

Grano / Paving Areas		
	AREA	Perimeter
GARAGE	65.58	34.36
PAVED CROSSOVER	26.43	23.28
ALFRESCO	25.25	22.52
PAVED DRIVEWAY	22.85	20.76
PORCH	2.58	6.54
PAVED PATH	1.90	5.81

LEGEND	
	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

MOMU

ACN 055 245 308 ~ R.B - 8867
Level 4, 302 Selby Street,
Osborne Park W.A. 6017
P.O Box 1309
Osborne Park W.A. 6916
PH (08) 6169 0400

CLIENT: **Hugo / Rumsley** CONTRACT / JOB NO. **M01451**
MAP REF. **66-75/67**
SITE SURVEY **LOT 470** COASTAL NO
(Scaled from StreetSmart Director) Only - Confirm With Site
SSA AREA
Suburb **Two Rocks**
Loc.Auth. **CITY OF WANNEROO**
D.Plan **417043** Volume _____ Folio _____
(not approved see note) Location **Check Title**

**-WIND CLASSIFICATION (N1)
AS PER AS 4055**

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.
DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**NOTE: ALL DOWNPIPES
CONNECTED TO
SOAKWELLS WITH PVC
STORMWATER PIPE BY
BUILDER**

TERMITE TREATMENT TO BE CHEMICAL TREATMENT IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE 2016, PART 3.1.3, PART 2.1.1 & PART 1.0.7 USING THE TERMICO MANAGEMENT PLAN

CLIENT NOTE: REPAIRS / REINSTATEMENT TO DAMAGED KERBS AND / OR FOOTPATHS WHERE NECESSARY IS THE RESPONSIBILITY OF THE OWNER

CLIENT NOTE: BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

CLIENT NOTE: STORMWATER DISPOSAL SHALL BE IN ACCORDANCE WITH THE COUNCIL APPROVED PLANS & CONDITIONS OF APPROVAL AND ANY SPECIFIED STRUCTURAL ENGINEER'S REQUIREMENTS (REFER TO ADDENDA)

CLIENT NOTE: REMOVAL AND RE-INSTATEMENT OF FENCING AS NECESSARY BY LAND OWNER/S TO BUILDERS SCHEDULE IN ACCORDANCE WITH THE BUILDING ACT (2011) OWNER TO LIAISE & GAIN PERMISSION FROM ADJOINING LAND OWNER/S ACCORDINGLY AND GIVE 24 HOURS NOTICE PRIOR TO THE REMOVAL / RE-INSTATEMENT OF FENCING

NOTE: SOME BUILDING MATERIALS WILL BE PLACED IN THE VERGE RESERVE DURING THE COURSE OF CONSTRUCTION

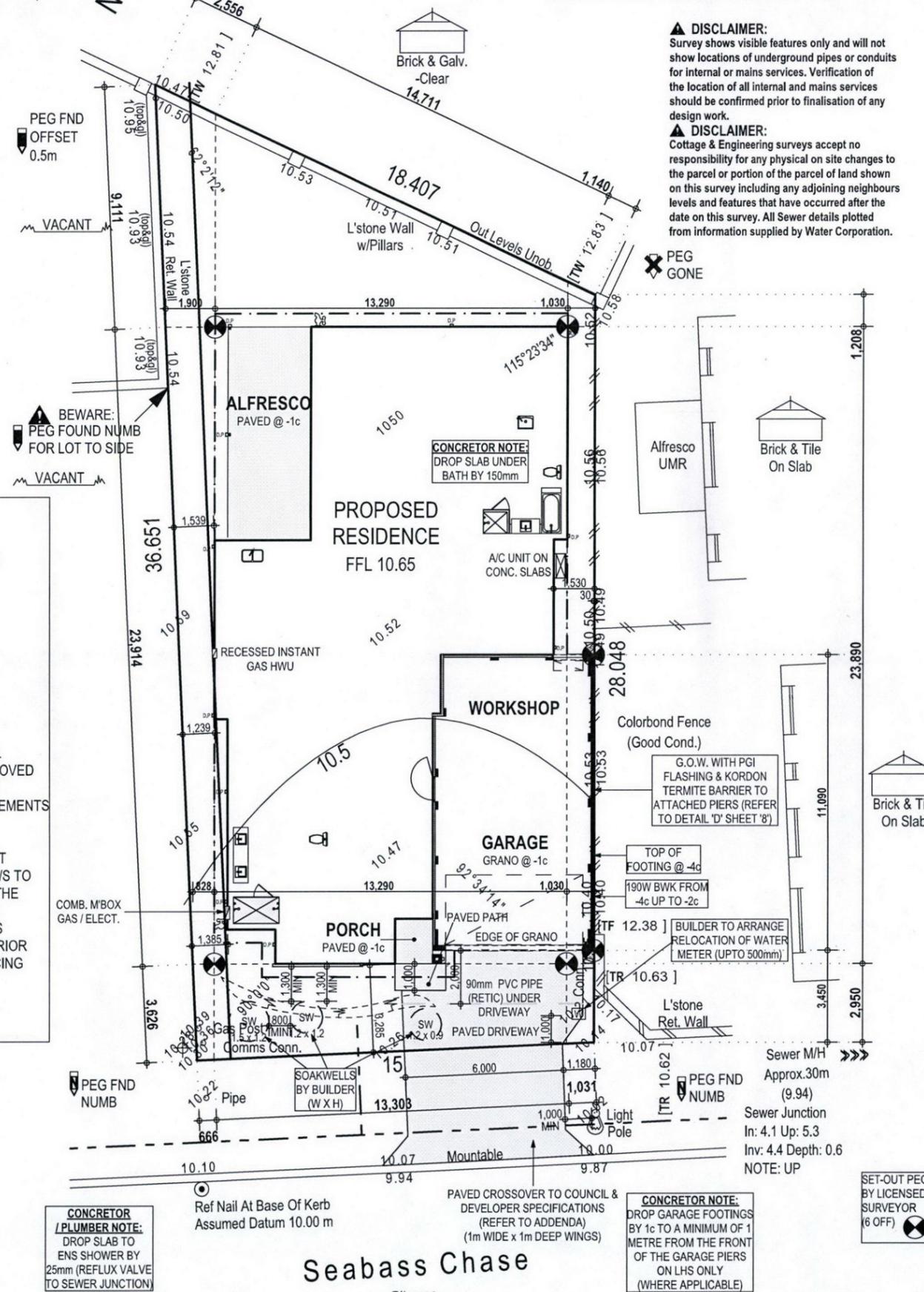
NOTE:
NOTIFICATION (UX0)
REFER TO SEC 165 T.P.&D. ACT
SEE DOCUMENT

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT

SOIL DESCRIPTION

Fill Sand Trace Gravel (L'stone)
Gravel (L'stone) Refusal Light Grass Cover

Scale 1:200
0 2 4 6 8
Scale 1:200 Date: 05 May 20



DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.
DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

CONCRETOR NOTE:
DROP SLAB UNDER BATH BY 150mm

G.O.W. WITH PGI FLASHING & KORDON TERMITE BARRIER TO ATTACHED PIERS (REFER TO DETAIL 'D' SHEET '8')

BUILDER TO ARRANGE RELOCATION OF WATER METER (UPTO 500mm)

CONCRETOR NOTE:
DROP GARAGE FOOTINGS BY 1c TO A MINIMUM OF 1 METRE FROM THE FRONT OF THE GARAGE PIERS ON LHS ONLY (WHERE APPLICABLE)

PROJECT No. **M01451** SHEET No. **1 of 10**
SITE PLAN
DRAWN: SA DATE: MAY 20²⁰ REV # **A**
SCALE: 1:200 CHK: MH

VARIATION	DATE	DRAWN	CHK

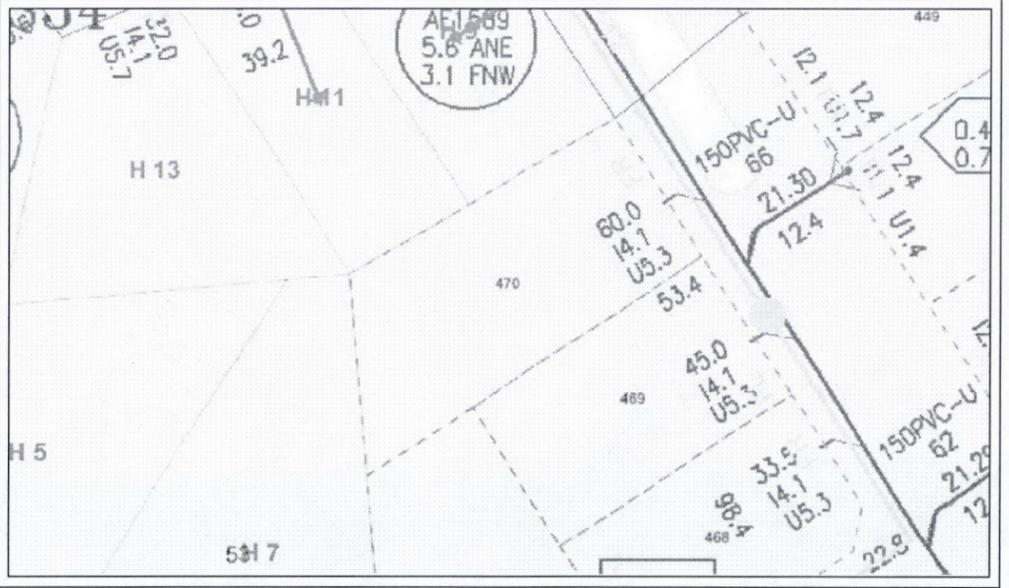
These are the plans referred to in the Building Contract

CLIENT: _____
CLIENT: _____
BUILDER: _____
DATE: _____
No further structural changes

© COPYRIGHT



Elec.	<input checked="" type="checkbox"/> U/Ground	Water	Yes	Sewer	Yes
Gas	Yes	Phone Comms	Not loc.	Footpath	Nil
Road	Bitumen	Kerb	Mountable	Drainage	Good



COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au
J/No: 469170 Drawn: C. Weightman

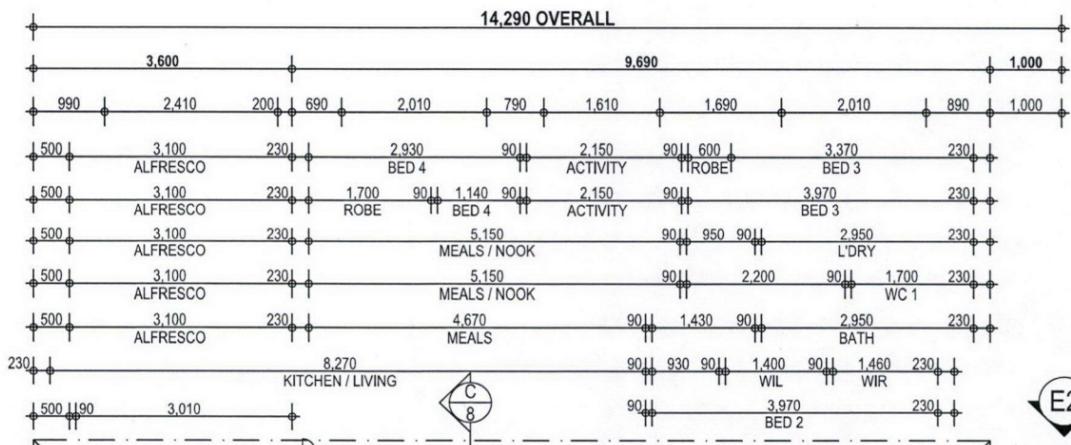
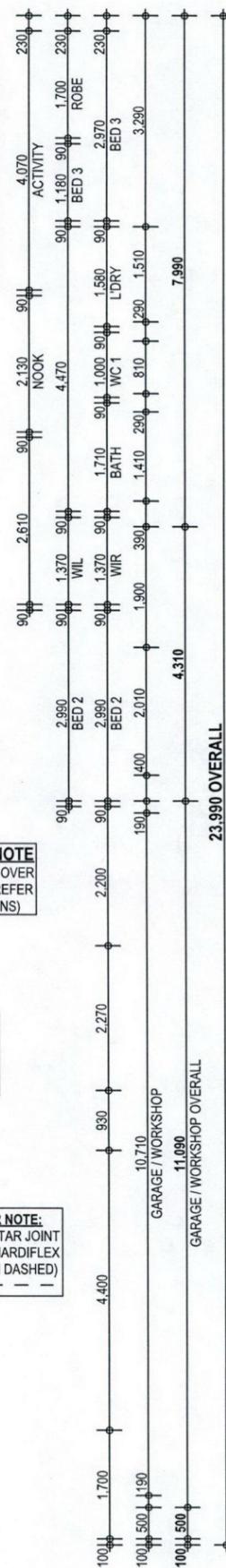
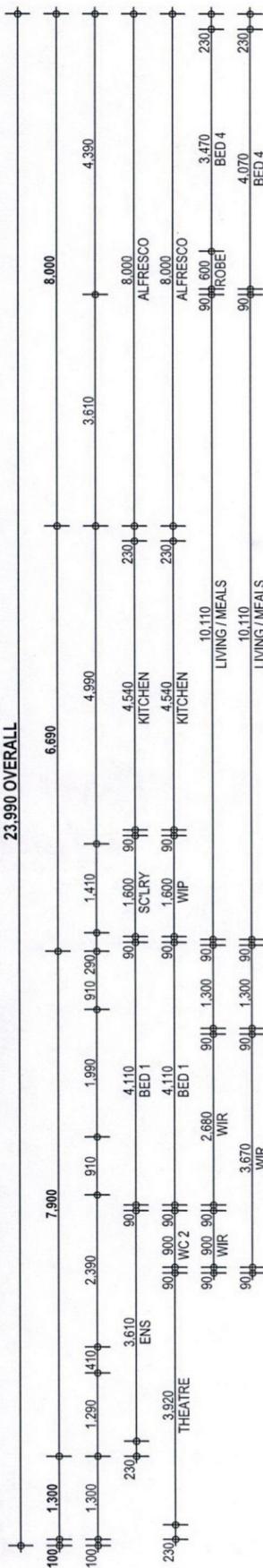
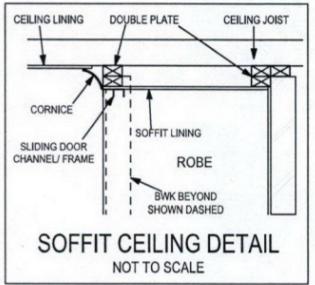
WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES, RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



NOTES:

- COLORBOND ROOF @ 25° PITCH
- NON-COASTAL ZONE
- N1 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c, DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE



23.990 OVERALL

23.990 OVERALL

MAP REF	LATITUDE	LONGITUDE
66 - 75/67	-31°30'16.347"	115°03'20.578"
VARIATIONS	These are the plans referred to in the Building Contract	
No.	DATE	DRAWN
CLIENT:		
CLIENT:		
BUILDER:		
DATE:		
No further structural changes		
© COPYRIGHT		

MOMU ACN 055 245 306 - R.B. 0667 Level 4, 302 Selby Street, Osborne Park W.A. 0917 P.O. Box 1309 Osborne Park W.A. 6916 PH (08) 6169 0499	HOUSE AREAS	
	HOUSE AREA	220.17
	GARAGE	65.58
	ALFRESCO	25.04
	PORCH	2.58
	313.37 m²	
	PERIMETER	74.36m

CLIENT:	HUGO / RUMSLEY
PROJECT No.	M01451
ADDRESS:	LOT 470 (#19) SEABASS CHASE TWO ROCKS CITY OF WANNEROO
SHEET No.	2 of 10

'MONUMENT'	
FLOOR PLAN	
DRAWN: SA	DATE: MAY 20'
SCALE: 1:100	CHK: MH

REV # A

SSB PTY LTD RESERVES THE RIGHT TO VARY DIMENSIONS AND MATERIALS FROM THOSE ON DISPLAY. PLEASE CHECK PLANS, SPECIFICATIONS AND ADDENDA CAREFULLY. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING.
- COPYRIGHT - THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF THE BUILDER AND MUST NOT BE GIVEN, LENT, REPRODUCED OR OTHERWISE DISPOSED OF OR COPIED WITHOUT THE PERMISSION IN WRITING OF THE BUILDER.



GENERAL NOTES:

- REFER TO ENERGY EFFICIENCY SHEETS FOR LIGHT/ VENT REQUIREMENTS
- CORNER PLASTER BEADS TO 45° & 90° CORNERS ONLY UNLESS OTHERWISE NOTED ON PLAN
- REMOTE CONTROL SECTIONAL DOOR TO GARAGE (REFER TO ADDENDA)
- LIFT OFF HINGES TO WC DOORS
- REFER TO ADDENDA FOR BENCHTOP MATERIAL & FINISH
- DOUBLE TOWEL RAIL TO BATHROOM & ENSUITE (REFER TO ADDENDA)
- CABINET MAKER TO CONFIRM VENTING REQUIREMENTS FOR ALL BUILT IN APPLIANCES (REFER TO ADDENDA)

PLUMBING NOTES:

- NO FLUE PIPES TO FRONT ELEVATION ROOF
- DOWNPIPES TO ROOF SHALL BE AT CENTRES TO ROOF PLUMBERS DISCRETION
- REFER TO ADDENDA FOR MAKE & MODEL OF ALL FIXTURES & FITTINGS
- COLD PLUMBING ONLY TO DISHWASHER RECESS
- EXTRA GUTTER OVERFLOW PROVISIONS MAY BE REQUIRED IN ACCORDANCE WITH NCC INSTALLED AT THE PLUMBERS DISCRETION

ROOF NOTES:

- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
- ROOF COVER INSTALLED TO MANUFACTURERS SPECIFICATIONS
- TRIPLE GRIP CONNECTORS TO RAFTER-PITCHING BEAMS CONNECTIONS
- COLLAR TIES TO UNDERSIDE OF RIDGE BEAM
- ALL ROOF & CEILING TIMBER TO BE H2 TREATED

BWK NOTES:

- FACE BWK TO INSIDE OF GARAGE & WORKSHOP TO BE 2nd FACE WITH CONCAVE JOINT
- DIMENSION TO BWK ONLY-PLASTER MARGIN NOT ALLOWED FOR
- HOLDING DOWN RODS TO BRICK PIERS WITH BEAM ABOVE
- HOLDING DOWN STRAPS TO PIERS WITHOUT BEAM ABOVE
- HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
- FLASHING REQUIRED TO BWK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & MORE THAN 3c BRICKWORK ABOVE WINDOWS & SLIDING DOORS WITH AN EAVE

NOTE:

EXTERNAL FACE BRICK SIZE:
290L x 90W x 162H
ALL COURSE HEIGHTS SHOWN ARE TO STANDARD BRICK COURSING
EXTERNAL FACE BRICKWORK TO BE IN ONE THIRD BOND COURSING
FIRST COURSE OF BWK ABOVE FOOTING & SLAB TO BE 76mm CORED BRICK
WINDOWS SILLS TO BE 2c HIGH FINISHING SILL BRICKS UNLESS NOTED OTHERWISE

ROOF CARPENTER NOTE

BOX OUT CEILING JOISTS OVER HOTPLATE

REVERSE CYCLE AIR CONDITIONING SYSTEM.

REFER ELECTRICAL PLAN FOR OUTLET & UNIT POSITION

BRICKLAYER NOTE:

VERTICORE BRICKS THROUGHOUT INTERNALLY

ROOF CARPENTER NOTE

BOX OUT CEILING JOISTS OVER WORKSHOP CONDUITS (REFER SHEET '4' FOR LOCATIONS)

BRICKLAYER NOTE:

RAKE OUT MORTAR JOINT 15mm TO SUIT HARDIFLEX LINING (SHOWN DASHED)

CONCRETOR NOTE:

DROP GARAGE FOOTINGS BY 1c TO A MINIMUM OF 1 METRE FROM THE FRONT OF THE GARAGE PIERS ON LHS ONLY (WHERE APPLICABLE)

BRICKLAYER NOTE:

INTERNAL LEAF OF CAVITY BWK UP TO 36c

CONCRETOR / PLUMBER NOTE:

DROP SLAB TO ENS SHOWER BY 25mm (REFLUX VALVE TO SEWER JUNCTION)

CONCRETOR NOTE:

TOP OF FOOTING @ -4c

190W BWK FROM

-4c UP TO -2c

ROOF PLUMBER NOTE:

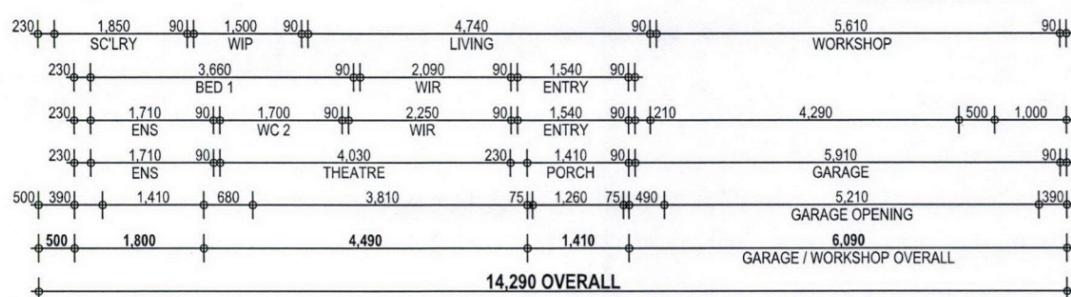
CONNECT DOWNPIPE TO LOWER GUTTER

BRICKLAYER NOTE:

INTERNAL LEAF OF CAVITY BWK UP TO 36c

ROOF PLUMBER NOTE:

CONNECT DOWNPIPE TO LOWER GUTTER



14.290 OVERALL

GARAGE / WORKSHOP OVERALL

6.090

