



NO.	DATE	DRN	CHK	ENERGY	ASSESSOR	TBA	CHK	HOUSE TYPE:	CUSTOM	PROJECT:	RATINGS
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS	PRELIM CHGS	N/A	CC	CC	CUSTOM	LENZO BROS	WIND: 22	
				FULL ORDERED	TBA			METROLIFE	Front & Rear Blocks - All Units	COAST: 22	
				ENGINEERING					Lot 5 (#37) Leach Road,	BAL: 227	
				PROJECT NO.	TBA				WANNEROO	REV: 1	
				DATE	TBA					10519504	
				PLANS READ IN CONJUNCTION						SHEET:	
				W-ENGINEERS DWGS						6 OF 11	



REGISTERED BUILDER N°: 12292 ABN 14 124 679 669  
 854 Assembly Road (off Kewdale Road), Kewdale, WA 6105  
 PO Box 291, Wembley WA 6009  
 Tel: (81) 590 9400 Fax: (81) 590 9411 Email: info@metrostrata.com.au

DATE: 03/03/2020  
 SCALE: 1:1  
 DRN BY: CC  
 CHK BY:

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LEGEND	
	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

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**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**DISCLAIMER:**  
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**NOTE:** Approximate Sewer Only  
 Check Water Corporation For Junction Invert and Depth

**BEWARE:**  
 Deep sewer junction.  
 Check With Water Corp BUILDER and PLUMBER check GRADE.

**NOTE:**  
 Approx. Sewer Clearance Line (This line is NOT an easement)  
 Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.  
 This line is NOT definitive.

**LOT MISCLOSE**

0.003 m

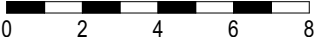
**SOIL DESCRIPTION**

Sand  
 Refer to Survey

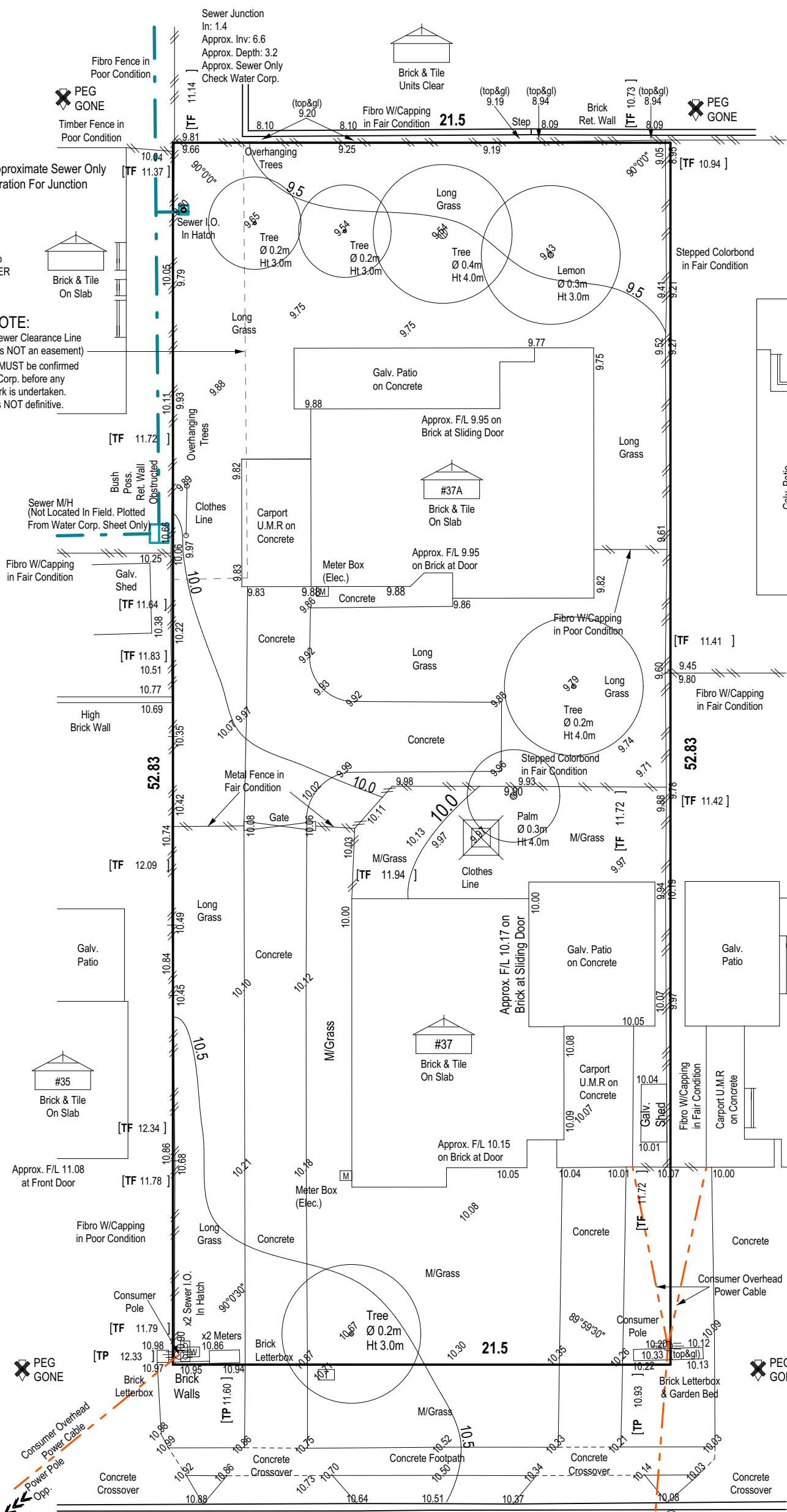


- SHEET 1 - SIDESHEET & SEWER MAP
- SHEET 2 - EXISTING SURVEY
- SHEET 3 - DEMO PLAN
- SHEET 4 - SITE ANALYSIS PLAN
- SHEET 5 - STREETScape
- SHEET 6 - SITE PLAN
- SHEET 7 - 3D VIEWS
- SHEET 8 - SITE ELEVATIONS

Scale 1:200



NO.	DATE	DRN	CHK	ENERGY	HOUSE TYPE:	PROJECT:	RATINGS
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS	ASSESSOR TBA PRELIM CHGS N/A FULL ORDERED TBA	CUSTOM METROLIFE	LENZO BROS Front & Rear Blocks - All Units Lot 5 (#37) Leach Road, WANNEROO	WIND: ?? COAST: ?? BAL: ???
				ENGINEERING	EXIST SURVEY		REV: 1
				PROJECT No. TBA DATE TBA PLANS READ IN CONJUNCTION W/ ENGINEERS DWGS	REGISTERED BUILDER No: 12292 ABN 74 124 679 669 8/524 Abernethy Road (cnr Kewdale Road), Kewdale, W.A. 6105 PO Box 281, Welshpool WA 6986 Tel: (08) 9360 8488 Fax: (08) 9360 8411 Email: info@metrostrata.com.au	THIS DOCUMENT IS COPYRIGHT AND MAY NOT BE REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM THE MANAGEMENT OF METRO STRATA	MS19004
					DATE: 03/03/2020 SCALE: 1:100, 1:200 DRN BY: CC CHK BY:		SHEET: 2 OF 11



**NOTE/BEWARE:** ADVISE TRADES  
 O/Head power lines



⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
⊕	Top Pillar/Post
⊖	Top Wall
⊕	Top Retaining
⊖	Top Fence

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**LOT MISCLOSE**

0.003 m

**SOIL DESCRIPTION**

Sand  
 Refer to Survey



**NOTE:** Approximate Sewer Only  
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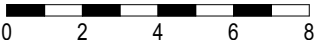
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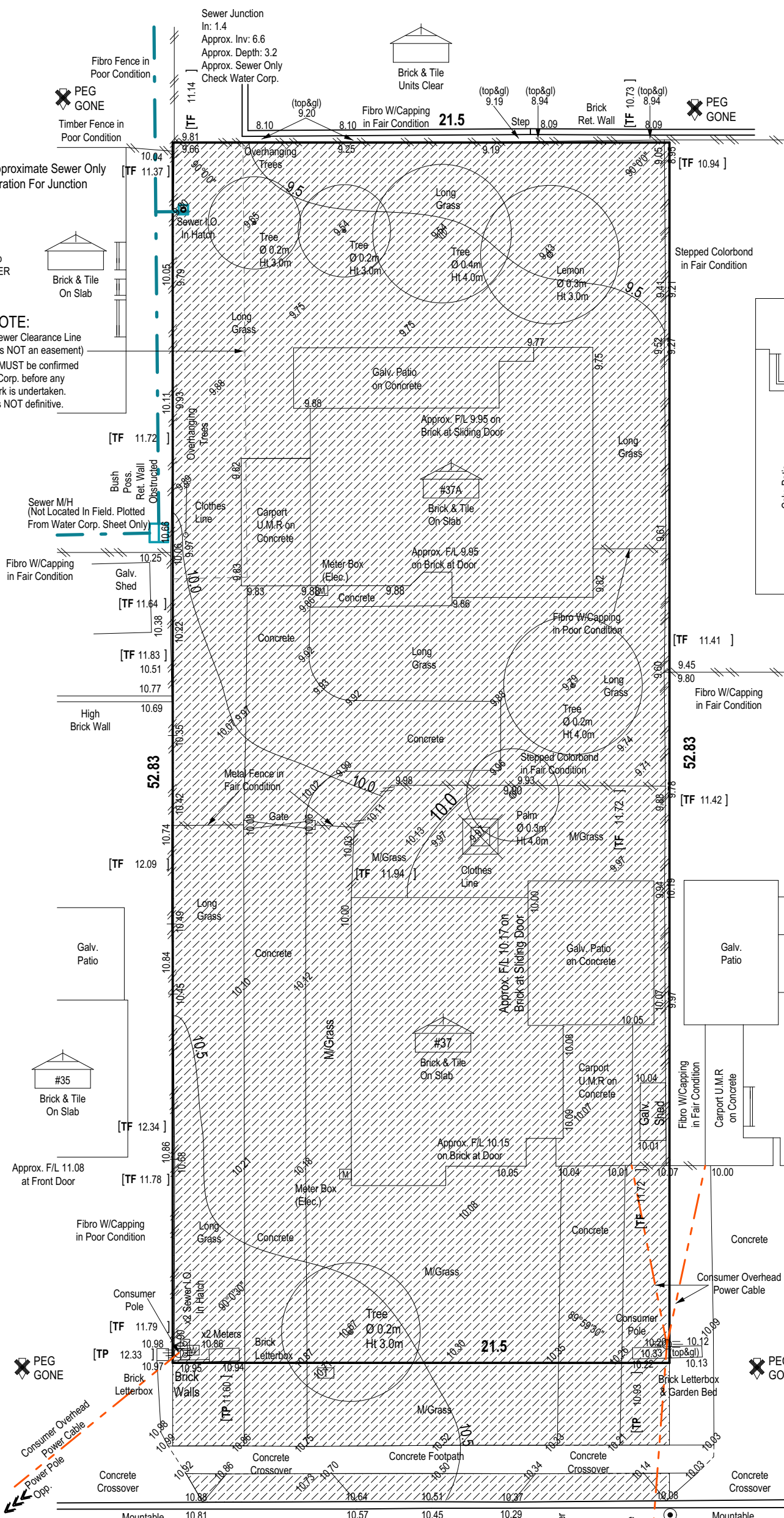
**ALL AREAS SHOWN HATCHED  
 TO BE DEMOLISHED BY OWNER  
 PRIOR TO CONSTRUCTION**

- SHEET 1 - SIDESHEET & SEWER MAP
- SHEET 2 - EXISTING SURVEY
- SHEET 3 - DEMO PLAN
- SHEET 4 - SITE ANALYSIS PLAN
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Scale 1:200



**NOTE/BEWARE:** ADVISE TRADES  
 Of/Head power lines



NO.	DATE	DRN	CHK
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS

ENERGY	
ASSESSOR	TBA
PRELIM CHGS	N/A
FULL ORDERED	TBA

**MetroStrata**  
 DEVELOPMENTS  
 REGISTERED BUILDER N°: 12292 ABN 74 124 679 669  
 8/524 Abernethy Road (cnr Kewdale Road), Kewdale, W.A. 6105  
 PO Box 281, Welshpool WA 6986  
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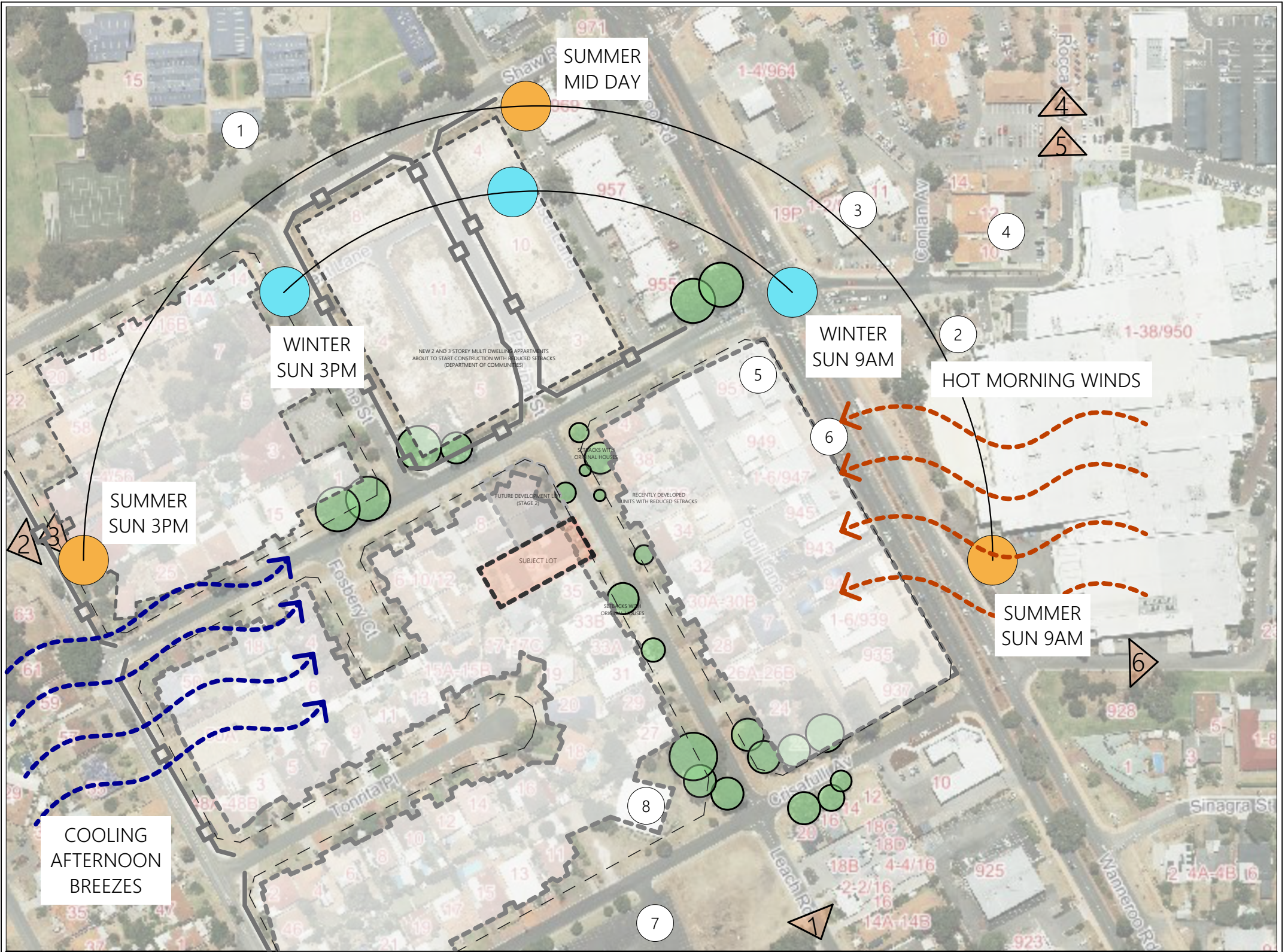
HOUSE TYPE:	CUSTOM METROLIFE
DRAWING:	DEMO PLAN
DATE:	03/03/2020
SCALE:	1:200, 1:100
DRN BY:	CC
CHK BY:	

PROJECT:  
 LENZO BROS  
 Front & Rear Blocks - All Units  
 Lot 5 (#37) Leach Road,  
 WANNEROO

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RATINGS	WIND: ??
	COAST: ??
	BAL: ???
	REV: 1
	MS19004
	SHEET: 3 OF 11





**LEGEND**

- MATURE TREES
- SUBJECT SITE
- PEDESTRIAN NETWORK OF PATHS
- PRIMARY BUILDING SETBACK LINE
- ROAD RESERVE BOUNDARY
- PLACES OF INTEREST
- DESTINATIONS

- ① WANNEROO PRIMARY SCHOOL 250M
- ② WANNEROO CENTRAL SHOPPING CENTRE 250M
- ③ WANNEROO PHARMACY 220M
- ④ WANNEROO POST OFFICE 250M
- ⑤ PUMA PETROL STATION 100M
- ⑥ WANNEROO SPORTS AND SOCIAL CLUB 200M
- ⑦ WANNEROO ROAD/HIGH FREQUENCY BUS ROUTE 150M
- ⑧ ST PETERS ANGLICAN CHURCH 150M

- WANNEROO FOOTBALL CLUB 300M
- LAKE JOONDALUP 700M
- ROTARY PARK/WANNEROO RECREATIONAL CENTRE 670M
- ST ANTHONY SCHOOL 500M
- CITY OF WANNEROO 500M
- WANNEROO COMMUNITY CENTRE 300M



NO.	DATE	DRN	CHK
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS

ENERGY	
ASSESSOR	TBA
PRELIM CHGS	N/A
FULL ORDERED	TBA

**MetroStrata**  
DEVELOPMENTS

REGISTERED BUILDER N°: 12292 ABN 74 124 679 669  
8/524 Abernethy Road (cnr Kewdale Road), Kewdale, W.A. 6105  
PO Box 281, Welshpool WA 6986  
Tel: (08) 9360 8488 Fax: (08) 9360 8411 Email: info@metrostrata.com.au

HOUSE TYPE:	CUSTOM METROLIFE
DRAWING:	SITE ANALYSIS PLAN
DATE:	03/03/2020
SCALE:	1:100
DRN BY:	CC CHK BY:

PROJECT:	LENZO BROS Front & Rear Blocks - All Units Lot 5 (#37) Leach Road, WANNEROO
© THIS DOCUMENT IS COPYRIGHT AND MAY NOT BE REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM THE MANAGEMENT OF METRO STRATA	

RATINGS	WIND: ??
COAST:	??
BAL:	???
REV:	1
MS19004	
SHEET:	4 OF 11



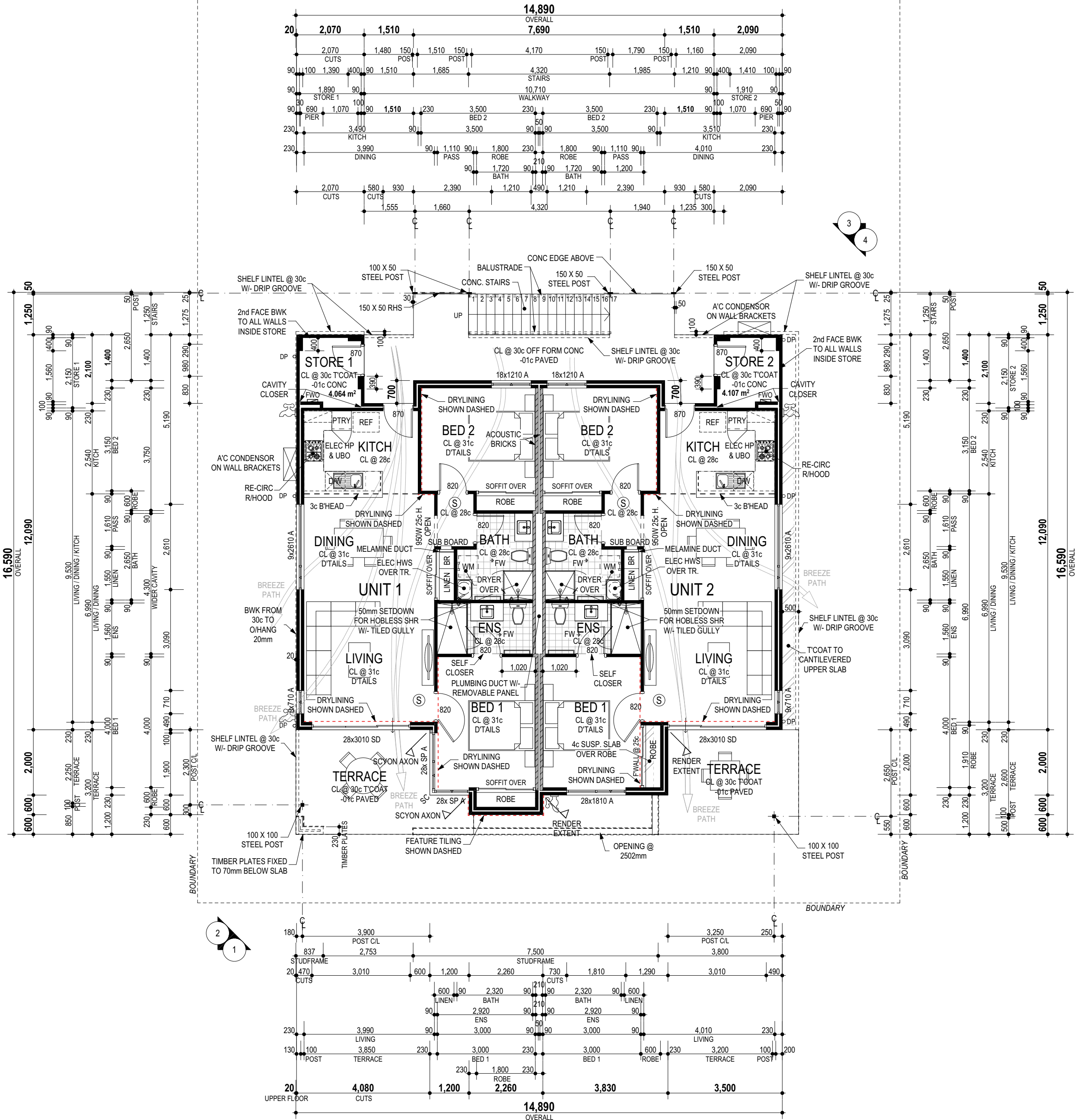




NOTE: PRELIMINARY DRAWINGS ONLY

EXTERNAL WALLS AS INDICATED ON ELEVATIONS AND INCLUDE:  
 290w X 162h x 90 BLOCKS LAID IN THIRD BOND  
 ACRYLIC FINISH RENDER  
 WALL CLADDING

C.L. @ 31c THRU'OUT GROUND FLOOR  
 C.L. @ 31c (65c) THRU'OUT FIRST FLOOR  
 C.L. @ 31c +PL (99c) THRU'OUT SECOND FLOOR  
 ALL UNLESS OTHERWISE NOTED  
 3c (257mm) SUSPENDED SLABS THRU'OUT U.N.O.



UNIT 1	AREA
U1 HOUSE	84.64
U1 STORE	4.62
U1 TERRACE	14.64
U1 WALKW...	10.66
<b>TOTAL</b>	<b>114.56 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>41.66 m</b>

UNIT 2	AREA
U2 HOUSE	84.68
U2 STORE	4.67
U2 TERRACE	11.78
U2 WALKW...	11.04
<b>TOTAL</b>	<b>112.17 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>40.27 m</b>

<p><b>CONCRETOR NOTE</b> TOP OF FOOTINGS AT -03c TO ISOLATED PIERS, POSTS AND FRONT OF GARAGES</p>	<p><b>BRICKLAYER NOTE</b> BRING CABLES THROUGH LEFT-HAND SIDE HOLE OF METERBOX BUILD METERBOX FIRST W/ FLASHING OVER</p>	<p><b>ROOF CARPENTER NOTE</b> PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684. TRIM OUT CEILING JOISTS TO 605 X 565 AT MANHOLE LOCATION ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE TRIM OUT CEILING JOISTS TO 1200 X 600 AT AC RETURN AIR LOCATION IF APPLICABLE</p>	<p><b>FIXING CARPENTER NOTE</b> ALL ROBES TO HAVE 1X SHELF &amp; HANGING RAIL ALL LINENS, BUILT-IN PTRY'S, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS BROOM &amp; CLOAK CUPBDS TO HAVE 1X SHELF ALL TOP SHELVES @ 1700 AFL</p>	<p><b>ROOF PLUMBER NOTE</b> DOWNPIPE LOCATIONS ARE INDICATIVE ONLY &amp; MAY CHANGE AT THE DISCRETION OF THE BUILDER</p>	<p><b>KEY</b>                  (S) SMOKE DETECTORS - INTERCONNECTED FOR ENTIRE BLOCK                  (FV) 230 X 230 FLUME VENT                  (V) 230 X 230 CEILING VENT                  (SC) STRUCTURAL COLUMN. REFER ENG.</p>	<p><b>OTHER NOTES</b>                  PROVIDE R4.0 INSULATION TO CEILING THRU OUT HOUSE AND GARAGE ONLY                  ***** PROVIDE CAVITY WALL INSULATION WHERE INDICATED ON PLAN                  ALL CONSTRUCTION DWGS MUST BE STAMPED "APPROVED FOR CONSTRUCTION" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION</p>
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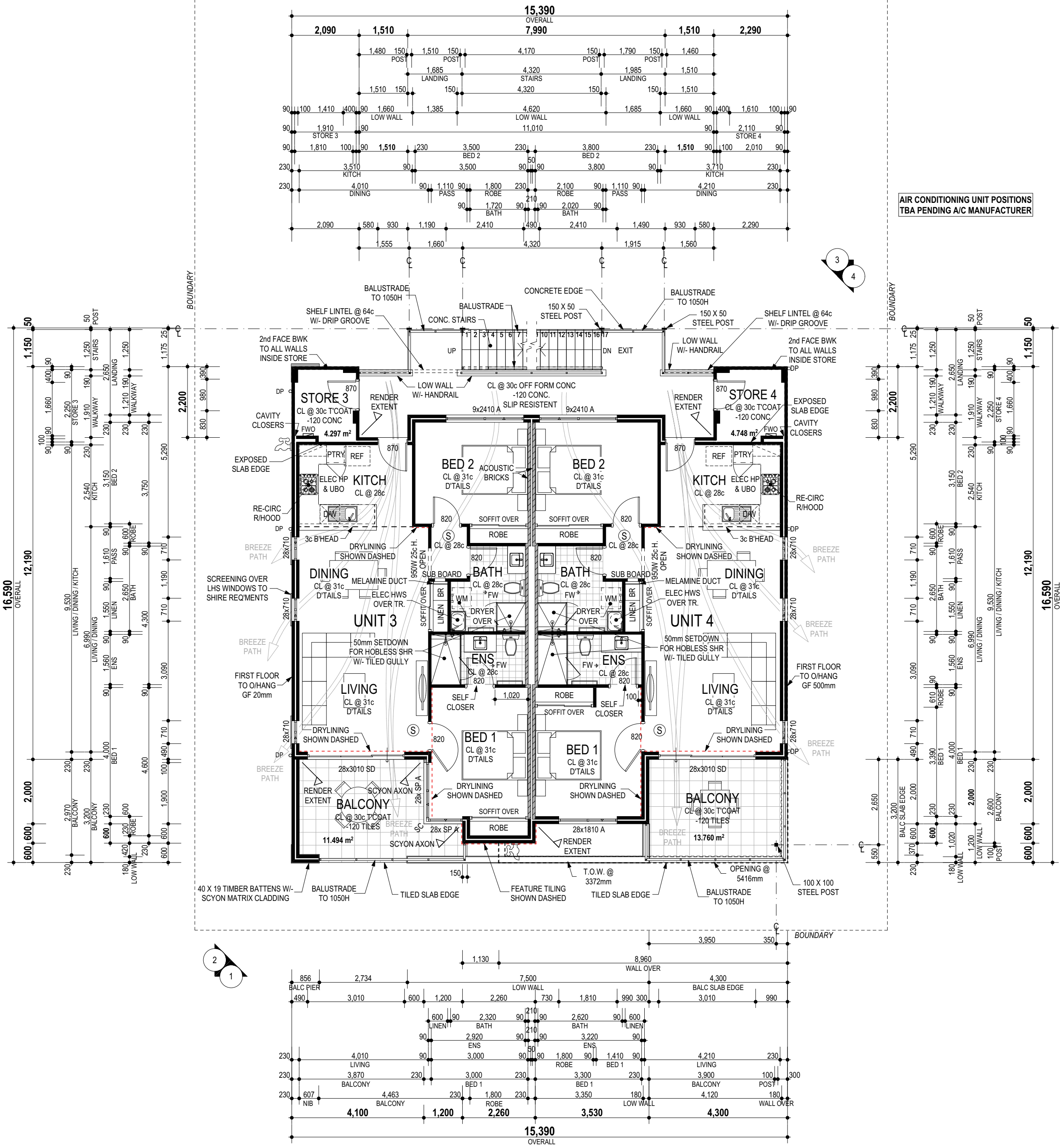
<p>CLIENT NOTE: A PRELIMINARY ASSESSMENT HAS BEEN PERFORMED WITH ENERGY EFFICIENCY COMPLIANCE IN MIND. PRIOR TO BUILDING CONTRACTS BEING FINALISED, AN INDEPENDENT ASSESSMENT MUST BE COMPLETED AND ANY CHANGES REQUIRED WILL BE COSTED AND INCORPORATED INTO YOUR CONTRACT PRICE.</p>	<p><b>TERMITE PROTECTION</b> ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 &amp; WILL COMPLY WITH PART 3.1.3.2 OF THE NCC VOL. 2, 2016.</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DRN</th> <th>CHK</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>17-06-20</td> <td>CC</td> <td>ARBOR / SCREENING AMENDMENTS</td> </tr> </tbody> </table>	NO.	DATE	DRN	CHK	1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS	<table border="1"> <thead> <tr> <th>ENERGY</th> <th>ASSESSOR</th> <th>TBA</th> </tr> </thead> <tbody> <tr> <td>PRELIM CHGS</td> <td>N/A</td> <td></td> </tr> <tr> <td>FULL ORDERED</td> <td>TBA</td> <td></td> </tr> </tbody> </table>	ENERGY	ASSESSOR	TBA	PRELIM CHGS	N/A		FULL ORDERED	TBA		<p><b>MetroStrata DEVELOPMENTS</b>                  REGISTERED BUILDER N°: 12292 ABN 74 124 679 669                  8/524 Abernethy Road (off Kewdale Road), Kewdale, WA 6105                  PO Box 281, Westpool WA 6986                  Tel: (08) 9380 8488 Fax: (08) 9380 8411 Email: info@metrostrata.com.au</p>	<p>HOUSE TYPE: CUSTOM METROLIFE                  PROJECT: LENZO BROS Front Block - Unit 1,2,3,4,5,6 Lot 5 (#37) Leach Road, WANNEROO</p>	<p>RATINGS                  WIND: 22                  COAST: 22                  BAL: 222                  REV: 1                  MS19004                  SHEET: 8 OF 11</p>
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EXTERNAL WALLS AS INDICATED ON ELEVATIONS AND INCLUDE:  
 290w X 162h x 90 BLOCKS LAID IN THIRD BOND  
 ACRYLIC FINISH RENDER  
 WALL CLADDING

C.L. @ 31c THRU'OUT GROUND FLOOR  
 C.L. @ 31c (65c) THRU'OUT FIRST FLOOR  
 C.L. @ 31c +PL (99c) THRU'OUT SECOND FLOOR  
 ALL UNLESS OTHERWISE NOTED  
 3c (257mm) SUSPENDED SLABS THRU'OUT U.N.O.



UNIT 3	AREA
U3 HOUSE	84.83
U3 STORE	4.88
U3 BALCONY	14.58
U3 WALKW...	10.66
<b>TOTAL</b>	<b>114.95 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>41.70 m</b>

UNIT 4	AREA
U4 HOUSE	89.25
U4 STORE	5.35
U4 BALCONY	13.98
U4 WALKW...	11.46
<b>TOTAL</b>	<b>120.04 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>41.27 m</b>

<p><b>CONCRETOR NOTE</b>                  TOP OF FOOTINGS AT -03c TO ISOLATED PIERS, POSTS AND FRONT OF GARAGES</p>	<p><b>BRICKLAYER NOTE</b>                  BRING CABLES THROUGH LEFT-HAND SIDE HOLE OF METERBOX                  BUILD METERBOX FIRST W/ FLASHING OVER</p>	<p><b>ROOF CARPENTER NOTE</b>                  PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684.                  TRIM OUT CEILING JOISTS TO 605 X 565 AT MANHOLE LOCATION                  ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE                  TRIM OUT CEILING JOISTS TO 1200 X 600 AT AC RETURN AIR LOCATION IF APPLICABLE</p>	<p><b>FIXING CARPENTER NOTE</b>                  ALL ROBES TO HAVE 1X SHELF &amp; HANGING RAIL                  ALL LINENS, BUILT-IN PTRY'S, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS                  BROOM &amp; CLOAK CUPBDS TO HAVE 1X SHELF                  ALL TOP SHELVES @ 1700 AFL</p>	<p><b>ROOF PLUMBER NOTE</b>                  DOWNPIPE LOCATIONS ARE INDICATIVE ONLY &amp; MAY CHANGE AT THE DISCRETION OF THE BUILDER</p>	<p><b>KEY</b>                  (S) SMOKE DETECTORS - INTERCONNECTED FOR ENTIRE BLOCK                  (FV) 230 X 230 FLUME VENT                  (V) 230 X 230 CEILING VENT                  (SC) STRUCTURAL COLUMN. REFER ENG.</p> <p>FLOOR COVERINGS: REFER TO ADDENDA</p>	<p><b>OTHER NOTES</b>                  PROVIDE R4.0 INSULATION TO CEILING THRU OUT HOUSE AND GARAGE ONLY                  ***** PROVIDE CAVITY WALL INSULATION WHERE INDICATED ON PLAN                  ALL CONSTRUCTION DWGS MUST BE STAMPED "APPROVED FOR CONSTRUCTION" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION</p>
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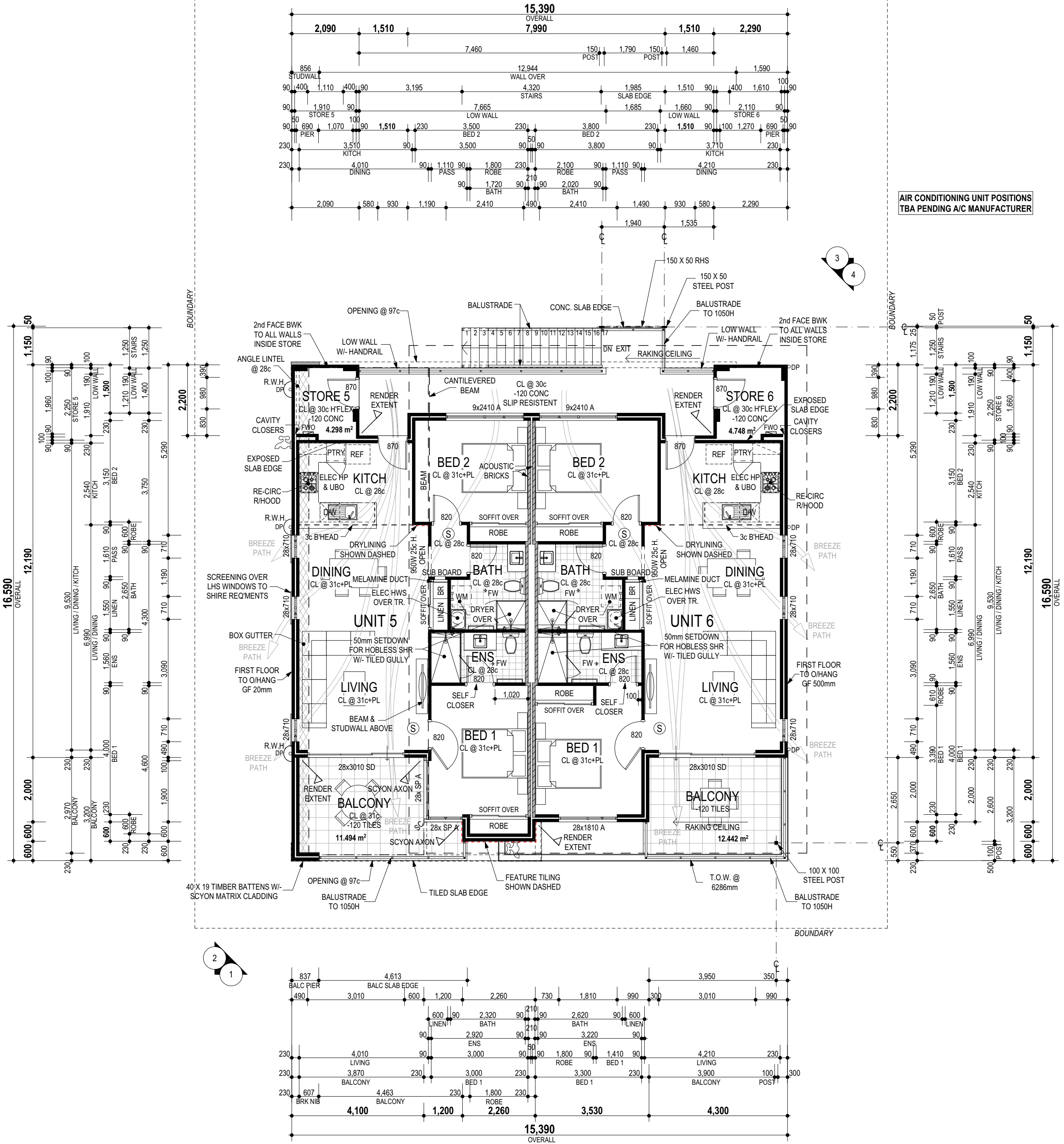
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 C.L. @ 31c +PL (99c) THRU'OUT SECOND FLOOR  
 ALL UNLESS OTHERWISE NOTED  
 3c (257mm) SUSPENDED SLABS THRU'OUT U.N.O.



AIR CONDITIONING UNIT POSITIONS  
 TBA PENDING A/C MANUFACTURER

UNIT 5	AREA
U5 HOUSE	84.83
U5 STORE	4.88
U5 BALCONY	14.58
U5 WALKW...	8.55
<b>TOTAL</b>	<b>112.84 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>41.70 m</b>

UNIT 6	AREA
U6 HOUSE	89.25
U6 STORE	5.35
U6 BALCONY	13.98
U6 WALKW...	11.46
<b>TOTAL</b>	<b>120.04 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>41.27 m</b>

<p><b>CONCRETOR NOTE</b>                  TOP OF FOOTINGS AT -03c TO ISOLATED PIERS, POSTS AND FRONT OF GARAGES</p>	<p><b>BRICKLAYER NOTE</b>                  BRING CABLES THROUGH LEFT-HAND SIDE HOLE OF METERBOX                  BUILD METERBOX FIRST W/ FLASHING OVER</p>	<p><b>ROOF CARPENTER NOTE</b>                  PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684.                  TRIM OUT CEILING JOISTS TO 605 X 565 AT MANHOLE LOCATION                  ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE                  TRIM OUT CEILING JOISTS TO 1200 X 600 AT AC RETURN AIR LOCATION IF APPLICABLE</p>	<p><b>FIXING CARPENTER NOTE</b>                  ALL ROBES TO HAVE 1X SHELF &amp; HANGING RAIL                  ALL LINENS, BUILT-IN PTRY'S, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS                  BROOM &amp; CLOAK CUPBDS TO HAVE 1X SHELF                  ALL TOP SHELVES @ 1700 AFL</p>	<p><b>ROOF PLUMBER NOTE</b>                  DOWNPIPE LOCATIONS ARE INDICATIVE ONLY &amp; MAY CHANGE AT THE DISCRETION OF THE BUILDER</p>	<p><b>KEY</b>                  (S) SMOKE DETECTORS - INTERCONNECTED FOR ENTIRE BLOCK                  (FV) 230 X 230 FLUME VENT                  (V) 230 X 230 CEILING VENT                  (SC) STRUCTURAL COLUMN. REFER ENG.</p> <p>FLOOR COVERINGS: REFER TO ADDENDA</p>	<p><b>OTHER NOTES</b>                  PROVIDE R4.0 INSULATION TO CEILING THRU OUT HOUSE AND GARAGE ONLY                  ***** PROVIDE CAVITY WALL INSULATION WHERE INDICATED ON PLAN                  ALL CONSTRUCTION DWGS MUST BE STAMPED "APPROVED FOR CONSTRUCTION" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION</p>
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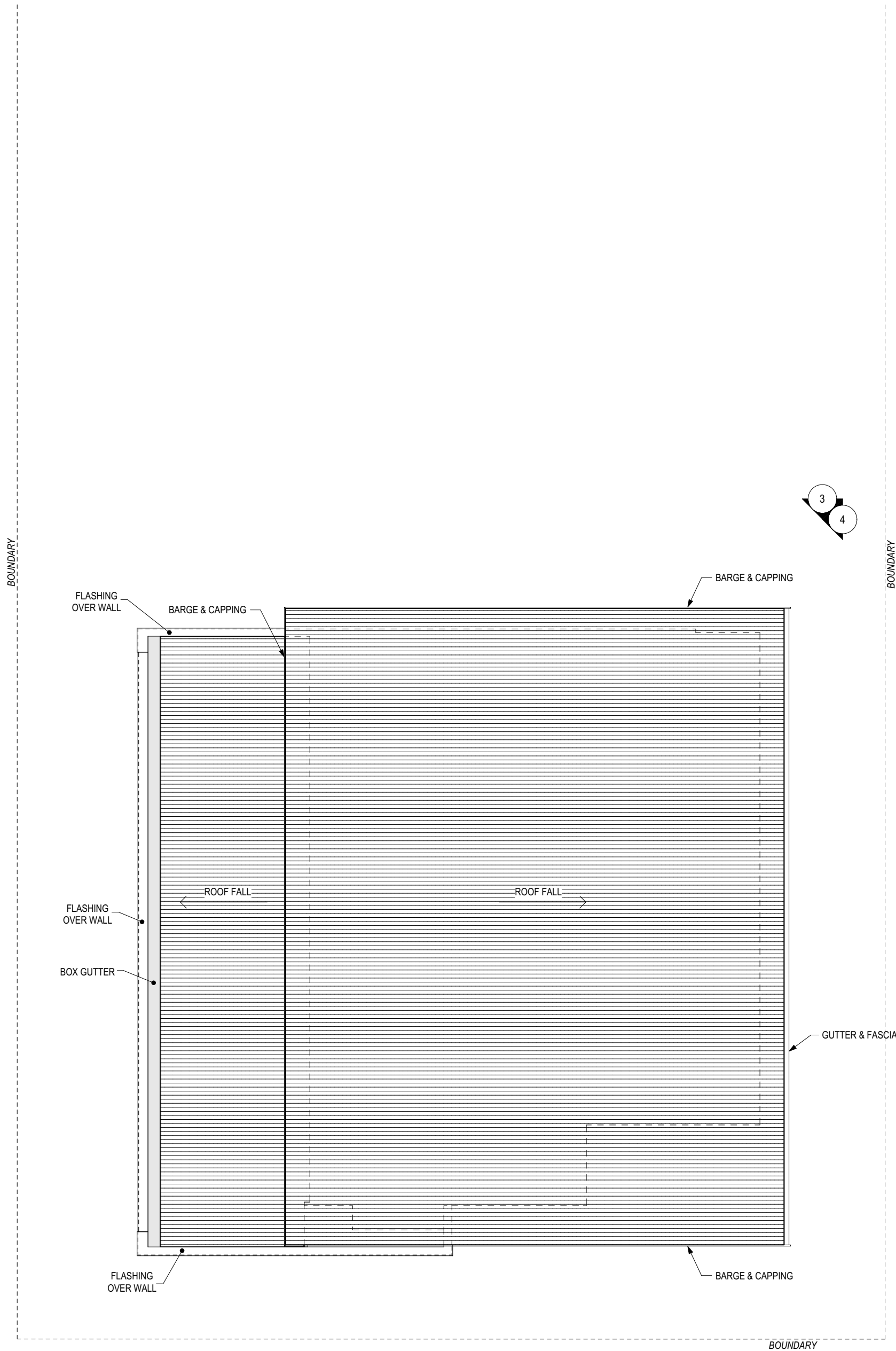
<p>CLIENT NOTE: A PRELIMINARY ASSESSMENT HAS BEEN PERFORMED WITH ENERGY EFFICIENCY COMPLIANCE IN MIND. PRIOR TO BUILDING CONTRACTS BEING FINALISED, AN INDEPENDENT ASSESSMENT MUST BE COMPLETED AND ANY CHANGES REQUIRED WILL BE COSTED AND INCORPORATED INTO YOUR CONTRACT PRICE.</p>	<p><b>TERMITE PROTECTION</b>                  ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 &amp; WILL COMPLY WITH PART 3.1.3.2 OF THE NCC VOL. 2, 2016.</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DRN</th> <th>CHK</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>17-06-20</td> <td>CC</td> <td>ARBOR / SCREENING AMENDMENTS</td> </tr> </tbody> </table>	NO.	DATE	DRN	CHK	1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS	<table border="1"> <thead> <tr> <th>ENERGY</th> <th>ASSESSOR</th> <th>TBA</th> </tr> </thead> <tbody> <tr> <td>PRELIM CHGS</td> <td>N/A</td> <td></td> </tr> <tr> <td>FULL ORDERED</td> <td>TBA</td> <td></td> </tr> </tbody> </table>	ENERGY	ASSESSOR	TBA	PRELIM CHGS	N/A		FULL ORDERED	TBA		<p><b>MetroStrata DEVELOPMENTS</b>                  REGISTERED BUILDER N°: 12292 ABN 74 124 679 669                  8/24 Abernethy Road (off Kewdale Road), Kewdale, W.A. 6105                  PO Box 281, Westpool WA 6986                  Tel: (08) 9360 8488 Fax: (08) 9360 8411 Email: info@metrostrata.com.au</p>	<p>HOUSE TYPE: CUSTOM METROLIFE                  PROJECT: LENZO BROS Front Block - Unit 1,2,3,4,5,6 Lot 5 (#37) Leach Road, WANNEROO</p>	<p>RATINGS                  WIND: 22                  COAST: 22                  BAL: 222                  REV: 1                  MS19004                  SHEET: 10 OF 11</p>
NO.	DATE	DRN	CHK																				
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS																				
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NOTE: PRELIMINARY DRAWINGS ONLY

EXTERNAL WALLS AS INDICATED ON ELEVATIONS AND INCLUDE:  
 290w X 162h x 90 BLOCKS LAID IN THIRD BOND  
 ACRYLIC FINISH RENDER  
 WALL CLADDING

C.L. @ 31c THRU'OUT GROUND FLOOR  
 C.L. @ 31c (65c) THRU'OUT FIRST FLOOR  
 C.L. @ 31c +PL (99c) THRU'OUT SECOND FLOOR  
 ALL UNLESS OTHERWISE NOTED  
 3c (257mm) SUSPENDED SLABS THRU'OUT U.N.O.



**CONCRETOR NOTE**  
 TOP OF FOOTINGS AT -03c TO ISOLATED PIERS, POSTS AND FRONT OF GARAGES

**BRICKLAYER NOTE**  
 BRING CABLES THROUGH LEFT-HAND SIDE HOLE OF METERBOX  
 BUILD METERBOX FIRST W/ FLASHING OVER

**ROOF CARPENTER NOTE**  
 PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684.  
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 ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE  
 TRIM OUT CEILING JOISTS TO 1200 X 600 AT AC RETURN AIR LOCATION IF APPLICABLE

**FIXING CARPENTER NOTE**  
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 ALL LINENS, BUILT-IN P'TRYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS  
 BROOM & CLOAK CUPBDS TO HAVE 1X SHELF  
 ALL TOP SHELVES @ 1700 AFL

**ROOF PLUMBER NOTE**  
 DOWNPIPE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE BUILDER

**KEY**  
 (S) SMOKE DETECTORS - INTERCONNECTED FOR ENTIRE BLOCK  
 (FV) 230 X 230 FLUME VENT  
 (CV) 230 X 230 CEILING VENT  
 SC STRUCTURAL COLUMN. REFER ENG.  
 FLOOR COVERINGS: REFER TO ADDENDA

**OTHER NOTES**  
 PROVIDE R4.0 INSULATION TO CEILING THRU' OUT HOUSE AND GARAGE ONLY  
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NO.	DATE	DRN	CHK
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS

ENERGY	
ASSESSOR	TBA
PRELIM CHGS	N/A
FULL ORDERED	TBA
ENGINEERING	
PROJECT No.	TBA
DATE	TBA
PLANS READ IN CONJUNCTION WITH ENGINEERS DWGS	

**MetroStrata DEVELOPMENTS**  
 REGISTERED BUILDER No: 12292 ABN 74 124 679 669  
 8524 Abernethy Road (off Kewdale Road), Kewdale, W.A. 6105  
 PO Box 261, Westpool WA 6986  
 Tel: (08) 9360 8488 Fax: (08) 9360 8411 Email: info@metrostrata.com.au

HOUSE TYPE:	CUSTOM METROLIFE
DRAWING:	ROOF PLAN
DATE:	03/03/2020
SCALE:	10, 1:1
DRN BY:	CC
CHK BY:	

PROJECT: LENZO BROS  
 Front Block - Unit 1,2,3,4,5,6  
 Lot 5 (#37) Leach Road, WANNERERO  
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RATINGS	WIND: 22
	COAST: 22
	BAL: 222
	REV: 1
	MS19004
	SHEET: 11 OF 11

CLIENT NOTE: A PRELIMINARY ASSESSMENT HAS BEEN PERFORMED WITH ENERGY EFFICIENCY COMPLIANCE IN MIND. PRIOR TO BUILDING CONTRACTS BEING FINALISED, AN INDEPENDENT ASSESSMENT MUST BE COMPLETED AND ANY CHANGES REQUIRED WILL BE COSTED AND INCORPORATED INTO YOUR CONTRACT PRICE.

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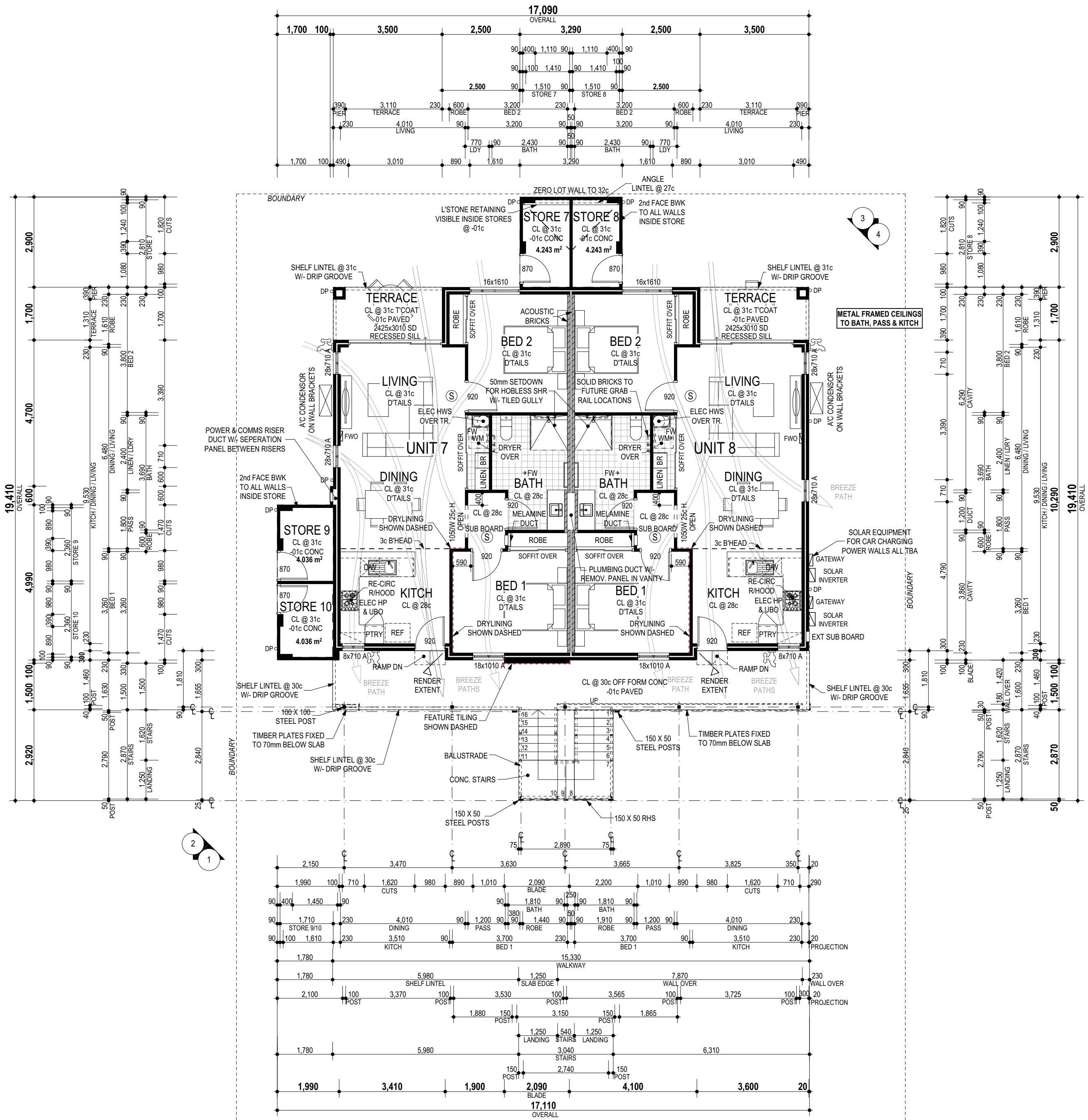


C.L. @ 31c THRU/OUT  
GROUND FLOOR  
C.L. @ 31c+PL (65c)  
THRU/OUT FIRST FLOOR  
ALL UNLESS OTHERWISE NOTED

3c (257mm) SUSPENDED  
SLABS THRU/OUT U.N.O.

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EXTERNAL WALLS AS  
INDICATED ON ELEVATIONS  
AND INCLUDE:  
290w X 162h x 90 BLOCKS  
LAID IN THIRD BOND  
ACRYLIC FINISH RENDER  
WALL CLADDING



UNIT 7	AREA
U7 HOUSE	84.91
U7 STORE	4.77
U7 TERRACE	5.95
U7 V'DAH	13.07
<b>TOTAL</b>	<b>108.70 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>39.67 m</b>

UNIT 8	AREA
U8 HOUSE	84.63
U8 STORE	4.49
U8 TERRACE	5.95
U8 V'DAH	13.35
<b>TOTAL</b>	<b>108.42 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>39.27 m</b>

CONCRETOR NOTE	BRICKLAYER NOTE	ROOF CARPENTER NOTE	FIXING CARPENTER NOTE	ROOF PLUMBER NOTE	KEY	OTHER NOTES
TOP OF FOOTINGS AT -03c TO ISOLATED PIERS, POSTS AND FRONT OF GARAGES	BRING CABLES THROUGH LEFT-HAND SIDE HOLE OF METERBOX BUILD METERBOX FIRST W/ FLASHING OVER	PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684. TRIM OUT CEILING JOISTS TO 605 X 565 AT MANHOLE LOCATION ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE TRIM OUT CEILING JOISTS TO 1200 X 600 AT A/C RETURN AIR LOCATION IF APPLICABLE	ALL ROBES TO HAVE 1X SHELF & HANGING RAIL ALL LINENS, BUILT-IN P'TRYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS BROOM & CLOAK CUPBDS TO HAVE 1X SHELF ALL TOP SHELVES @ 1700 AFL	DOWNPIPE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE BUILDER.	(S) SMOKE DETECTORS - INTERCONNECTED FOR ENTIRE BLOCK (FV) 230 X 230 FLUME VENT (V) 230 X 230 CEILING VENT SC STRUCTURAL COLUMN. REFER ENG.	PROVIDE R4.0 INSULATION TO CEILING THRU OUT HOUSE AND GARAGE ONLY ***** PROVIDE CAVITY WALL INSULATION WHERE INDICATED ON PLAN ALL CONSTRUCTION DWGS MUST BE STAMPED "APPROVED FOR CONSTRUCTION" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION

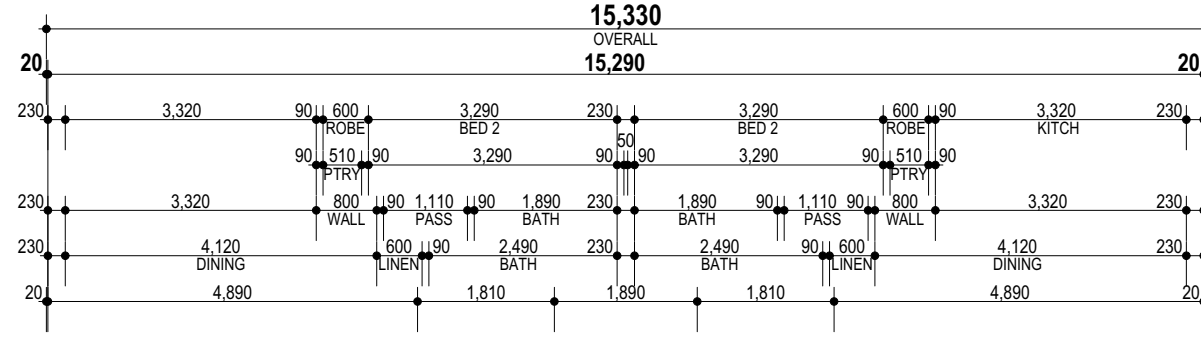
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		NO.	DATE	DRN	CHK																		
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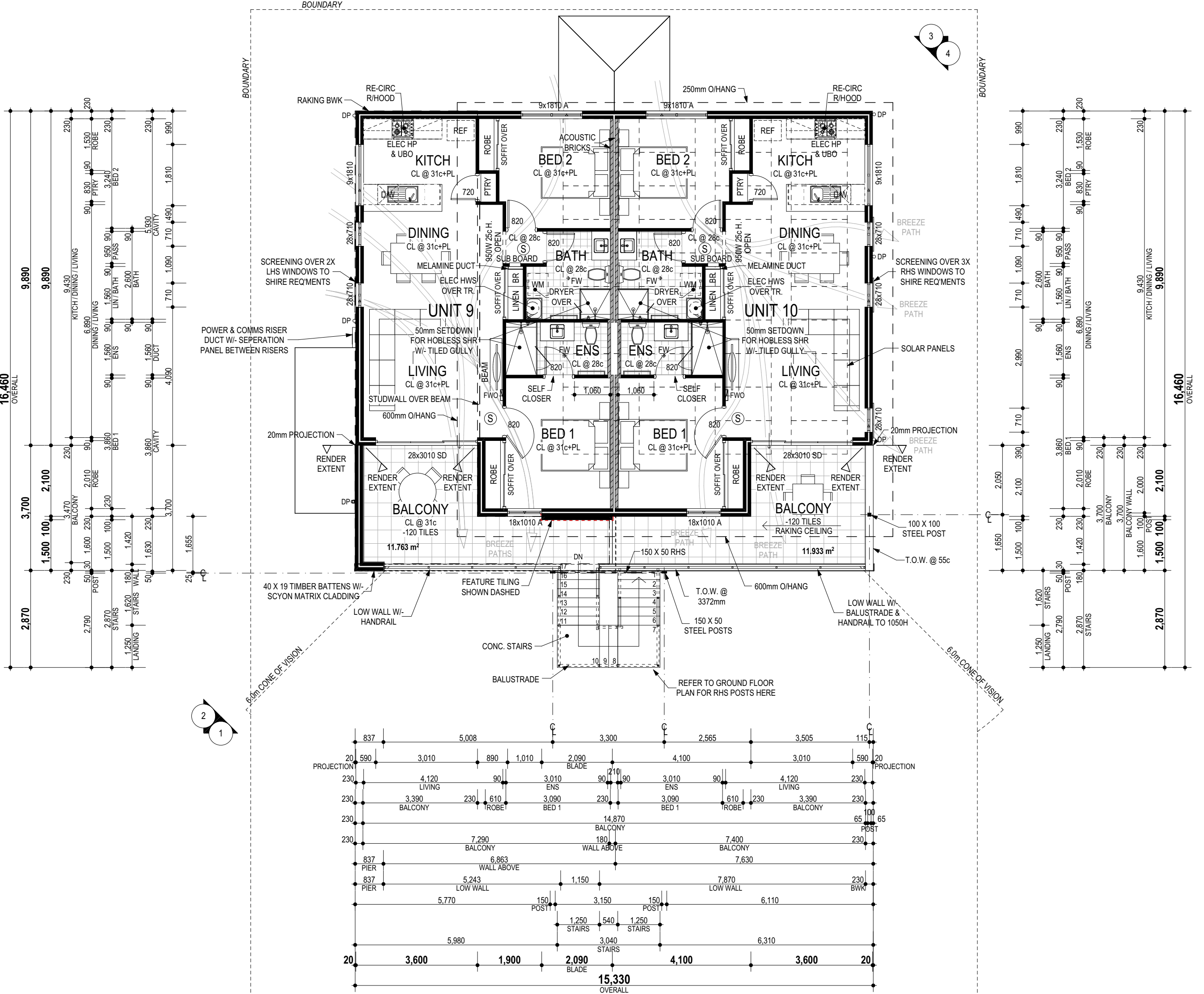
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AND INCLUDE:  
290w X 162h x 90 BLOCKS  
LAID IN THIRD BOND  
ACRYLIC FINISH RENDER  
WALL CLADDING



AIR CONDITIONING UNIT POSITIONS  
TBA PENDING A/C MANUFACTURER



UNIT 9	AREA
U9 HOUSE	84.31
U9 BALCONY	19.57
<b>TOTAL</b>	<b>103.88 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>39.47 m</b>

UNIT 10	AREA
U10 HOUSE	84.10
U10 BALCO...	19.95
<b>TOTAL</b>	<b>104.05 m<sup>2</sup></b>
<b>PERIMETER</b>	<b>39.27 m</b>

CONCRETOR NOTE	BRICKLAYER NOTE	ROOF CARPENTER NOTE	FIXING CARPENTER NOTE	ROOF PLUMBER NOTE	KEY	OTHER NOTES
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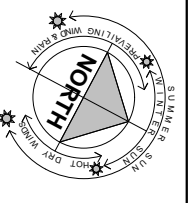
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NO.	DATE	DRN	CHK	ENERGY
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS	ASSESSOR TBA PRELIM CHGS N/A FULL ORDERED TBA
				ENGINEERING PROJECT No. TBA DATE TBA PLANS READ IN CONJUNCTION W/ ENGINEERS DWGS

**MetroStrata**  
DEVELOPMENTS  
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8524 Abernethy Road (off Kewdale Road), Kewdale, W.A. 6105  
PO Box 281, Westpool WA 6986  
Tel: (08) 9360 8488 Fax: (08) 9360 8411 Email: info@metrostrata.com.au

HOUSE TYPE:	PROJECT:	RATINGS
CUSTOM METROLIFE	LENZO BROS Rear Block - Unit 7,8,9,10 Lot 5 (#37) Leach Road, WANNEROO	WIND: 22 COAST: 22 BAL: 222 REV: 1 MS19004
DRAWING: FIRST FLOOR PLAN	DATE: 03/03/2020 SCALE: 1:100 DRN BY: CC	SHEET: 2 OF 3



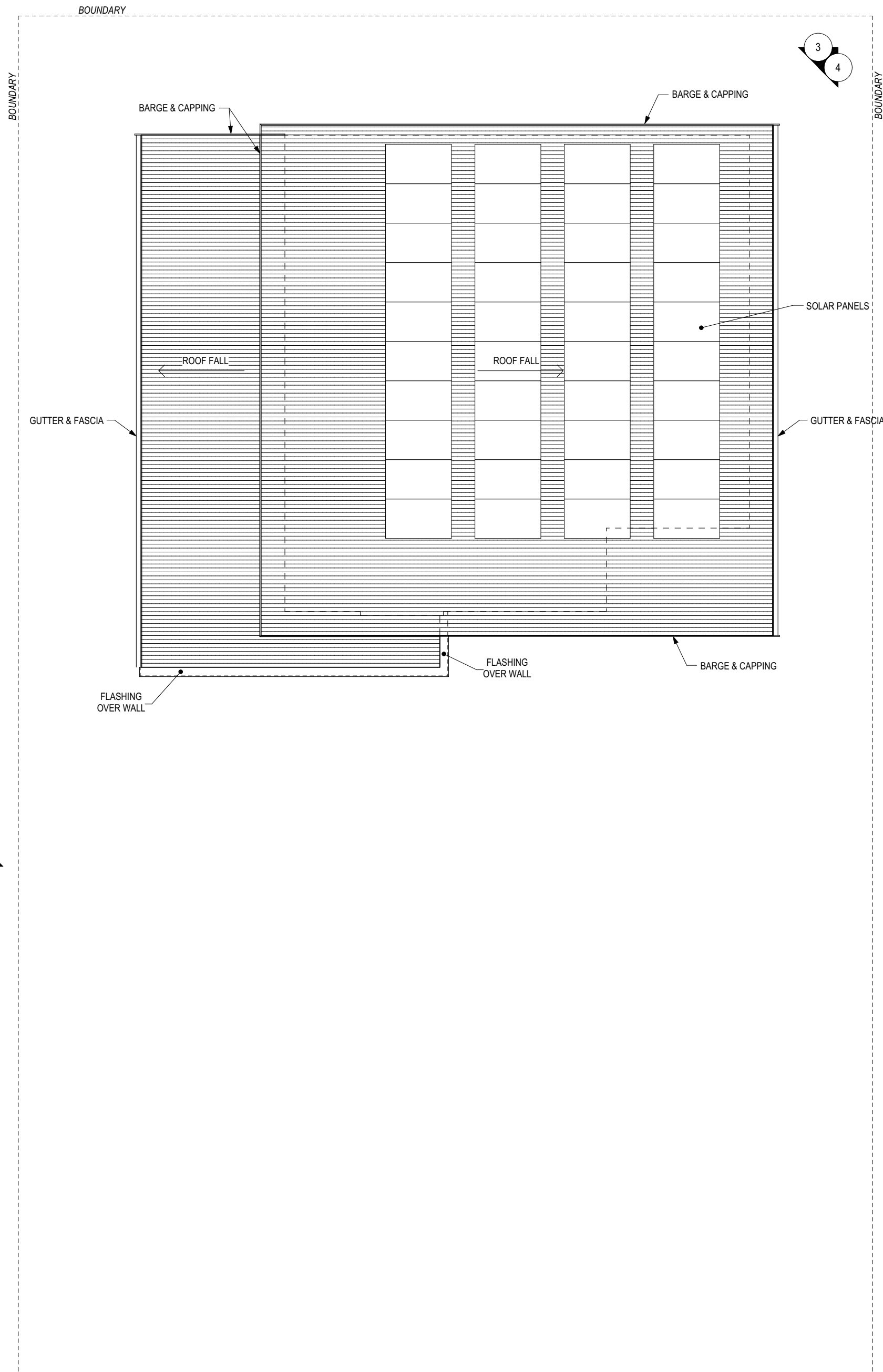
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**ROOF CARPENTER NOTE**  
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**KEY**  
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 (FV) 230 X 230 FLUME VENT  
 (CV) 230 X 230 CEILING VENT  
 SC STRUCTURAL COLUMN. REFER ENG.  
 FLOOR COVERINGS: REFER TO ADDENDA

**OTHER NOTES**  
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\*\*\*\*\* PROVIDE CAVITY WALL INSULATION  
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NO.	DATE	DRN	CHK
1	17-06-20	CC	ARBOR / SCREENING AMENDMENTS

ENERGY	
ASSESSOR	TBA
PRELIM CHGS	N/A
FULL ORDERED	TBA
ENGINEERING	
PROJECT No.	TBA
DATE	TBA
PLANS READ IN CONJUNCTION W/ ENGINEERS DWGS	

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PO Box 261, Westpool WA 6986  
Tel: (08) 9360 8488 Fax: (08) 9360 8411 Email: info@metrostrata.com.au

HOUSE TYPE:	CUSTOM METROLIFE
DRAWING:	ROOF PLAN
DATE:	03/03/2020
SCALE:	1:100, 1:1
DRN BY:	CC
CHK BY:	

PROJECT:  
**LENZO BROS**  
Rear Block - Unit 7,8,9,10  
Lot 5 (#37) Leach Road,  
WANNEROO

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RATINGS	WIND: 22
	COAST: 22
	BAL: 222
	REV: 1
	MS19004
	SHEET:
	3 OF 3





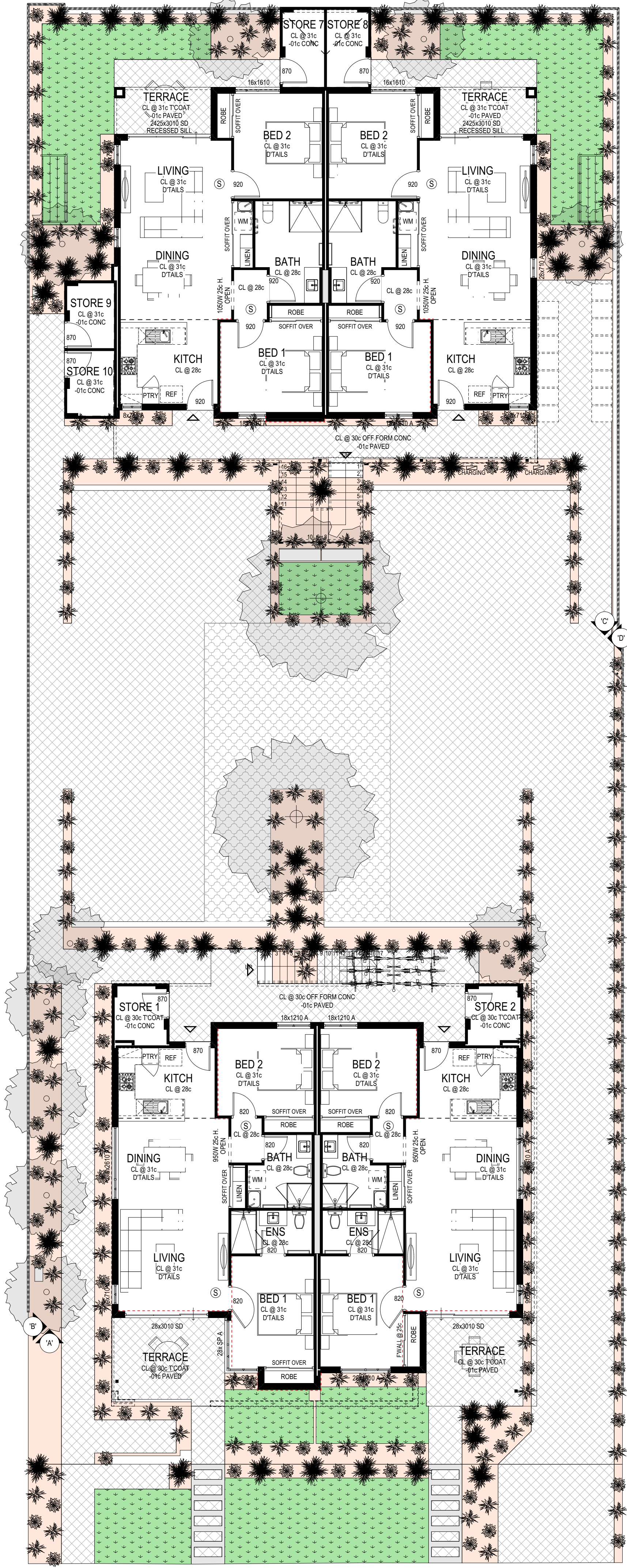


**COLOUR SCHEDULE**  
**LENZO BROS**  
**LOT 5 #37 LEACH ROAD, WANNEROO**

Refer to 3D views Rev 1

Roof: Colorbond Shale grey  
Gutters/Fascia: Colorbond Shale Grey  
Window Frames: Silver Lustre  
Downpipes: Colorbond Surfmist  
Feature Tile: Light Grey  
Light Render: Colorbond Surfmist  
Dark Render : Colorbond Windspray  
Posts: Colorbond Surfmist  
Cladding : Colorbond Surfmist  
Rendered Fence: Colorbond Surfmist  
Fence infills: Silver Lustre  
Metal feature: Solver Dijon  
Window surrounds: Colorbond Basalt  
Balustrading : Silver Lustre  
Paving : Charcoal & Grey





UNIT	HOURS	7:50	8:20	8:50	9:20	9:50	10:20	10:50	11:20	11:50	12:20	12:50	13:20	13:50	14:20	14:50	15:20	15:50	16:20	16:50	TOTAL HOURS		
UNIT 1																						3	
UNIT 2																							8.5
UNIT 3																							3
UNIT 4																							3
UNIT 5																							9
UNIT 6																							9
UNIT 7																							0.5
UNIT 8																							9
UNIT 9																							2
UNIT 10																							9
																							56



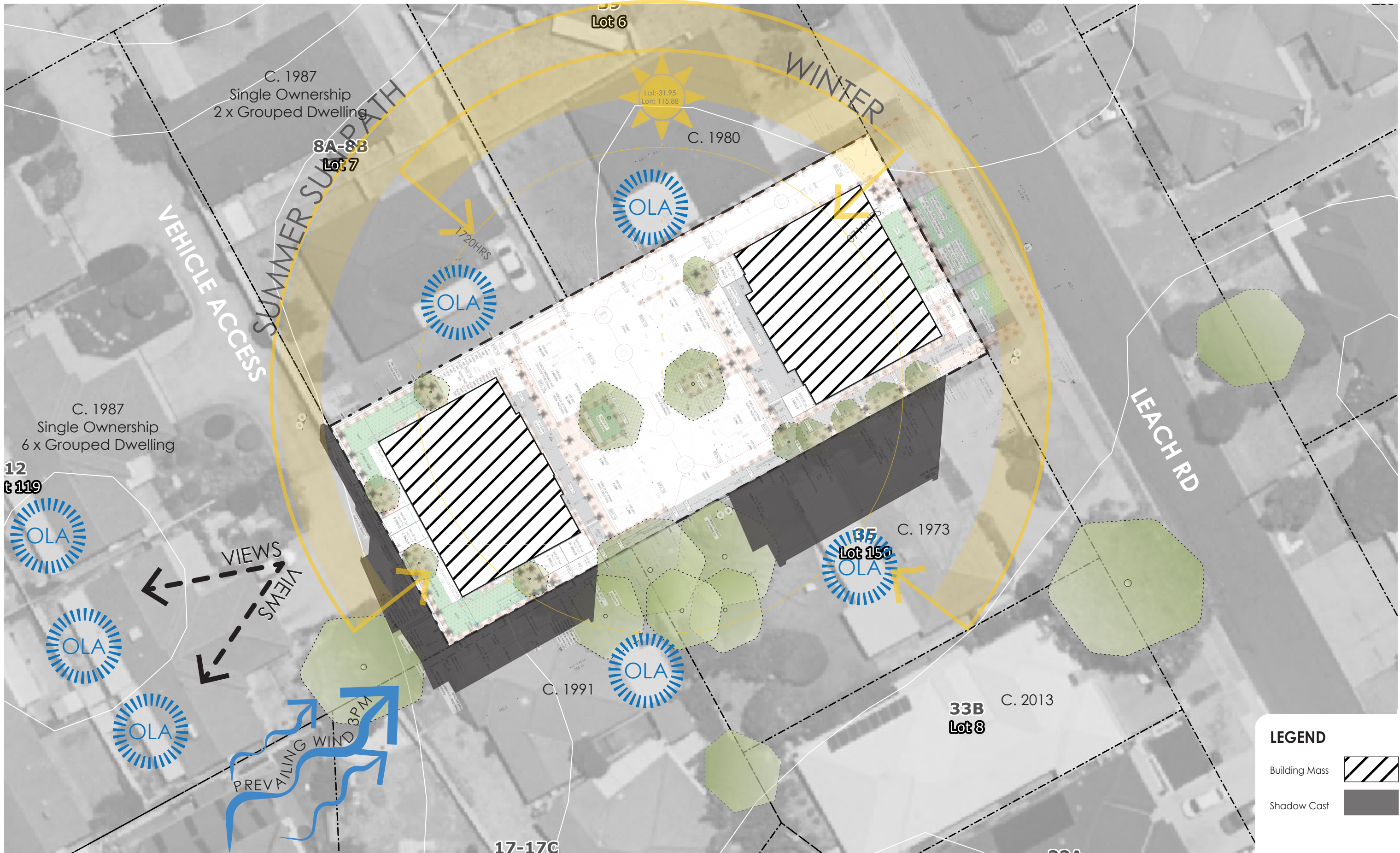
SALES REP: TH  
 REVISION: 1 CC  
 REV DATE: 17-06-20  
 SCALE: 1:100  
 DATE: 03/03/2020  
 DRAWN BY: CC  
 SPECIFICATION: METROLIFE  
 R' CODE: R60  
 PAGE: 1 OF 4

CLIENT: LENZO BROS  
 ADDRESS: Front Block - Unit 1, 2, 3, 4, 5, 6 Lot 5 (#37) Leach Road, WANNEROO



SKETCH PLAN GF  
 CUSTOM

**MetroStrata**  
 DEVELOPMENTS  
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**LEGEND**

- Building Mass 
- Shadow Cast 

**Project**  
**THREE STOREY MULTIPLE DWELLINGS**  
 37 Leach Road  
 Wanneroo  
 City of Wanneroo

**Scale**  
 1:300 @ A3




Prepared for illustrative and planning justification purposes only. Whilst all efforts are made to ensure accuracy, all areas and dimensions are subject to detail design and survey.

# CONTEXT PLAN & SITE ANALYSIS

Job No.	Revision
J00N/A	1A
	16/07/2020

