

**AGREED STRUCTURE PLAN 76**

**LOTS 1 AND 2 YANCHEP BEACH ROAD, YANCHEP (JINDOWIE EAST)  
LOCAL STRUCTURE PLAN**

**PART ONE | IMPLEMENTATION SECTION**

Prepared by:



2 Abbotsford Street  
West Leederville WA 6007  
PO Box 796  
Subiaco WA 6904  
08 9382 1233  
[www.cleplan.com.au](http://www.cleplan.com.au)

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Title: Agreed Structure Plan No. 76  
Lots 1 + 102 Yanchep Beach Road, Yanchep (Jindowie East)  
Local Structure Plan  
Part One | Implementation Section

Prepared for: Department of Communities

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Project team: Town Planning + Design - CLE Town Planning + Design  
Engineering - Development Engineering Consultants  
Hydrology - Development Engineering Consultants  
Environmental - Coffey Environments  
Bushfire - Entire Fire Managements  
Acoustic - Lloyd George Acoustics  
Landscape Design - EPCAD

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This amendment to Agreed Structure Plan 76 is prepared under the provisions of Part 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

IT IS CERTIFIED THAT AMENDMENT NO. 1 TO AGREED STRUCTURE PLAN 76 WAS ADOPTED BY RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING COMMISSION ON

.....

Signed for and on behalf of the Western Australian Planning Commission:

.....

an officer of the Commission duly authorised by the Commission pursuant to section 16 of the *Planning and Development Act 2005* for that purpose, in the presence of:

..... Witness

..... Date

..... Date of expiry

Table of amendments

<b>Amendment No.</b>	<b>Description of Amendment</b>	<b>Amendment Type</b>	<b>Date approved by WAPC</b>
1	Reclassify Lot 9040 Yanchep Road, Yanchep from 'Mixed Use' to 'Residential" with density code of R30-60.	Minor	

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## PLANS

- Plan 1: Local Structure Plan (CLE Ref. 2125-35K-01)
- Plan 2: Zoning Plan (CLE Ref. 2125-254-01)
- Plan 3: R-Code Plan (CLE Ref. 2125-255-01)

## 1.0 STRUCTURE PLAN AREA

This structure plan applies to the land within the line identified as the 'Structure Plan Boundary' on Plan A: Lots 1 and 2 Yanchep Beach Road, Yanchep (Jindowie East) Local Structure Plan.

## 2.0 STRUCTURE PLAN CONTENT

This structure plan consists of:

- Part One – Implementation Section (this section);
- Part Two – Explanatory Report (report reference 2310Rep188);
- Appendices – technical reports supporting the structure plan.

Part One of the Local Structure Plan comprises the structure plan map and planning provisions. Part Two and all Appendices are a reference provided to guide the interpretation and implementation of Part One.

## 3.0 STRUCTURE PLAN OPERATION

This structure plan is prepared in accordance with Part 4 of Schedule 2 (Deemed Provisions) in the *Planning and Development (Local Planning Schemes) Regulations 2015* ('the Regulations'). It is a Local Structure Plan fulfilling the requirements of City of Wanneroo District Planning Scheme No. 2 for the applicable 'Urban Development' zone.

The Regulations require decision-makers to have due regard for the provisions of this structure plan, which takes effect on the date on which it is approved by the Western Australian Planning Commission ('WAPC').

Unless otherwise specified in this Part, all words and expressions used in this structure plan have the same meaning as the same words and expressions in the Regulations and City of Wanneroo District Planning Scheme No. 2.

## 4.0 LAND USE AND SUBDIVISION

### 4.1 Zones and reserves

Subdivision and development of land within the structure plan area should be in accordance with the structure plan and the corresponding zone or reserve under City of Wanneroo District Planning Scheme No. 2

### 4.2 Residential densities

#### 4.2.1 Dwelling target

It is the objective of this structure plan to provide a minimum of 22 dwellings per hectare of Net Developable Area, consistent with *Liveable Neighbourhoods*.

#### [4.2.2 Residential density](#)

The residential density range applicable to the structure plan area is shown on the Structure Plan Map. Specific residential density codes will be applied at the subdivision stage through an R-Code Plan assessed and approved by the WAPC.

The R-Code Plan:

- a. Is required to be submitted with each subdivision application/s, and shall be consistent with the density ranges and locational criteria in this structure plan.
- b. Is to include a summary of the proposed lot yield of the subdivision application to which it relates.
- c. Forms part of this structure plan once it has been approved by the WAPC (as part of its determination of the subdivision application).
- d. May be varied subject to the further approval of the WAPC. A varied R-Code Plan will replace (entirely or partially) the previously-approved R-Code Plan.
- e. May not be required if the WAPC considers that the subdivision application is for one or more of the following:
  - (i) Amalgamation of lots, including for land assembly;
  - (ii) Provision of access, services or infrastructure; or
  - (iii) Non-residential use, with reference to the zone or reserve indicated on this structure plan.

#### [4.2.3 Locational criteria](#)

The allocation of residential densities shall be generally in accordance with the following criteria:

- a. A base residential density coding of R30.
- b. A residential density coding of R40 or R60 where:
  - (i) Vehicular access is provided via a public laneway;
  - (ii) The proposed lot is located in the vicinity of a Local Centre, public open space, school, Neighbourhood Connector road or public transport route;
  - (iii) The proposed lot is created as a grouped or multiple housing site.

#### [4.2.4 R-Codes variations](#)

The R-Codes variations specified in Planning Bulletin 112: *Medium-density single house development standards – Development Zones* and duplicated in the City of Wanneroo Local Planning Policy 4.19: *Medium-Density Housing Standards* are applicable to all densities between R30 and R60, inclusive.

### 4.3 Local Centre

A Local Centre comprising up to 2500 square metres of Net Lettable Area is permitted on the land zoned 'Commercial' on the Structure Plan Map.

### 4.4 Public open space

A minimum of 10 per cent of the gross subdivisible area, less deductions permitted under *Liveable Neighbourhoods*, is to be provided as public open space. This should be provided generally in the locations shown on the Structure Plan Map.

## 5.0 LOCAL DEVELOPMENT PLANS

At the subdivision stage, the WAPC may impose a condition/s of approval requiring Local Development Plan/s to be prepared, in accordance with Part 6 of the Regulations, for lots that:

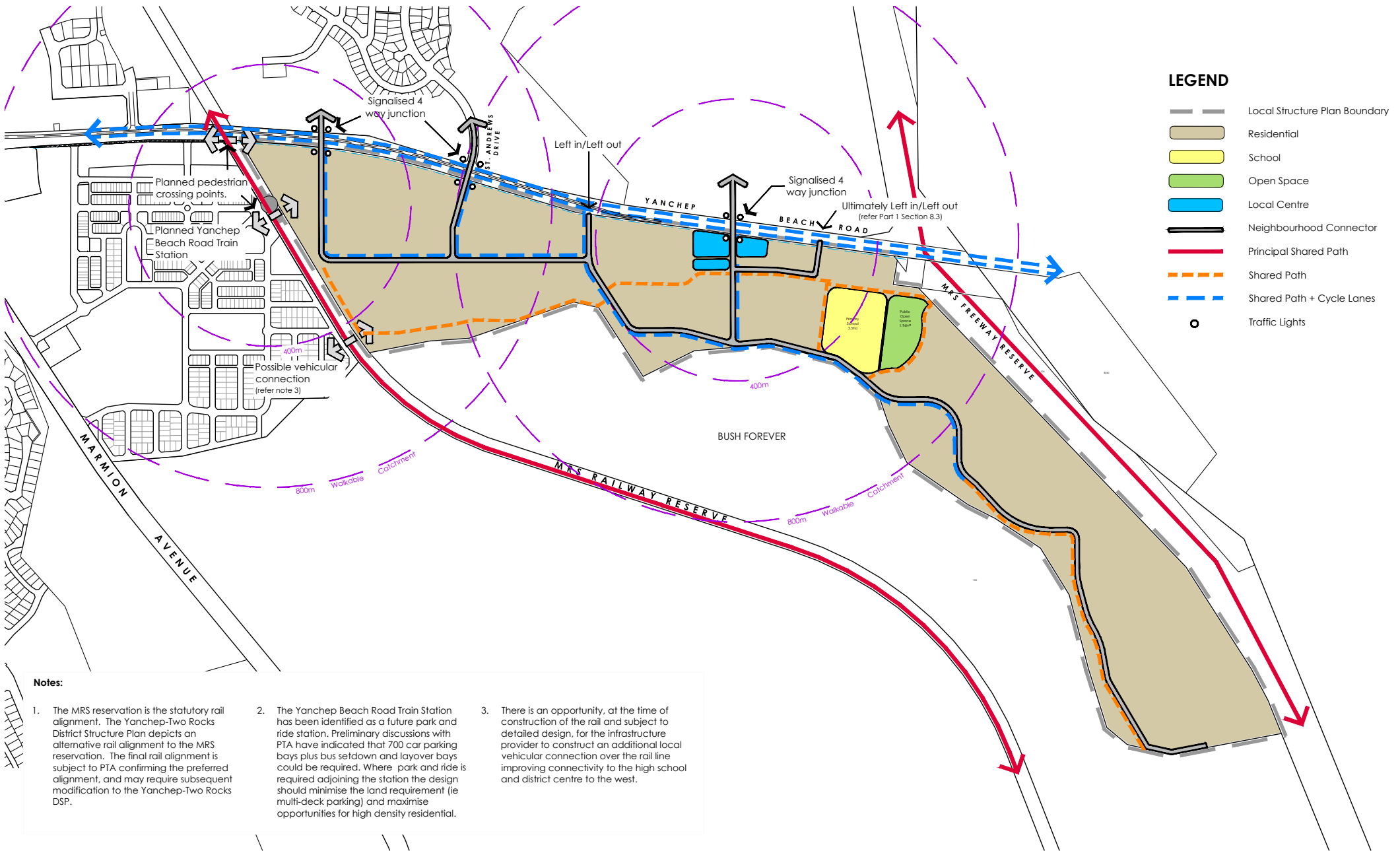
- Are rear-loaded;
- Abut public open space;
- Are identified for a Commercial purpose;
- Are affected by road or rail transport noise and require noise mitigation measures at the development stage.

## 6.0 ADDITIONAL INFORMATION

At the subdivision stage, as relevant, the WAPC may require and/or impose a condition/s of approval requiring the preparation and submission of the following technical reports:

Additional Information	Approval Stage	Consultation Required
Bushfire Management Plan (BAL Contour Plan)	Subdivision (pre-approval)	City of Wanneroo WAPC
Acoustic Assessment	Subdivision (pre-approval)	City of Wanneroo WAPC
Urban Water Management Plan	Subdivision (condition of approval)	City of Wanneroo Department of Water and Environmental Regulation WAPC





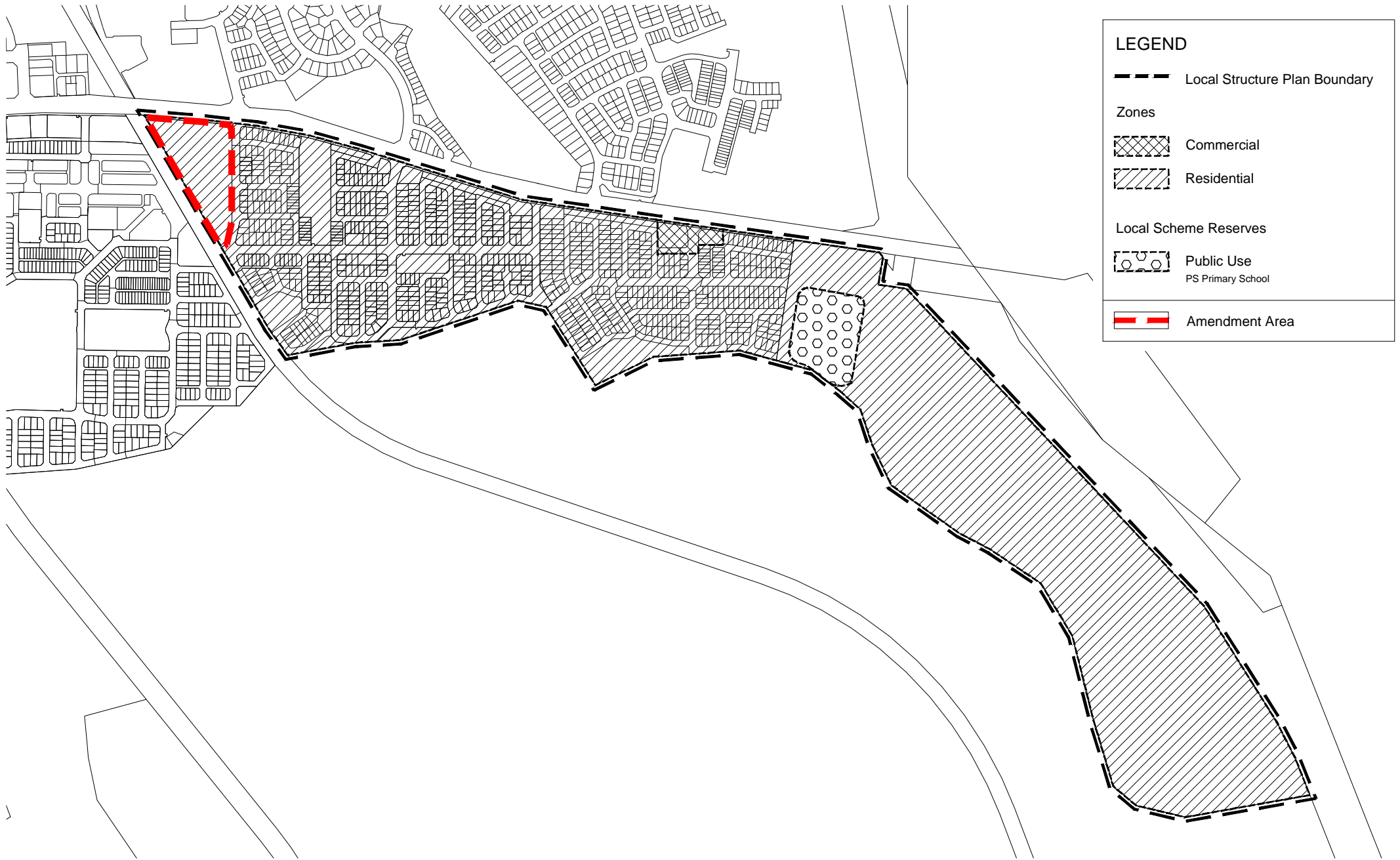
**LEGEND**

- Local Structure Plan Boundary
- Residential
- School
- Open Space
- Local Centre
- Neighbourhood Connector
- Principal Shared Path
- Shared Path
- Shared Path + Cycle Lanes
- Traffic Lights







**Notes:**

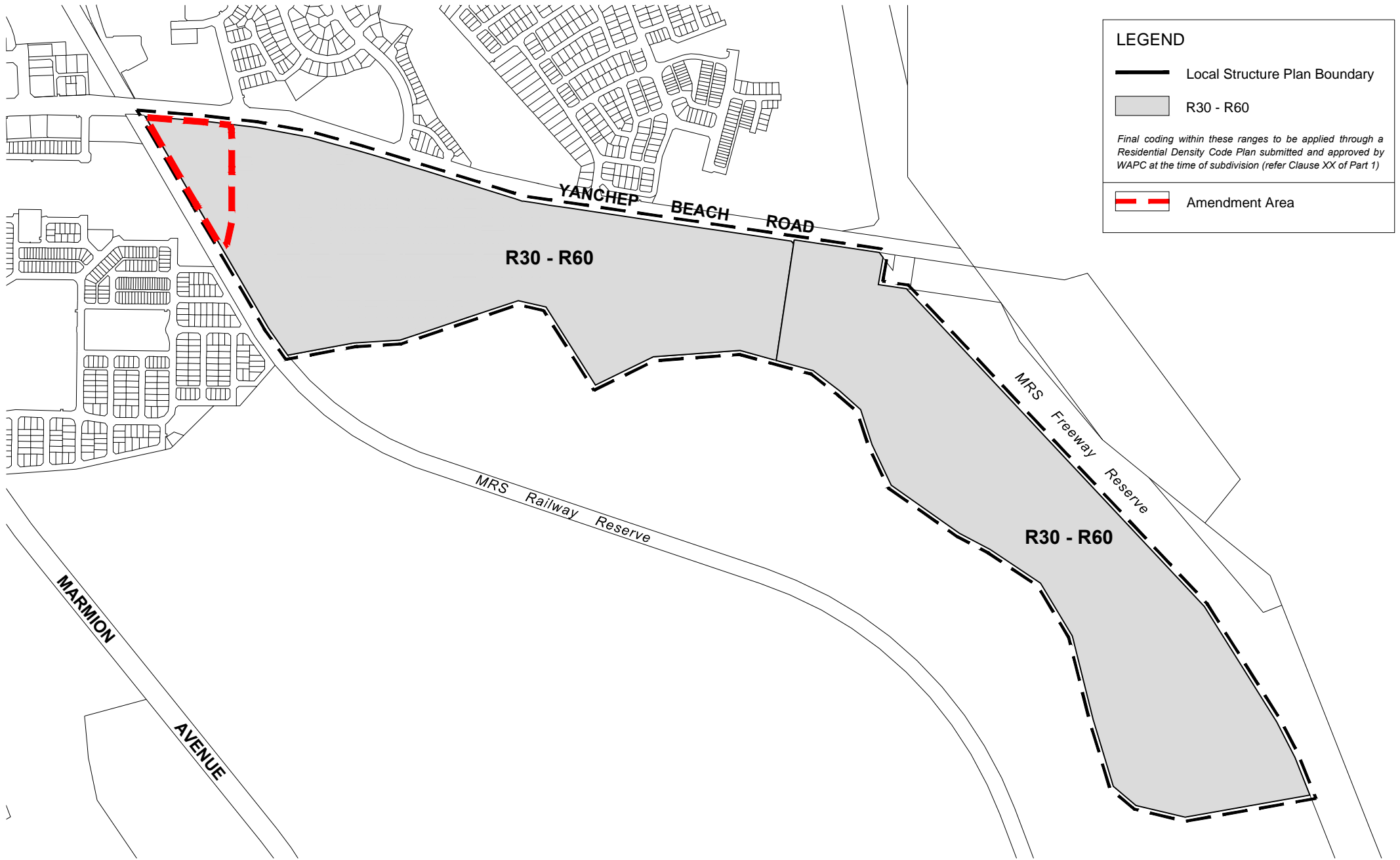
1. The MRS reservation is the statutory rail alignment. The Yanchep-Two Rocks District Structure Plan depicts an alternative rail alignment to the MRS reservation. The final rail alignment is subject to PTA confirming the preferred alignment, and may require subsequent modification to the Yanchep-Two Rocks DSP.
2. The Yanchep Beach Road Train Station has been identified as a future park and ride station. Preliminary discussions with PTA have indicated that 700 car parking bays plus bus setdown and layover bays could be required. Where park and ride is required adjoining the station the design should minimise the land requirement (ie multi-deck parking) and maximise opportunities for high density residential.
3. There is an opportunity, at the time of construction of the rail and subject to detailed design, for the infrastructure provider to construct an additional local vehicular connection over the rail line improving connectivity to the high school and district centre to the west.








**LEGEND**

-  Local Structure Plan Boundary
- Zones**
-  Commercial
-  Residential
- Local Scheme Reserves**
-  Public Use
-  PS Primary School
-  Amendment Area



**LEGEND**

-  Local Structure Plan Boundary
-  R30 - R60
-  Amendment Area

*Final coding within these ranges to be applied through a Residential Density Code Plan submitted and approved by WAPC at the time of subdivision (refer Clause XX of Part 1)*