

HOME ID		SHEET N°	
50887		10 OF 10	
		DRN	DATE
REVISION		VO #	CHK
CONTRACT		JO	14.01.20
PRE CONTRACT		JO	22.01.20
6 STAR AMEND		AC	24.01.20
AMENDMENT		AV	13.02.20
AMENDMENT		AV	25.02.20
AMENDMENT		AV	27.02.20
6 STAR AMEND		AC	14.04.20
V.O.	1,2,3	AV	29.05.20
Sub-contractors to verify all dimensions on site.			

**NOTE:**

SAND PAD LEVEL TOLERANCE +/-40mm TO ACCOMMODATE SITE CONDITIONS AND RESTRICTIONS. WHERE VARIANCE EXISTS IT MUST STILL BE COMPLIANT WITH LOCAL AUTHORITY REQUIREMENTS AND ENSURE SURFACE WATER WILL NOT ENTER THE BUILDING.

**AS. 3660.1 TERMITE MANAGEMENT SECTION 1.5**

BUILDING OWNERS SHOULD BE AWARE THAT CONSTRUCTION AT OR NEAR THE BOUNDARY COULD RESULT IN A GREATER RISK OF TERMITE ENTRY AND MORE FREQUENT INSPECTIONS MAY BE REQUIRED.

**NOTE:**

- PIER & POST FOOTINGS @ -3c, -5c
- GARAGE FOOTINGS @ -5c
- GARAGE BOUNDARY WALL FOOTINGS @ -5c
- HOUSE FOOTINGS @ -2c
- HOUSE BOUNDARY WALL FOOTINGS @ -2c

**NOTE:**

OWNER SUPPLIED ITEMS AS INDICATED ON PLANS DO NOT FORM PART OF THIS CONTRACT & BUILDING LICENCE. OWNER TO SEEK APPLICABLE APPROVAL(S) & INSTALL AFTER HANDOVER & PRIOR TO OCCUPATION.

**NOTE:**

ANY REPAIRS/ REMOVAL/ REINSTATING OF FENCING OR RETAINING WALLS WILL BE THE RESPONSIBILITY OF THE OWNER.

**NOTE:**

THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.

**NOTE:**

230 CAVITY RENDERED BRICKWORK AS SHOWN ON FLOOR PLAN WITH 230 CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER.

**NOTE:**

DWELLING TO COMPLY W/ AS3959 -2009 TO BAL RATING OF BAL LOW.

**NOTE:**

N1 WIND CLASSIFICATION. REFER TO ENGINEERS SPECIFICATION.

**NOTE:**

100mm CONCRETE SLAB TO ENGINEERS DETAIL.

**PLUMBING NOTE:**

PROVIDE REFLUX VALVE.

COASTAL CONDITION R4

NOTE: BOUNDARY POSITION AS PER ALIGNMENT

WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

**PLANNING REQUIRED:**

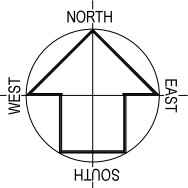
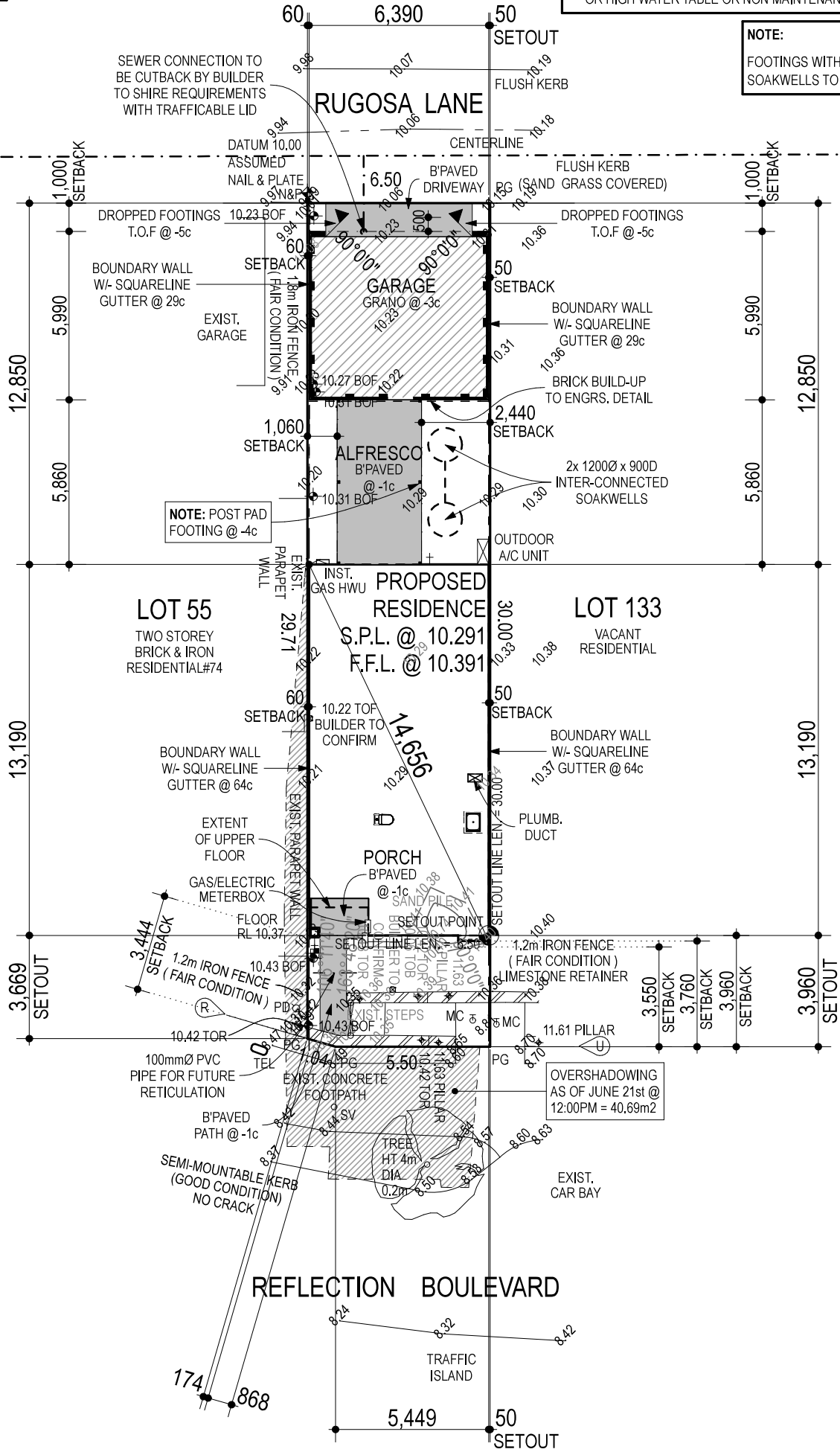
- BOUNDARY WALL LENGTHS TO UPPER FLOOR EXCEEDS 12m
- OVERLOOKING FROM BED 2, BED 3 AND POSSIBLY MASTER SUITE.

**NOTE:**

- ALL STORMWATER DISPOSAL TO BE CONTAINED ON SITE TO 2x 1200Ø x 900d INTER-CONNECTED SOAKWELLS.
- SOAKWELL LOCATION MAY BE ADJUSTED AT PLUMBERS DISCRETION TO BCA & LOCAL AUTHORITY REQUIREMENTS.
- NO ALLOWANCE HAS BEEN MADE BY THE SHIRE OR DEVELOPER FOR OFF SITE STORMWATER DISPOSAL TO MAIN DRAINS.
- BGC HAVE ALLOWED SOAKWELLS WHICH CAPACITY HAS BEEN CALCULATED IN ACCORDANCE WITH LOCAL AUTHORITY & BCA REQUIREMENTS ALLOWING FOR A 20 YEAR STORM OF A 5 MINUTE DURATION.
- THE BUILDER ACCEPTS NO RESPONSIBILITY, SHOULD THE SYSTEM NOT OPERATE CORRECTLY AS A RESULT OF GREATER RAINFALL, ON SITE CONDITIONS SUCH AS LIMESTONE, CLAY, OR HIGH WATER TABLE OR NON MAINTENANCE OF THE SYSTEM.

**NOTE:**

FOOTINGS WITHING 1500mm FROM SOAKWELLS TO BE UPGRADED.



LOT 134

195 m<sup>2</sup>  
SANDY  
GRASS COVER

COMMON LEGEND

○ PF	PEG FOUND
○ Pdist	PEG DISTURBED
PG	PEG GONE
◆	DATUM / CONTROL
○ SV	STOP VALVE
○ HY (GROUND)	HYDRANT
○ FP	FLUSH POINT
⊗ TAP	WATER TAP
⊗ MC	METER CONNECTION
○ M	WATER METER
○	DRAINAGE MANHOLE
▢	GRATE
▢	SIDE ENTRY PIT
○ SEW	SEWER MANHOLE
○ IS	INSPECTION SHAFT
○ IO	INSPECTION OPENING
○ CP	CONSUMER POLE
○ PP	POWER POLE
○ LP	LAMP POST
○ SP	STAY POLE
○ PD	POWER DOME / PILLAR
TEL / NBN	TELSTRA / NBN PIT
□ GAS	GAS METER
⊗ G	GAS LINE MARKER (PT)
◆ 99 TOW	TOP OF WALL
◆ 99 TOR	TOP OF RETAINER
⊗ 99 STILL	STILL DEEPER
⊗ 99 TOB	TOP OF BACKING BLOCK
⊗ 99 TOF	TOP OF FOOTING
⊗ 99 BOR	BOTTOM OF RETAINER
◆ 99 BOF	BOTTOM OF FENCE FRAME

SERVICE INFORMATION

SEWERAGE:	YES
WATER:	YES
PRELAID:	YES
GAS:	BTC
COMM.	YES
POWER:	U/G

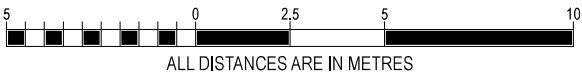
TBE - To Be Establish; BTC - Builder To Confirm

THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION: SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBERANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.



NOTE: BETWEEN R & U MARKERS RESTRICTIVE COVENANT NO ROAD VEHICLE ACCESS BENEFIT TO: CITY OF WANNEROO

IO  
POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY  
SEWER INVERT LEVEL 7.72  
SEWER BROUGHT UP 1.5  
DEPTH TO CONNECTION 1.0



ALL DISTANCES ARE IN METRES

CLIENT:.....  
DATE:.....  
CLIENT:.....  
DATE:.....  
BUILDER:.....  
DATE:.....



LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS

3 HASLER RD, OSBORNE PARK, WA 6017  
P.O.Box 1862, Osborne Park DC WA 6916

Telephone (08) 9214 1777  
www.automatedsurveys.com.au



B				CLIENT: HAWTHORN	
A		12/12/2019 SITE SURVEY		PROJECT: LOT 134 REFLECTION BOULEVARD, JINDALEE	
REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED
BUILDER: BGC RESIDENTIAL PTY LTD			PLAN: DP 401003		
REF.: N 50887/110020			C/T.: 2834/119		
H. Grid: LOCAL	A.H.D level: 24.60	A.H.D. value derived from: AD6232	Distance from Datum: 32.12 m		Approx. 1.0 km FROM COAST LINE
V. Datum: ASSUMED	Local level: 9.21		distance: 3.7 km FROM LAKE		
			SHEET: 1 of 1		DRAWING No.: 230305
					REV: A

AREAS - GROUND		
	PERIM. (m)	AREA (m2)
HOUSE (GROUND)	39.56	81.77
GARAGE	24.76	38.28
ALFRESCO	17.72	17.58
PORCH	7.00	2.93
		140.56 m²
ROOF QUANTITIES		
Material Type	Roof   Tiled	
Surface Area (m2 on the rake)	155.70	
Area [m2 on the flat]	141.58	

**NOTE:**

EXPANSION JOINTS IN MASONRY WALLS IN ACCORDANCE WITH AS 4773. REFER TO ENGINEERS DETAIL FOR POSITION OF EXPANSION JOINTS.

**NOTE:**

FLOORTECH FLOOR SLAB TO UPPER FLOOR TO ENG'S DETAILS.

**NOTE:**

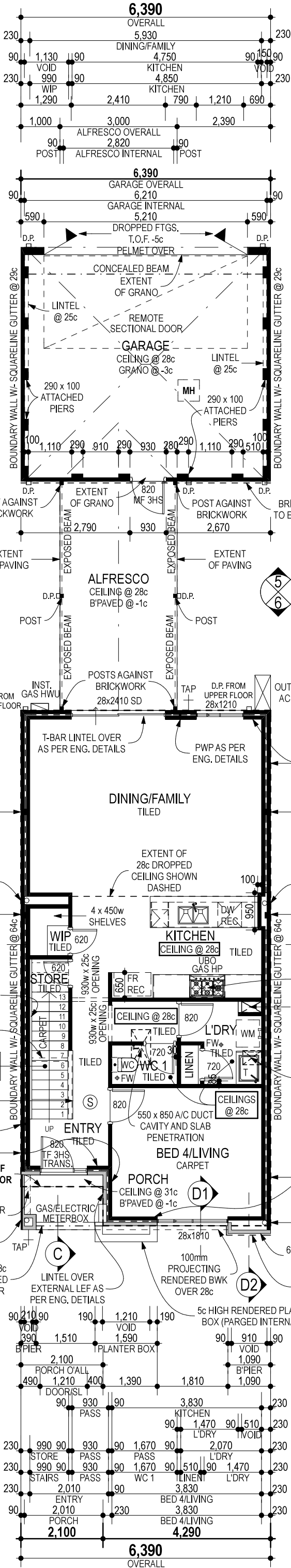
100mm CONCRETE SLAB TO ENGINEERS DETAIL.

**NOTE:**

DWELLING TO COMPLY W/ AS3959 -2009 TO BAL RATING OF BAL LOW.

**PLUMBING NOTE:**

PROVIDE REFLUX VALVE.

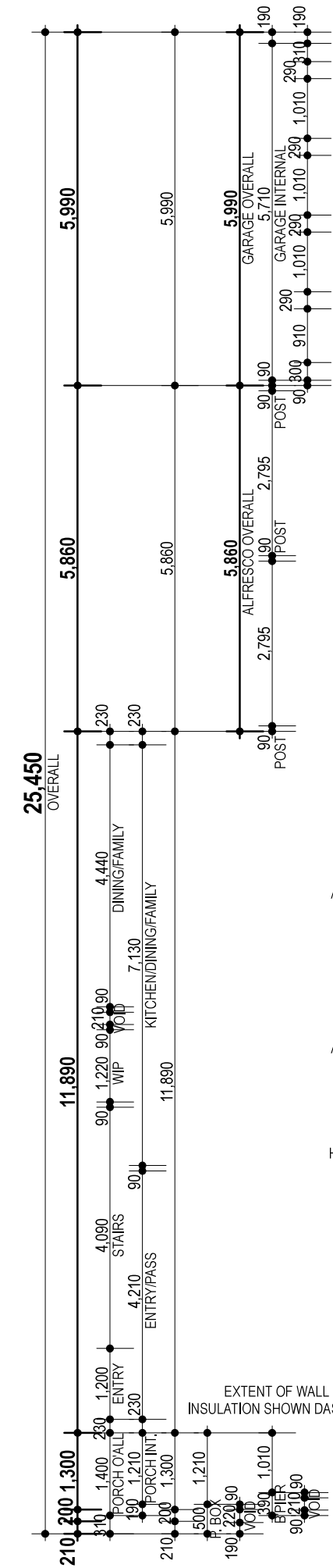


**NOTE:**

THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.

**6 STAR NOTES:**

- R4.0 BATTS INSULATION TO CEILING AREAS OF HOUSE & GARAGE.
- R1.3 WALL INSULATION EXTENT AS SHOWN ON PLANS.
- EXHAUST FAN TO WET AREAS TO HAVE DRAFT STOPPERS.
- R2.0 BATTS TO REVERSE BRICK VENEER WALLS



**GROUND FLOOR PLAN**  
SCALE 1:100

**ROOF CARPENTER NOTE:**

REFER TO SHEET 3 FOR RANGEHOOD CUT-OUT LOCATION.

**NOTE:**

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- NOTE:**
- PIER & POST FOOTINGS @ -3c, -5c
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  - GARAGE BOUNDARY WALL FOOTINGS @ -5c
  - HOUSE FOOTINGS @ -2c
  - HOUSE BOUNDARY WALL FOOTINGS @ -2c

**NOTE:**

DRYWALL PLASTERBOARD LINING TO INTERNAL WALLS.

**NOTE:**

GLAZING CONSTRUCTION AND INSTALLATION TO BE IN ACCORDANCE WITH AS 1288 (CURRENT) & AS 2047 (CURRENT).

**NOTE:**

230 CAVITY RENDERED BRICKWORK AS SHOWN ON FLOOR PLAN WITH 230 CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER.

- NOTE:**
- DO NOT SCALE FROM DRAWINGS DIMENSIONS MUST BE FOLLOWED AND CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
  - ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER/ PLASTERBOARD.
  - DOWN PIPES ARE TO BE LOCATED AT PLUMBERS DISCRETION TO SUIT ROOF WATER VOLUME AND ROOF MEMBERS.
  - FLOOR WASTES/ CEILING VENTS/ MANHOLE SHOWN DIAGRAMMATICALLY ONLY AND MAY BE RELOCATED ON SITE AS REQUIRED.
  - ROOF BEAMS ARE SHOWN DIAGRAMMATICALLY ONLY.
  - CL @ 31c THROUGHOUT UNLESS NOTED OTHERWISE.
  - FLOOR TECH FLOOR SLAB TO UPPER FLOOR TO ENG'S DETAIL.

**national HOMES**

22 MOUNT STREET PERTH PH. 9261 1888  
BC. 9769  
BGC RESIDENTIAL PTY LTD

Sub-contractors to verify all dimensions on site.

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AMENDMENT		AV	27.02.20	
6 STAR AMEND		AC	14.04.20	EP
V.O.		AV	29.05.20	

**CLIENT:** LYNCH / HAWTHORN

**ADDRESS:** LOT 134 REFLECTION BOULEVARD JINDALEE

**MODEL N°** MODA 2 STOREY

**MAP REF:** N/A

**84 39 04**

**COASTAL CONDITION** R4

**50887**

**DATE:** 29.05.20

**WIND RATING** N1

**ENGINEERS DETAIL** D10V2

**SHEET N°** 1 OF 10

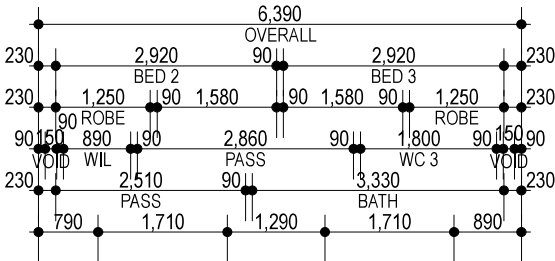
AREAS - FIRST		
	PERIM. (m)	AREA (m2)
HOUSE (FIRST)	39.56	82.40
		82.40 m²
ROOF QUANTITIES		
Material Type	Roof   Tiled	
Surface Area (m2 on the rake)	155.70	
Area [m2 on the flat]	141.58	

**NOTE:**  
EXPANSION JOINTS IN MASONRY WALLS IN ACCORDANCE WITH AS 4773. REFER TO ENGINEERS DETAIL FOR POSITION OF EXPANSION JOINTS.

**NOTE:**  
FLOORTECH FLOOR SLAB TO UPPER FLOOR TO ENG'S DETAILS.

**NOTE:**  
100mm CONCRETE SLAB TO ENGINEERS DETAIL.


**PLUMBING NOTE:**  
PROVIDE REFLUX VALVE.



**NOTE:**  
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**NOTE:**  
DWELLING TO COMPLY W/AS3959 -2009 TO BAL RATING OF BAL LOW.



**national**  
HOMES

22 MOUNT STREET PERTH PH: 9261 1888  
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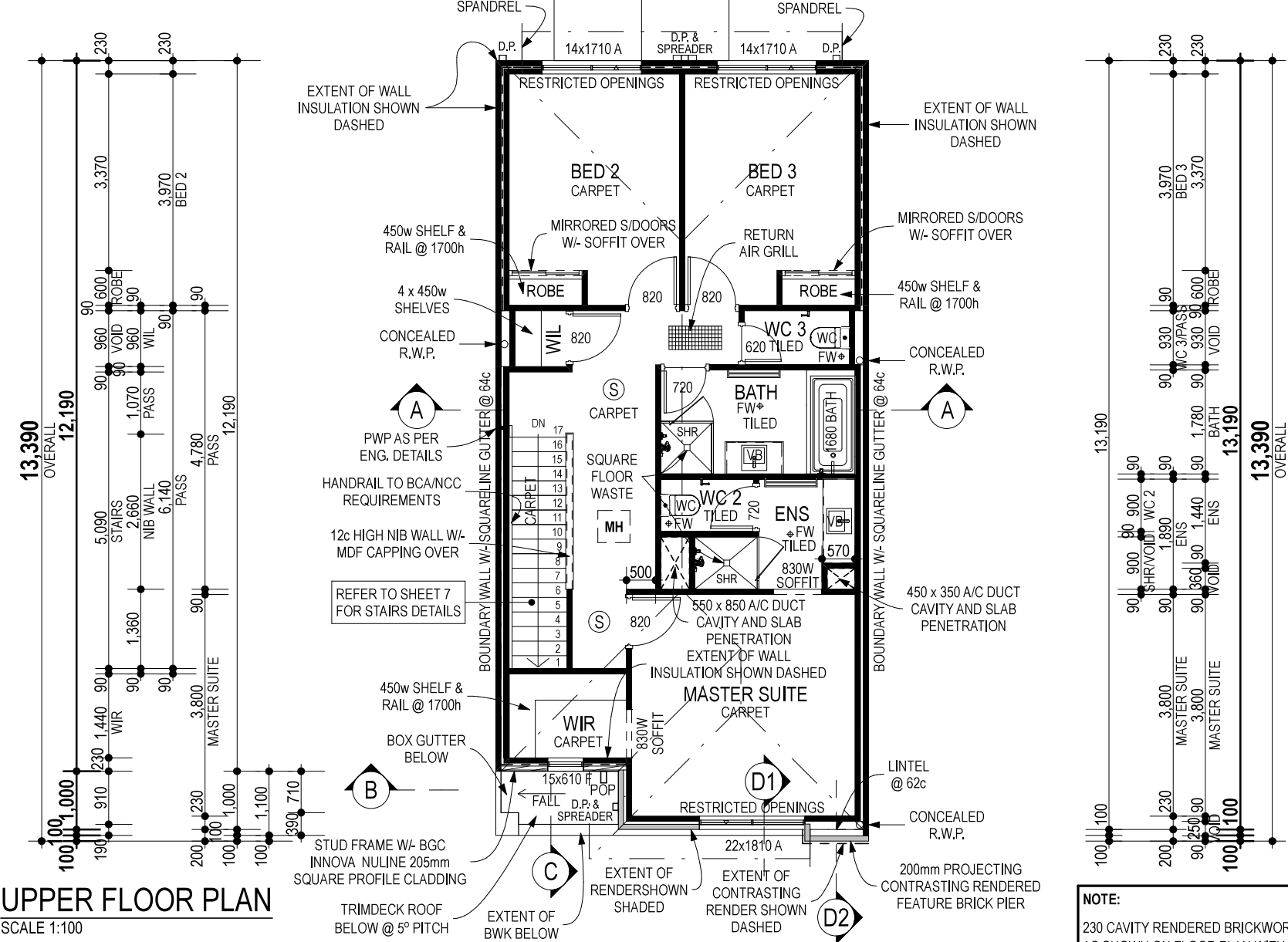
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CLIENT:.....  
DATE:.....  
BUILDER:.....

CLIENT:.....  
DATE:.....  
BUILDER:.....

CLIENT: LYNCH / HAWTHORN  
ADDRESS: LOT 134 REFLECTION BOULEVARD JINDALEE

INDIVIDUAL		MODA 2 STOREY
MODEL N°	N/A	
MAP REF:	84 39 04	
COASTAL CONDITION	R4	
HOME ID	50887	SHEET N° 2 OF 10
DATE	29.05.20	
WIND RATING	N1	ENGINEERS DETAIL



**UPPER FLOOR PLAN**  
SCALE 1:100

**ROOF CARPENTER NOTE:**  
REFER TO SHEET 3 FOR RANGEHOOD CUT-OUT LOCATION.

**NOTE:**  
OWNER SUPPLIED ITEMS AS INDICATED ON PLANS DO NOT FORM PART OF THIS CONTRACT & BUILDING LICENCE. OWNER TO SEEK APPLICABLE APPROVAL(S) & INSTALL AFTER HANDOVER & PRIOR TO OCCUPATION.

- NOTE:**
- PIER & POST FOOTINGS @ -3c, -6c
  - GARAGE FOOTINGS @ -6c
  - GARAGE BOUNDARY WALL FOOTINGS @ -6c
  - HOUSE FOOTINGS @ -2c, -3c
  - HOUSE BOUNDARY WALL FOOTINGS @ -2c, -3c

**NOTE:**  
DRYWALL PLASTERBOARD LINING TO INTERNAL WALLS.

**NOTE:**  
GLAZING CONSTRUCTION AND INSTALLATION TO BE IN ACCORDANCE WITH AS 1288 (CURRENT) & AS 2047 (CURRENT).

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  - FLOOR WASTES/ CEILING VENTS/ MANHOLE SHOWN DIAGRAMMATICALLY ONLY AND MAY BE RELOCATED ON SITE AS REQUIRED.
  - ROOF BEAMS ARE SHOWN DIAGRAMMATICALLY ONLY.
  - CL @ 28c THROUGHOUT UNLESS NOTED OTHERWISE.
  - FLOOR TECH FLOOR SLAB TO UPPER FLOOR TO ENG'S DETAIL.

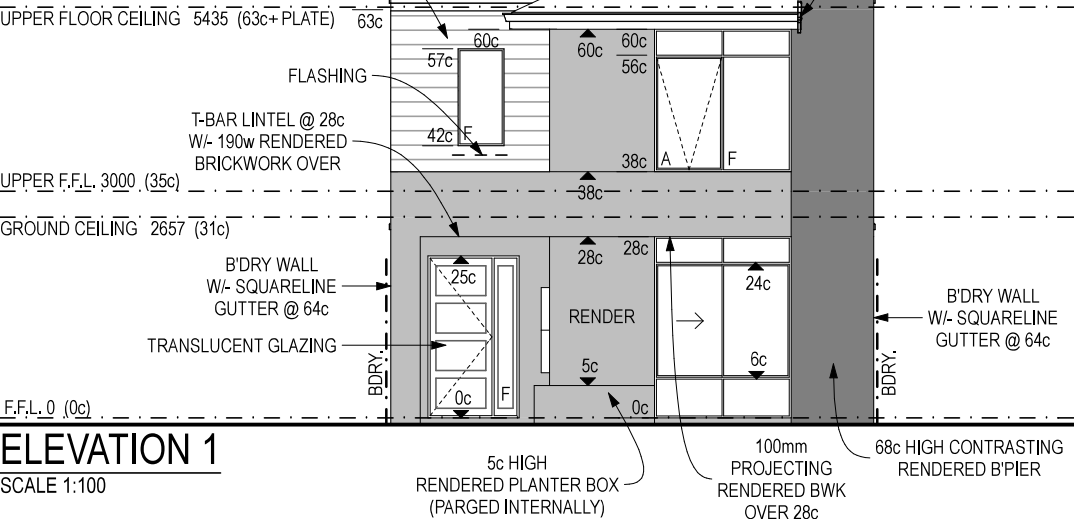
**NOTE:**  
230 CAVITY RENDERED BRICKWORK AS SHOWN ON FLOOR PLAN WITH 230 CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER.

DOCS050877AS/DRAWINGS ORIGINAL

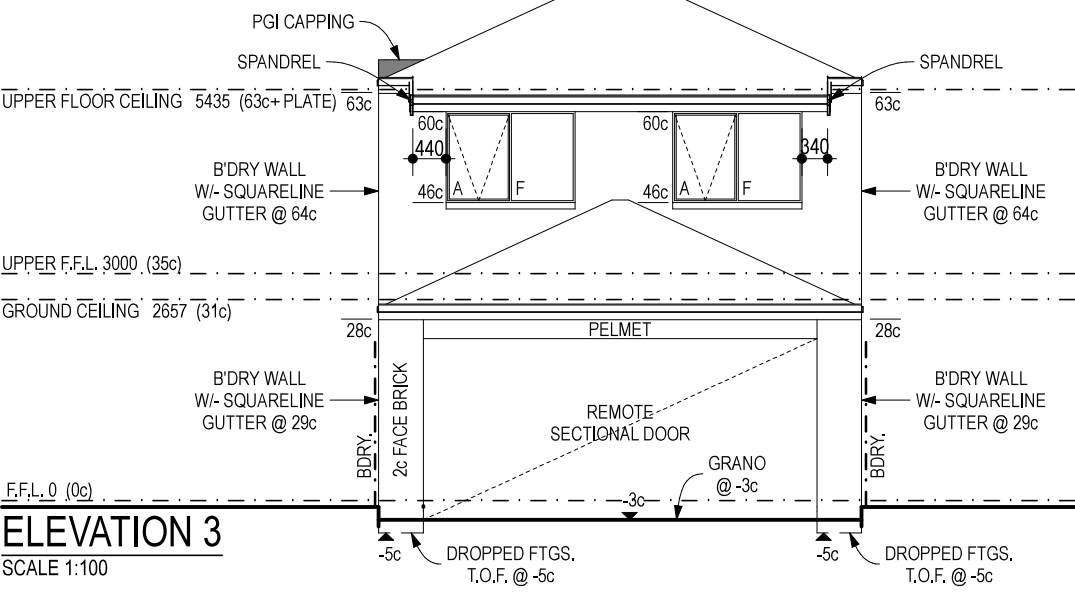
**NOTE:**  
230 CAVITY RENDERED BRICKWORK  
AS SHOWN ON FLOOR PLAN WITH 230  
CAVITY FACE BRICKWORK LAID 1/3  
BOND TO REMAINDER.

TILED ROOF ON  
24°43'0" (25°) PITCH.

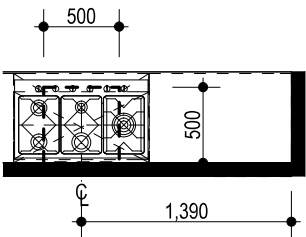
BGC INNOVA NULINE  
205mm SQUARE  
PROFILE CLADDING



**ELEVATION 1**  
SCALE 1:100

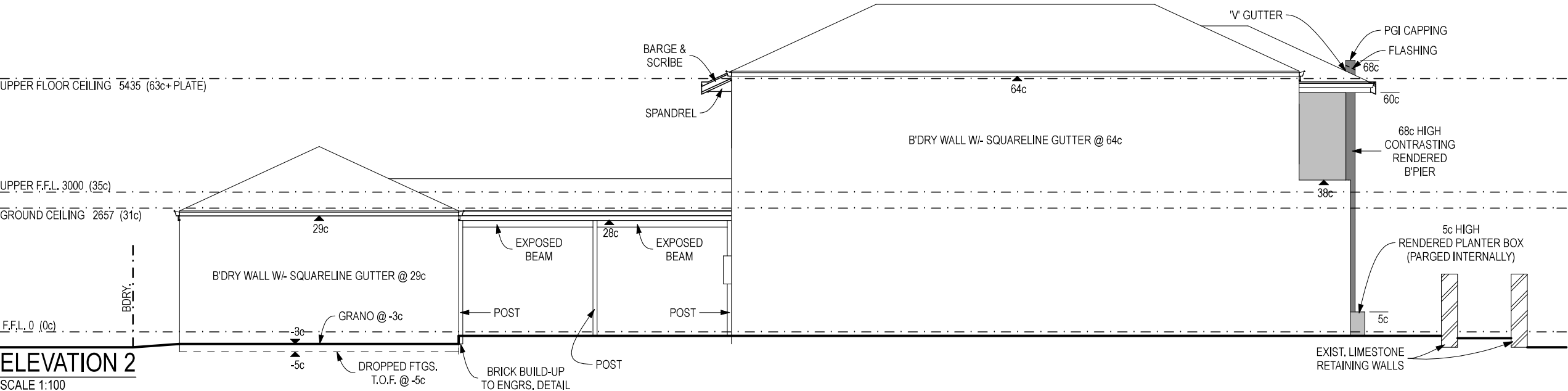


**ELEVATION 3**  
SCALE 1:100




**NOTE:**  
SPACE ROOF MEMBERS  
TO ALLOW FOR 500 x  
500 SQ. CLEARANCE FOR  
RANGEHOOD CUTOUT.

**RANGEHOOD  
CUT-OUT LOC'N**  
SCALE 1: 50



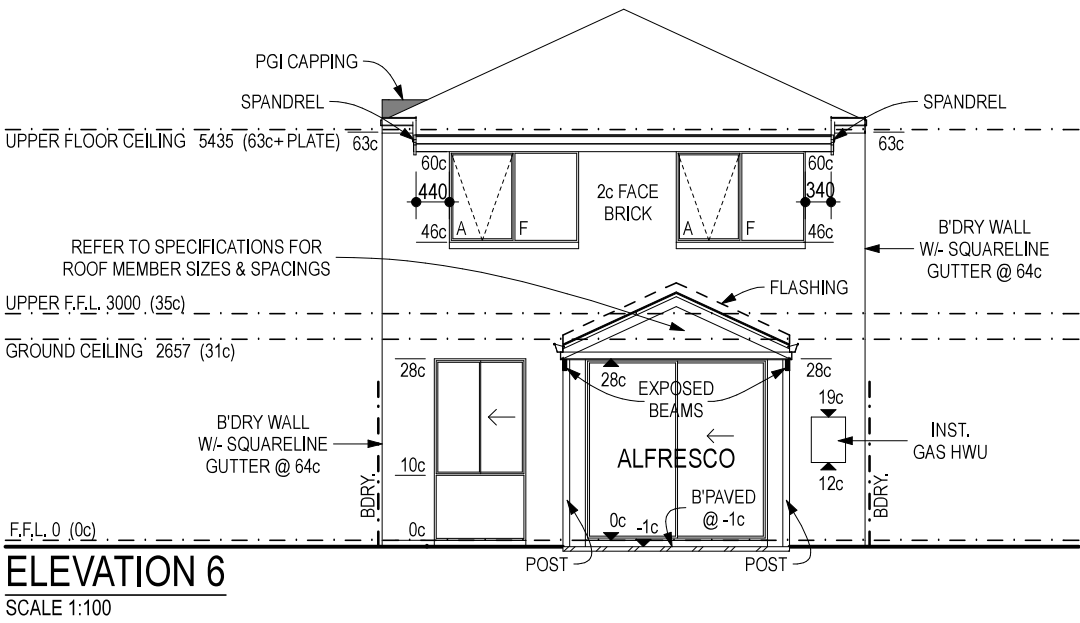
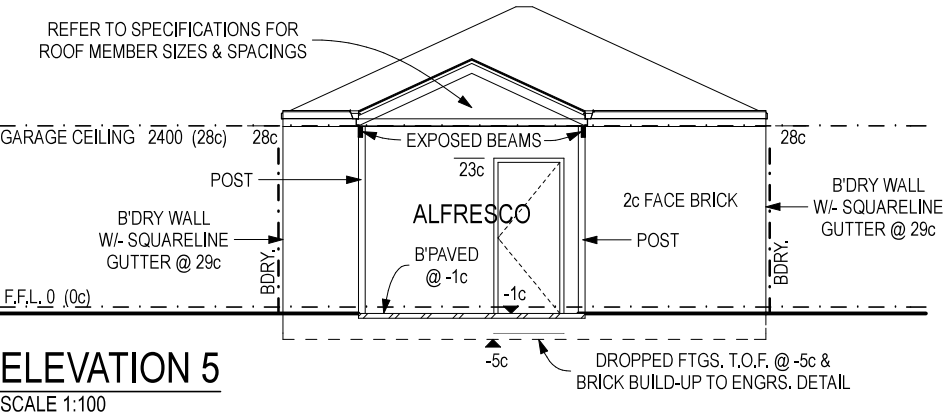
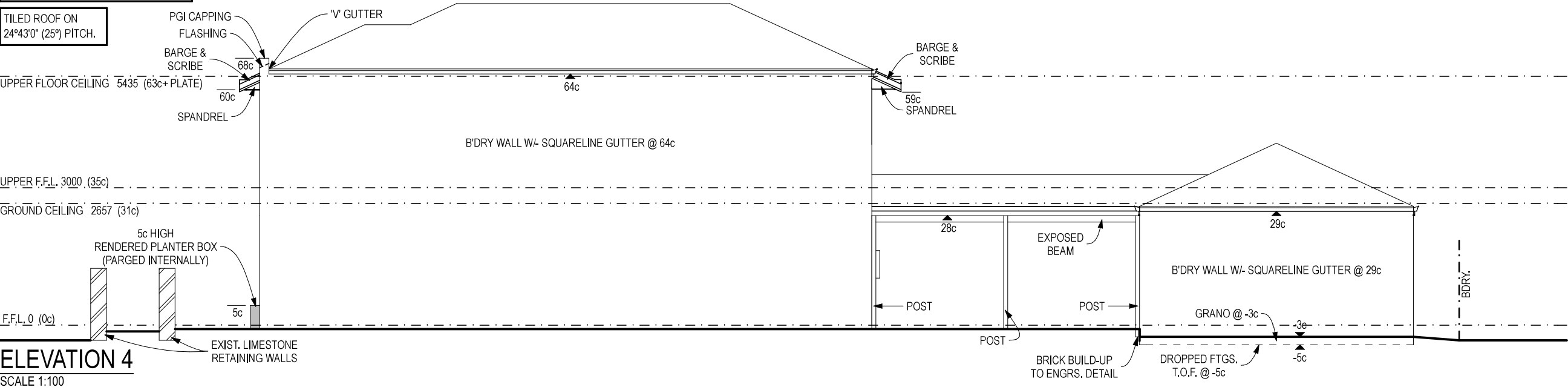
**ELEVATION 2**  
SCALE 1:100


<div></div> <div><b>national</b></div> <div><b>HOMES</b></div> <div>22 MOUNT STREET PERTH PH: 9261 1888</div> <div>BC: 9769</div> <div>A.B.N. 54 052 543 450</div> <div>BGC RESIDENTIAL PTY LTD</div>	REVISION		VO #	DRN	DATE	CHK	CLIENT:..... DATE:..... CLIENT:..... DATE:..... BUILDER:..... DATE:.....	CLIENT: LYNCH / HAWTHORN  ADDRESS: LOT 134 REFLECTION BOULEVARD JINDALEE	© COPYRIGHT
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Sub-contractors to verify all dimensions on site.									
INDIVIDUAL									
MODEL N°				DATE				MODA 2 STOREY	
N/A				29.05.20					
MAP REF.				WIND RATING					
84 39 04				N1					
COASTAL CONDITION				ENGINEERS DETAIL					
R4				D10V2					
HOME ID				SHEET N°					
50887				3 OF 10					

DOCNO:50887-A3:DRAWINGS

**NOTE:**  
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TILED ROOF ON  
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