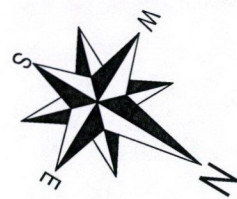


LOT 470

Latitude-31°30'16.347" Longitude 115°36'20.578"



Grano / Paving Areas		
	AREA	Perimeter
GARAGE	65.58	34.36
PAVED CROSSOVER	26.43	23.28
ALFRESCO	25.25	22.52
PAVED DRIVEWAY	22.85	20.76
PORCH	2.58	6.54
PAVED PATH	1.90	5.81

LEGEND	SEC Dome
	Power Pole
[Symbol]	Phone Pits
[Symbol]	Water Conn.
[Symbol]	Top Pillar/Post
[Symbol]	Top Wall
[Symbol]	Top Retaining
[Symbol]	Top Fence

**MOMU**  
ACN 055 245 308 ~ R.B - 8867  
Level 4, 302 Selby Street,  
Osborne Park W.A. 6017  
P.O Box 1309  
Osborne Park W.A. 6916  
PH (08) 6169 0400

CLIENT: **Hugo / Rumsley**

CONTRACT / JOB NO. **M01451**

MAP REF. **66-75/67**

SITE SURVEY **LOT 470**

COASTAL NO

(#19) Seabass Chase

Suburb **Two Rocks**

Loc.Auth. **CITY OF WANNEROO**

D.Plan **417043** Volume **1** Folio **1**

Location **Check Title**

**-WIND CLASSIFICATION (N1)  
AS PER AS 4055**

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**NOTE: ALL DOWNPIPES  
CONNECTED TO  
SOAKWELLS WITH PVC  
STORMWATER PIPE BY  
BUILDER**

TERMITE TREATMENT TO BE  
CHEMICAL TREATMENT IN ACCORDANCE  
WITH NATIONAL CONSTRUCTION CODE 2016,  
PART 3.1.3, PART 2.1.1 & PART 1.0.7 USING THE  
TERMICO MANAGEMENT PLAN

CLIENT NOTE: REPAIRS / REINSTATEMENT TO  
DAMAGED KERBS AND / OR FOOTPATHS  
WHERE NECESSARY IS THE RESPONSIBILITY  
OF THE OWNER

CLIENT NOTE: BEWARE OF UNDERGROUND  
SERVICE RUN-INS WHEN DIGGING

CLIENT NOTE: STORMWATER DISPOSAL SHALL  
BE IN ACCORDANCE WITH THE COUNCIL APPROVED  
PLANS & CONDITIONS OF APPROVAL AND ANY  
SPECIFIED STRUCTURAL ENGINEER'S REQUIREMENTS  
(REFER TO ADDENDA)

CLIENT NOTE: REMOVAL AND RE-INSTATEMENT  
OF FENCING AS NECESSARY BY LAND OWNER/S TO  
BUILDERS SCHEDULE IN ACCORDANCE WITH THE  
BUILDING ACT (2011) OWNER TO LIAISE & GAIN  
PERMISSION FROM ADJOINING LAND OWNER/S  
ACCORDINGLY AND GIVE 24 HOURS NOTICE PRIOR  
TO THE REMOVAL / RE-INSTATEMENT OF FENCING

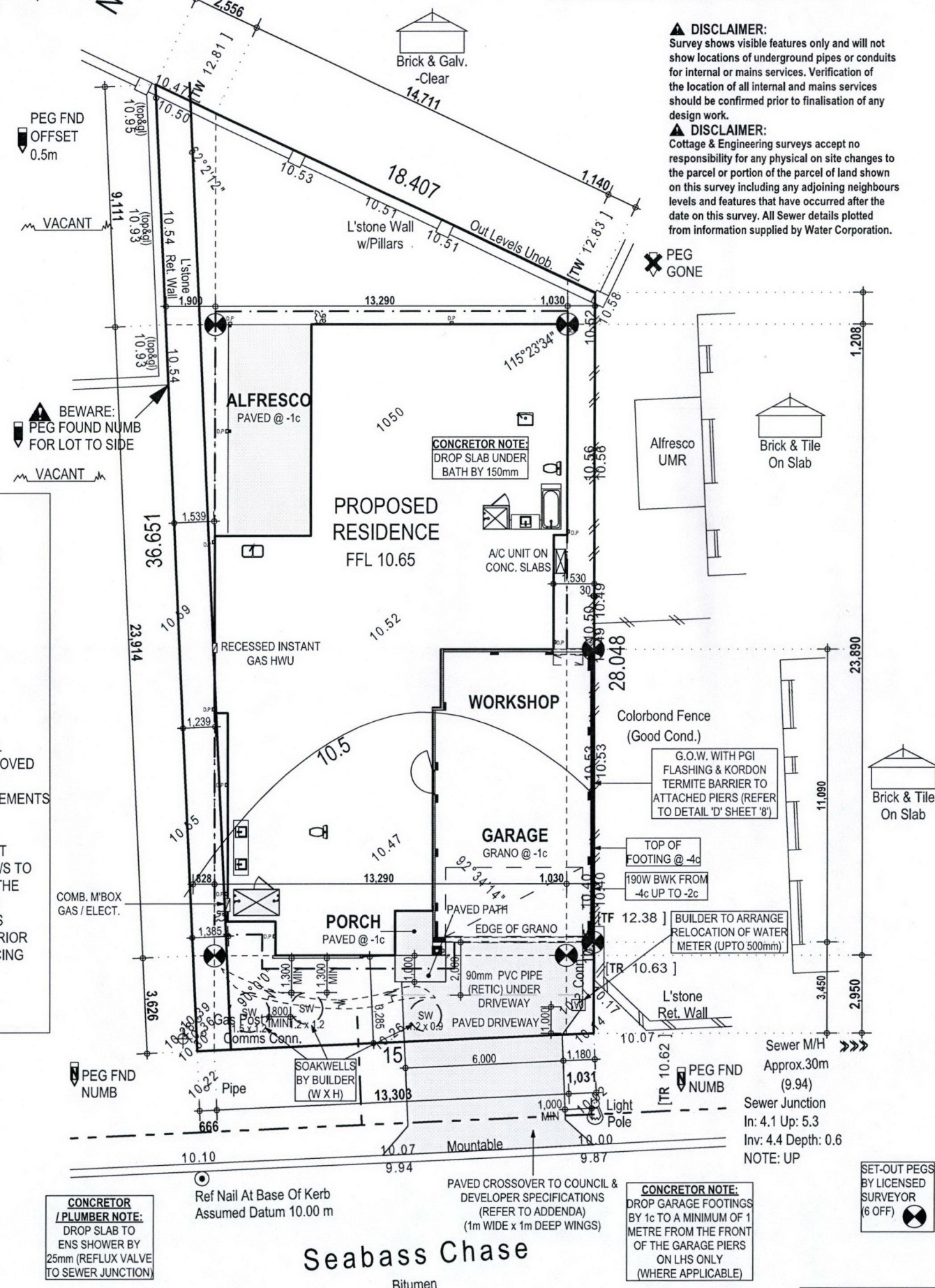
NOTE: SOME BUILDING MATERIALS WILL BE  
PLACED IN THE VERGE RESERVE DURING  
THE COURSE OF CONSTRUCTION

**NOTE:**  
NOTIFICATION (UX0)  
REFER TO SEC 165 T.P.D. ACT  
SEE DOCUMENT

**NOTE:**  
RESTRICTIVE COVENANT.  
REFER TO SEC 136D T.L.A.  
SEE DOCUMENT

**SOIL DESCRIPTION**  
Fill Sand Trace Gravel (L/stone)  
Gravel (L/stone) Refusal Light Grass Cover

Scale 1:200  
0 2 4 6 8  
Scale 1:200 Date: 05 May 20



**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**WARNING:**  
PLAN/DIAGRAM NOT YET APPROVED  
BY TITLES OFFICE. VERIFY LOT  
DIMENSIONS & ANGLES WITH TITLE.

PROJECT No. **M01451** SHEET No. **1 of 10**

**SITE PLAN**

DRAWN: SA DATE: MAY 20' REV # **A**  
SCALE: 1:200 CHK: MH

VARIATION	DATE	DRAWN	CHK
			###

These are the plans referred to in the Building Contract

CLIENT: \_\_\_\_\_

CLIENT: \_\_\_\_\_

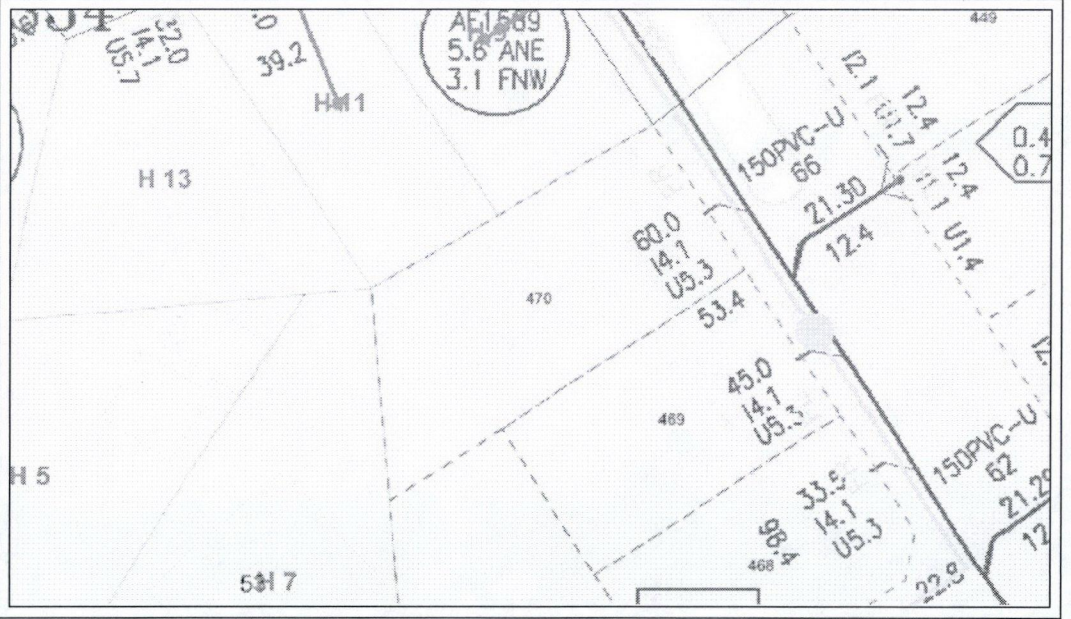
BUILDER: \_\_\_\_\_

DATE: \_\_\_\_\_

© COPYRIGHT

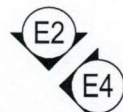
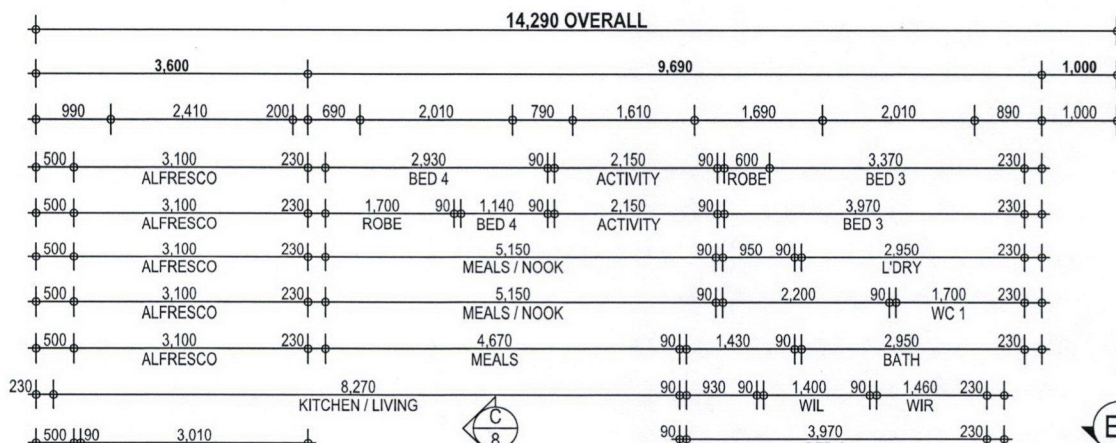


Elec.	<input checked="" type="checkbox"/> U/Ground	Water	<input checked="" type="checkbox"/> Yes	Sewer	<input checked="" type="checkbox"/> Yes
Gas	<input checked="" type="checkbox"/> Yes	Phone	<input checked="" type="checkbox"/> Not loc.	Footpath	<input checked="" type="checkbox"/> Nil
Road	<input checked="" type="checkbox"/> Bitumen	Kerb	<input checked="" type="checkbox"/> Mountable	Drainage	<input checked="" type="checkbox"/> Good



**COTTAGE & ENGINEERING SURVEYS**  
87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email: perth@cottage.com.au Website: www.cottage.com.au  
J/No: 469170 Drawn: C. Weightman

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES, RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



**NOTE:**  
EXTERNAL FACE BRICK SIZE:  
290L x 90W x 162H  
ALL COURSE HEIGHTS SHOWN  
ARE TO STANDARD BRICK COURSING  
EXTERNAL FACE BRICKWORK TO BE  
IN ONE THIRD BOND COURSING  
FIRST COURSE OF BWK ABOVE FOOTING  
& SLAB TO BE 76mm CORED BRICK  
WINDOWS SILLS TO BE 2c  
HIGH FINISHING SILL BRICKS  
UNLESS NOTED OTHERWISE

REVERSE CYCLE AIR CONDITIONING  
SYSTEM. REFER ELECTRICAL  
PLAN FOR OUTLET & UNIT POSITION

**ROOF CARPENTER NOTE**  
BOX OUT CEILING JOISTS OVER  
WORKSHOP CONDUITS (REFER  
SHEET '4' FOR LOCATIONS)

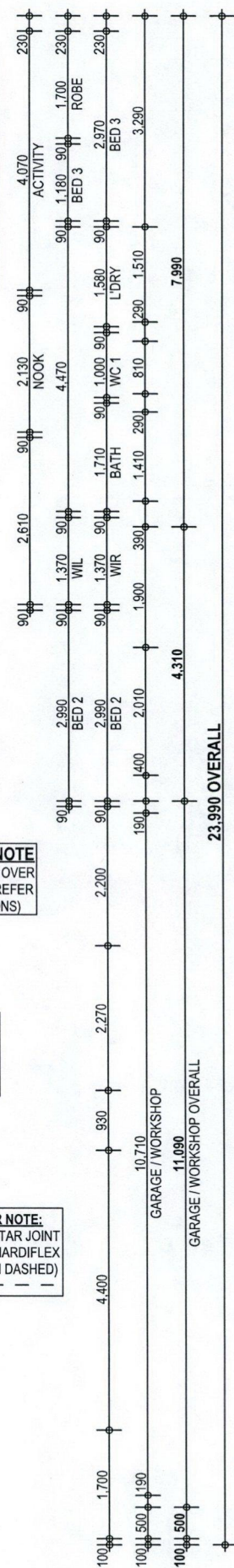
**CONCRETOR NOTE:**  
DROP GARAGE FOOTINGS  
BY 1c TO A MINIMUM OF 1  
METRE FROM THE FRONT  
OF THE GARAGE PIERS  
ON LHS ONLY  
(WHERE APPLICABLE)

- \* REFER TO ENERGY EFFICIENCY SHEETS FOR LIGHT/ VENT REQUIREMENTS
- \* CORNER PLASTER BEADS TO 45° & 90° CORNERS ONLY UNLESS OTHERWISE NOTED ON PLAN
- \* REMOTE CONTROL SECTIONAL DOOR TO GARAGE (REFER TO ADDENDA)
- \* LIFT OFF HINGES TO WC DOORS
- \* REFER TO ADDENDA FOR BENCHTOP MATERIAL & FINISH
- \* DOUBLE TOWEL RAIL TO BATHROOM & ENSUITE (REFER TO ADDENDA)
- \* CABINET MAKER TO CONFIRM VENTING REQUIREMENTS FOR ALL BUILT IN APPLIANCES (REFER TO ADDENDA)

- NO FLUE PIPES TO FRONT ELEVATION ROOF
- DOWNPIPES TO ROOF SHALL BE AT CENTRES TO ROOF PLUMBERS DISCRETION
- REFER TO ADDENDA FOR MAKE & MODEL OF ALL FIXTURES & FITTINGS
- COLD PLUMBING ONLY TO DISHWASHER RECESS
- EXTRA GUTTER OVERFLOW PROVISIONS MAY BE REQUIRED IN ACCORDANCE WITH NCC INSTALLED AT THE PLUMBERS DISCRETION

- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
- ROOF COVER INSTALLED TO MANUFACTURERS SPECIFICATIONS
- TRIPLE GRIP CONNECTORS TO RAFTER-PITCHING BEAMS CONNECTIONS
- COLLAR TIES TO UNDERSIDE OF RIDGE BEAM
- ALL ROOF & CEILING TIMBER TO BE H2 TREATED

- FACE BWK TO INSIDE OF GARAGE & WORKSHOP TO BE 2nd FACE WITH CONCAVE JOINT
- DIMENSION TO BWK ONLY-PLASTER MARGIN NOT ALLOWED FOR
- HOLDING DOWN RODS TO BRICK PIERS WITH BEAM ABOVE
- HOLDING DOWN STRAPS TO PIERS WITHOUT BEAM ABOVE
- HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
- FLASHING REQUIRED TO BWK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & MORE THAN 3c BRICKWORK ABOVE WINDOWS & SLIDING DOORS WITH AN EAVE



230 1,850 90 1,500 90 4,740 90  
SC'LRY WIP LIVING

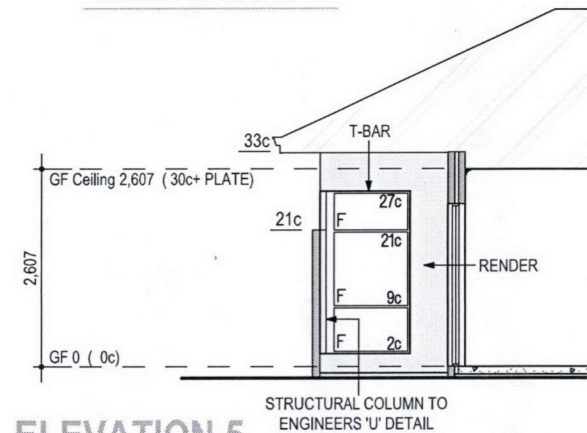
230 3,660 90 2,090 1,540 90  
BED 1 WIR ENTRY

230 1,710 90 1,700 2,250 90 1,540 90 1,210  
ENS WC 2 WIR ENTRY

230 1,710 90 4,030 230 1,410 90  
ENS THEATRE PORCH

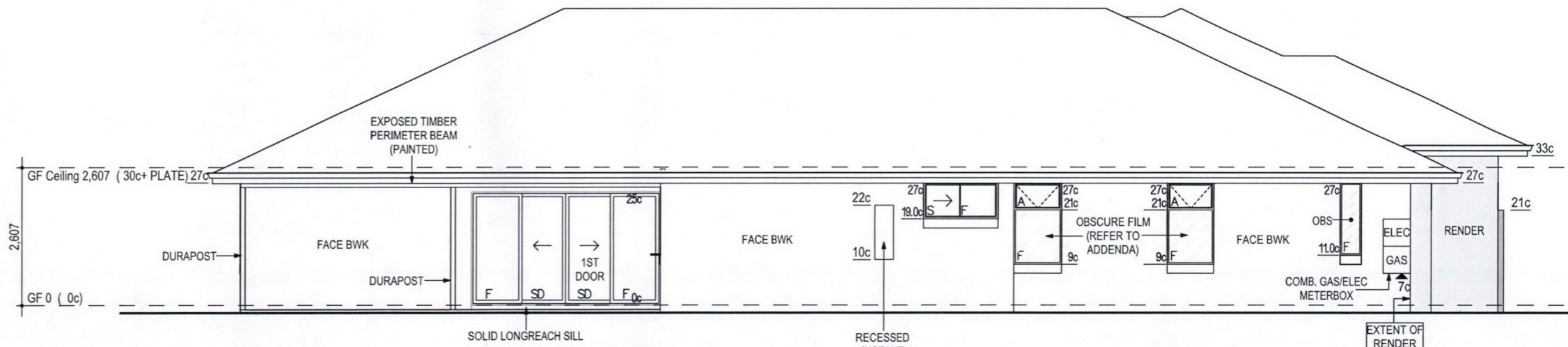
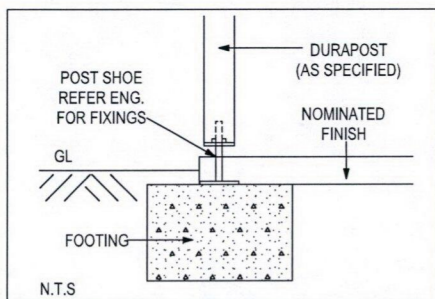
500 390 1,410 680 3,810 75 1,260 75 490  
500 1,800 4,490 1,410  
14,290 OVERALL

- COLORBOND ROOF @ 25° PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

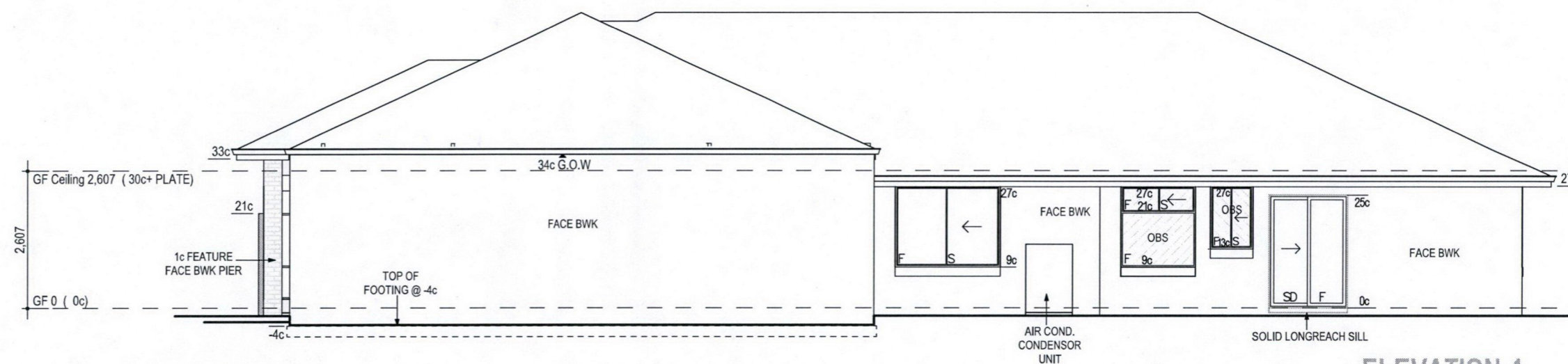


## ELEVATION 5

**CLIENT NOTE:**  
POSTS WILL FINISH SHORT OF NOMINATED FINISH TO  
COMPLY WITH AUSTRALIAN STANDARD AS3660.1



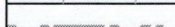
### ELEVATION 3



ELEVATION 4

MAP REF	LATITUDE	LONGITUDE
66 - 75/67	-31°30'16.347"	115°36'20.578"
VARIATIONS		These are the plans referred to in the Building Contract
No.	DATE	
		CLIENT: .....
		CLIENT: .....
		BUILDER: .....
		DATE: .....
		No further structural changes
		© COPYRIGHT

**NOTE:**  
EXTERNAL FACE BRICK SIZE:  
290L x 90W x 162H  
ALL COURSE HEIGHTS SHOWN  
ARE TO STANDARD BRICK COURSING  
EXTERNAL FACE BRICKWORK TO BE  
IN ONE THIRD BOND COURSING  
FIRST COURSE OF BWK ABOVE FOOTING  
& SLAB TO BE 76mm CORED BRICK  
WINDOWS SILLS TO BE 2c  
HIGH FINISHING SILL BRICKS  
UNLESS NOTED OTHERWISE

 <p>ACN 055 245 908 - R.B. - 0857          Level 4, 302 Selby Street,          Osborne Park W.A. 6017          P.O Box 1309          Osborne Park W.A. 6016          PH (08) 5169 0400</p>	<h2>HOUSE AREAS</h2>	
	HOUSE AREA	220.17
	GARAGE	65.58
	ALFRESCO	25.04
	PORCH	2.58
		<b>313.37 m<sup>2</sup></b>
PERIMETER		<b>74.36 m</b>

CLIENT.  
**HUGO / RUMSLEY**

ADDRESS.  
**LOT 470 (#19) SEABASS CHASE  
TWO ROCKS  
CITY OF WANNEROO**

PROJECT No.  
**M01451**

SHEET No.  
**3 of 10**

## 'MONUMENT'

### ELEVATIONS

DRAWN: SA      DATE: MAY 20  
SCALE: 1:100      CHK: MH

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