

**SUBJECT TO APPROVAL
AND FINAL SURVEY**
(LOT AREAS, DIMENSIONS AND
NUMBERS MAY CHANGE)

Zoning R20/40

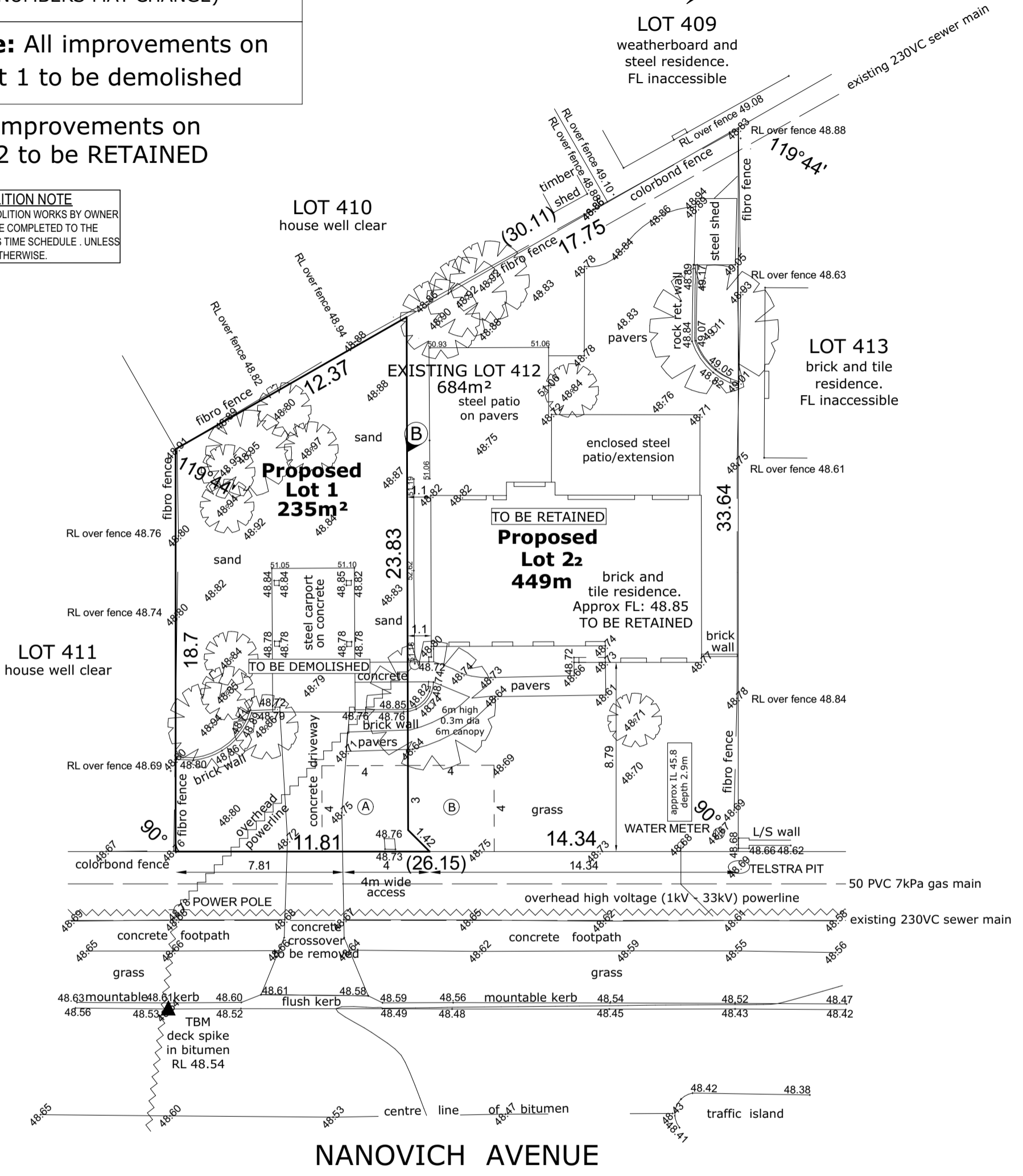
Existing Lot 412	area 684m ²
Proposed Lot 1	area 235m ²
Proposed Lot 2	area 449m ²

Note: All improvements on
Lot 1 to be demolished

All improvements on
lot 2 to be **RETAINED**

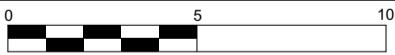
DEMOLITION NOTE

ALL DEMOLITION WORKS BY OWNER
ARE TO BE COMPLETED TO THE
BUILDERS TIME SCHEDULE. UNLESS
NOTED OTHERWISE.



IMPORTANT EXPLANATORY NOTES:

1. Plan is prepared for the client named in the title block.
2. Sole purpose of plan is for presentation to WAPC for process of conditional approval.
3. Original lot dimensions taken from LTO survey plans.
4. Final lot dimensions, areas and number may vary due to WAPC requirements, government authority conditions and final field survey.
5. This plan is for the purpose of application and in no way represents WAPC conditional approval.
6. The Land Division does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
7. Repeg recommended before design commences if house is to be retained.
8. Approval is needed from The Land Division for the reproduction / copying of this plan.



SCALE 1:200
ORIGINAL PLAN SIZE: A3

LEGEND:

- Subject Land
- (A) Reciprocal Access Easement
- (B) Reciprocal Access Easement Restricted Access (Sec 150 P&D Act)

**PROPOSED GREEN TITLE SUBDIVISION
LOT 412 ON P 10440**

38 Nanovich Avenue, Girrawheen
CT 2112-300

Base Mapping Prepared By The Land Division
DATE: 19-06-2019 REF: 19-8323
CLIENT: Jurcevic

THE LAND DIVISION
PLANNING | SURVEYING | DESIGN
PO BOX 2444, MALAGA, WA 6090
T: 9209 3232 F: 9249 2551
E: info@landdivision.com.au

 UNIT 4 / 325 HARBORNE STREET OSBORNE PARK WA 6017 PO BOX 1407 OSBORNE PARK BUSINESS CENTRE WA 6916 PHONE: 9201 7800 FAX: 9444 5111 EMAIL: Reception@newchoicehomes.com.au © COPYRIGHT 2020	CLIENT: JURCEVIC SITE ADDRESS: LOT 412 (#38) NANOVICH AVE GIRRAWHEEN CITY OF WANNEROO	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT: DATE..... OWNER 1..... OWNER 2..... BUILDER.....	DRAWN JS DATE 22-07-20 CHKD JK DESCRIPTION PLANNING DRAWINGS	<table border="1"> <thead> <tr> <th colspan="3">AREAS</th> </tr> <tr> <th>Ground Floor</th> <th>Area</th> <th>Perimeter</th> </tr> </thead> <tbody> <tr> <td>HOUSE</td> <td>98.64</td> <td>53.56</td> </tr> <tr> <td>GARAGE</td> <td>36.70</td> <td>27.38</td> </tr> <tr> <td>ALFRESCO</td> <td>6.44</td> <td>10.20</td> </tr> <tr> <td>PORCH</td> <td>1.33</td> <td>4.66</td> </tr> <tr> <td colspan="2">143.11 m²</td> <td></td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th colspan="3">ROOF AREAS</th> </tr> <tr> <th>FLOOR</th> <th>PITCH</th> <th>AREA</th> </tr> </thead> <tbody> <tr> <td>GROUND FLOOR</td> <td>24° 43' 0"</td> <td>152.21</td> </tr> <tr> <td colspan="2"></td> <td>152.21 m²</td> </tr> </tbody> </table>	AREAS			Ground Floor	Area	Perimeter	HOUSE	98.64	53.56	GARAGE	36.70	27.38	ALFRESCO	6.44	10.20	PORCH	1.33	4.66	143.11 m²			ROOF AREAS			FLOOR	PITCH	AREA	GROUND FLOOR	24° 43' 0"	152.21			152.21 m²	MODEL NAME: INDIVIDUAL DWG: EXISTING SITE SCALE: 1:200, 1:1 JOB No: D20005 SHEET No: 4 OF 4
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EARTHWORKS NOTE

REFER TO STRUCTURE REPORT FOR SITEWORKS INFORMATION

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CONCRETOR NOTE

ALL EXTERNAL CAVITY WALLS TO BE 2c CAVITY BRICKWORK (230mm); UNLESS NOTED OTHERWISE

TOP OF FOOTING TO BE AT -3c TO GARAGE AS SHOWN ON PLAN

BRICKPAVING NOTE

BRICKPAVING AS PER ADDENDA

90mm PVC PIPE TO BE PLACED 2m FROM THE CARPORT / GARAGE APPROX 300mm DEEP

CLIENT NOTE

F.F.L SHOWN ON PLAN MAY VARY TO WITHIN 50mm EITHER WAY

WHERE A BOUNDARY WALL IS INCLUDED, THE CLIENT IS TO OBTAIN
A) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO REMOVE ANY EXISTING FENCE(S)
B) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO ENTER ADJOINING PROPERTIES TO CONSTRUCT NEW BOUNDARY WALLS

COPIES OF THE WRITTEN PERMISSIONS TO BE PROVIDED TO THE BUILDER PRIOR TO COMMENCEMENT

SERVICES NOTE

SEWER JUNCTION AND WATER PRELAY NOT AVAILABLE AT PRELIMINARY DRAWINGS STAGE

WATER PRELAY LOCATED AT FRONT LEFT OF BLOCK

DOWNPIPE NOTE

LOCATION OF DOWNPIPES IS AN INDICATION ONLY. BUILDERS DISCRETION EXCEPTED.

SUPERVISOR NOTE

PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.

ALL TRADES NOTE ENSURE

ALL BUILDING MATERIALS & RUBBISH ARE KEPT AWAY FROM SEWER INSPECTION OPENING AT ALL TIMES

STORMWATER DISPOSAL TO SOAKWELLS BY BUILDER TO COUNCIL REQUIREMENTS

SITE ZONING-R40

Area of Site	235m ²
Shared C/P	0m ²
Total Area of Site	235m ²
Area of Building	134.46m ²
SITE COVERAGE	57.2%
Allowed Coverage	55%

Zoning R20/40

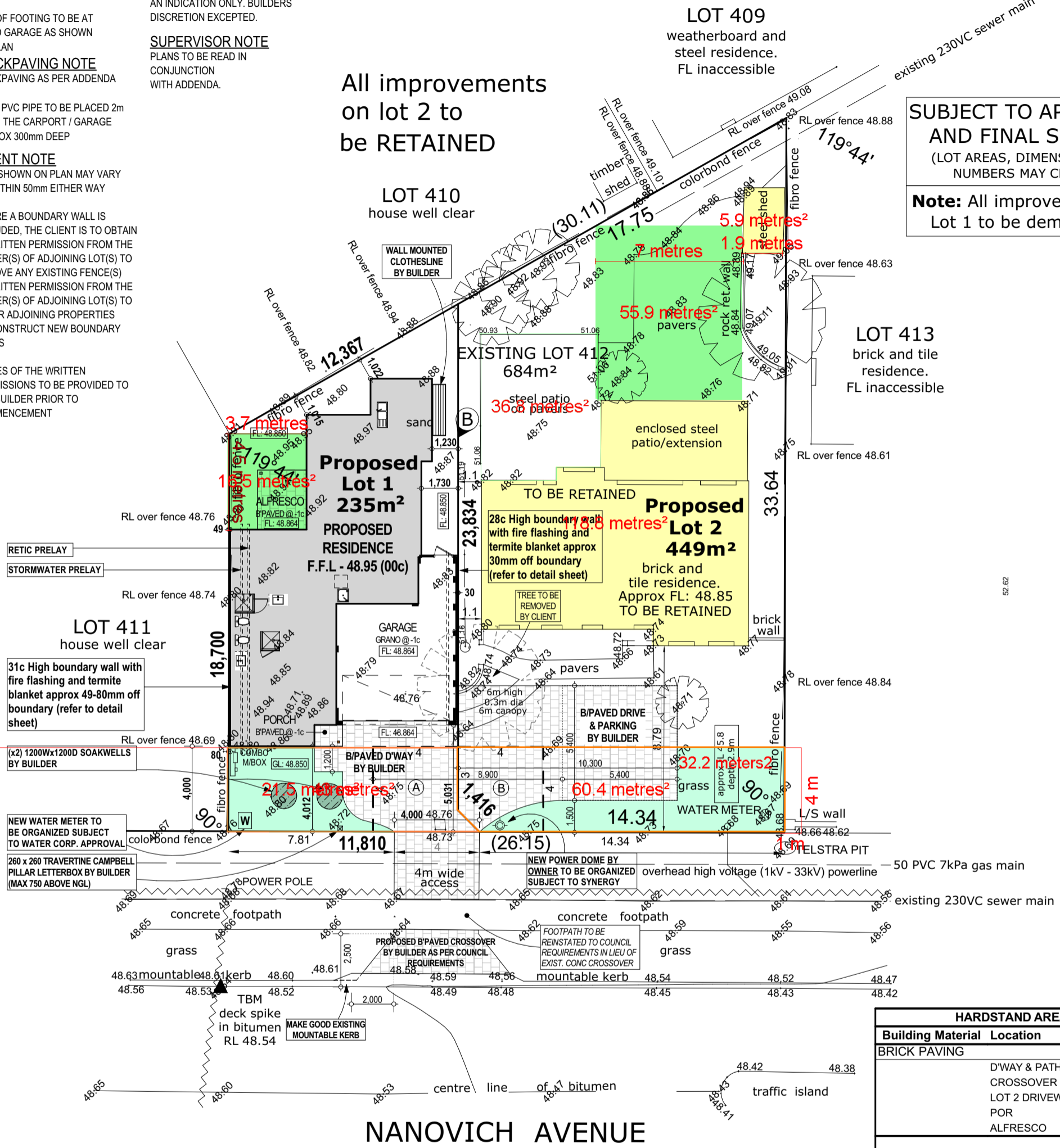
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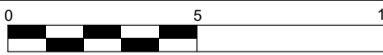
All improvements on lot 2 to be RETAINED



HARDSTAND AREAS		
Building Material	Location	Area
BRICK PAVING		
	D'WAY & PATH	28.99
	CROSSOVER	23.72
	LOT 2 DRIVEWAY	58.45
	POR	1.33
	ALFRESCO	6.44
		118.93 m ²

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PHONE: 9201 7800
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CLIENT:
JURCEVIC
SITE ADDRESS:
**LOT 412 (#38)
NANOVICH AVE
GIRRAWHEEN
CITY OF WANNEROO**
NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:
DATE.....
OWNER 1.....
OWNER 2.....
BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
JS	22-07-20	JK	PLANNING DRAWINGS

AREAS		
Ground Floor	Area	Perimeter
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ROOF AREAS		
FLOOR	PITCH	AREA
GROUND FLOOR	24° 43' 0"	152.21
		152.21 m ²

MODEL NAME:
INDIVIDUAL
DWG:
SITE PLAN
SCALE:
1:200, 1:1.67
JOB No:
D20005
SHEET No:
3 OF 4



OUTDOOR LIVING: 20.12m²
 COUNCIL REQUIRED: 20m²
 UNCOVERED SPACE: 14.1m²
 UNCOVERED COUNCIL REQ: 14m²

0.1 metres

2/1

3/4

NANOVICH AVENUE

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MODEL NAME:
INDIVIDUAL

DWG:
GROUND FLOOR PLAN

SCALE:
1:100

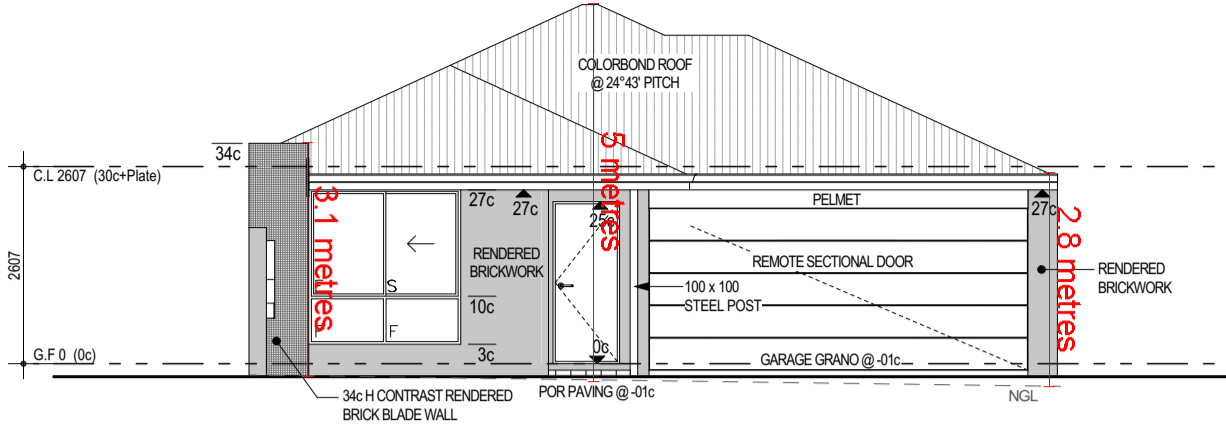
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NOTE:

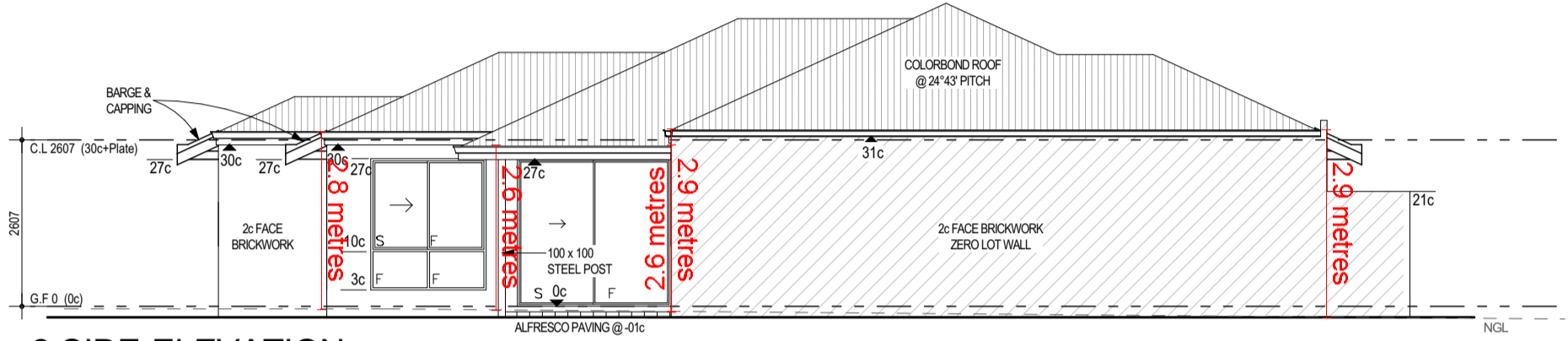
- ROOF PITCH 24°43'
- ROOF COVER: Colorbond
- CONVENTIONAL TIMBER ROOF FRAMING IN ACCORDANCE WITH N.C.C. PART 3.4.3, A.S. 1684 & ENGINEERING ADVICE.
- ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH THE N.C.C.

SHADING INDICATES EXTENT OF RENDER TO FRONT ELEVATION (INCLUDING RETURNS). REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK



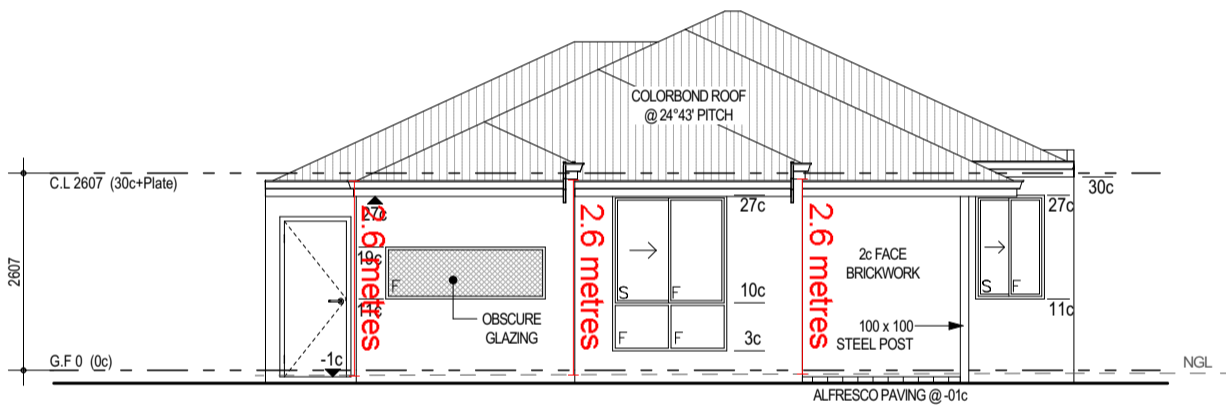
1 FRONT ELEVATION

1:100



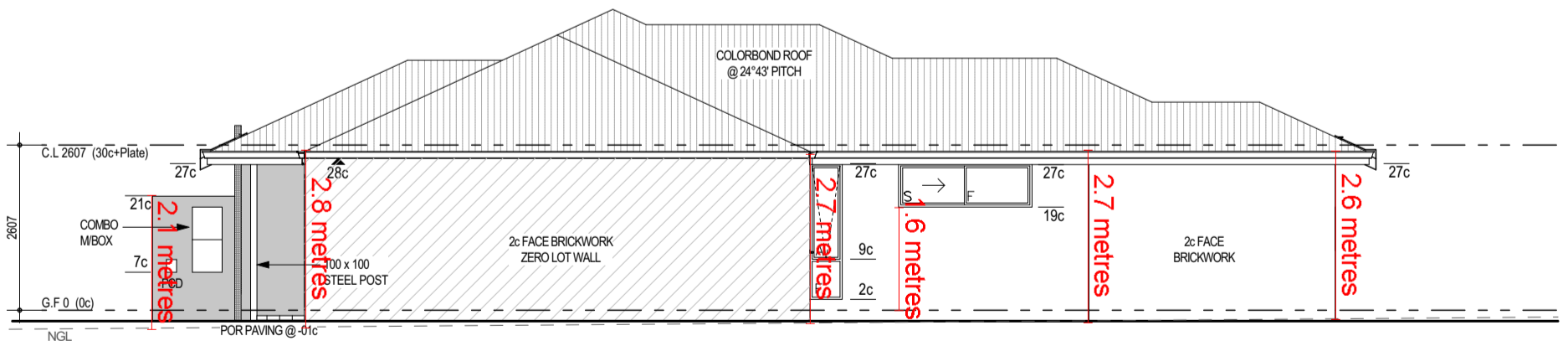
2 SIDE ELEVATION

1:100



3 REAR ELEVATION

1:100



4 SIDE ELEVATION

1:100

newchoice
developments

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