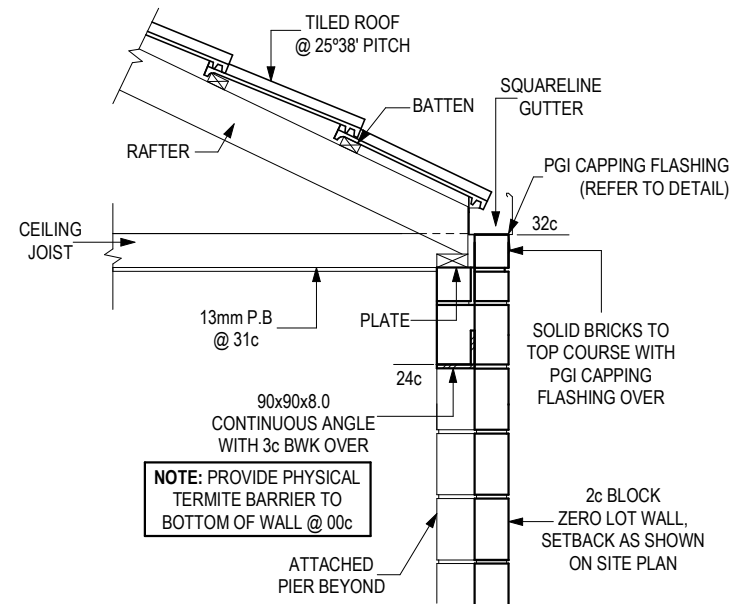
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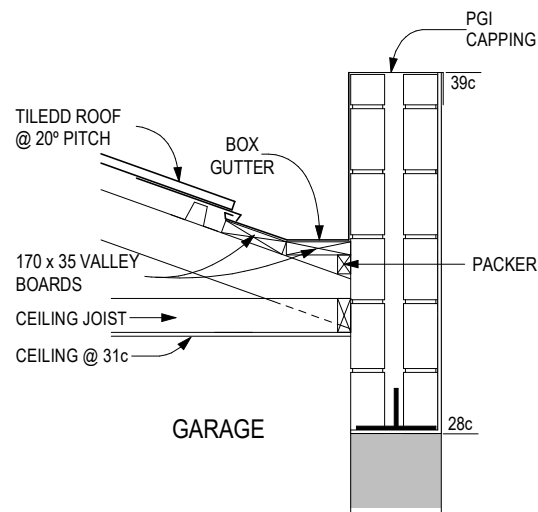
MAIN RENDER:	
OBSCURE GLAZING:	
FEATURE RENDER:	
RESTRICTED OPENING AS PER NCC 3.9.2.5 SHOWN HATCHED	



**PGI CAPPING FLASHING, GUTTER & FIRE SEPARATION DETAIL**



**GARAGE ZERO LOT WALL DETAIL (2c BLOCKWORK) W/- TILED ROOF**  
SCALE 1: 20



**GARAGE ROOF W/- BOX GUTTER DETAIL (COLORBOND ROOF)**  
SCALE 1: 20

**PERCEPTIONS**

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ADDRESS:  
**LOT 1846 (#22)  
CARAVEL APPROACH  
JINDALEE**

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104/ 05/ 36	N2
COASTAL CATEGORY	ENGINEERS DETAIL
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93418	4 OF 13