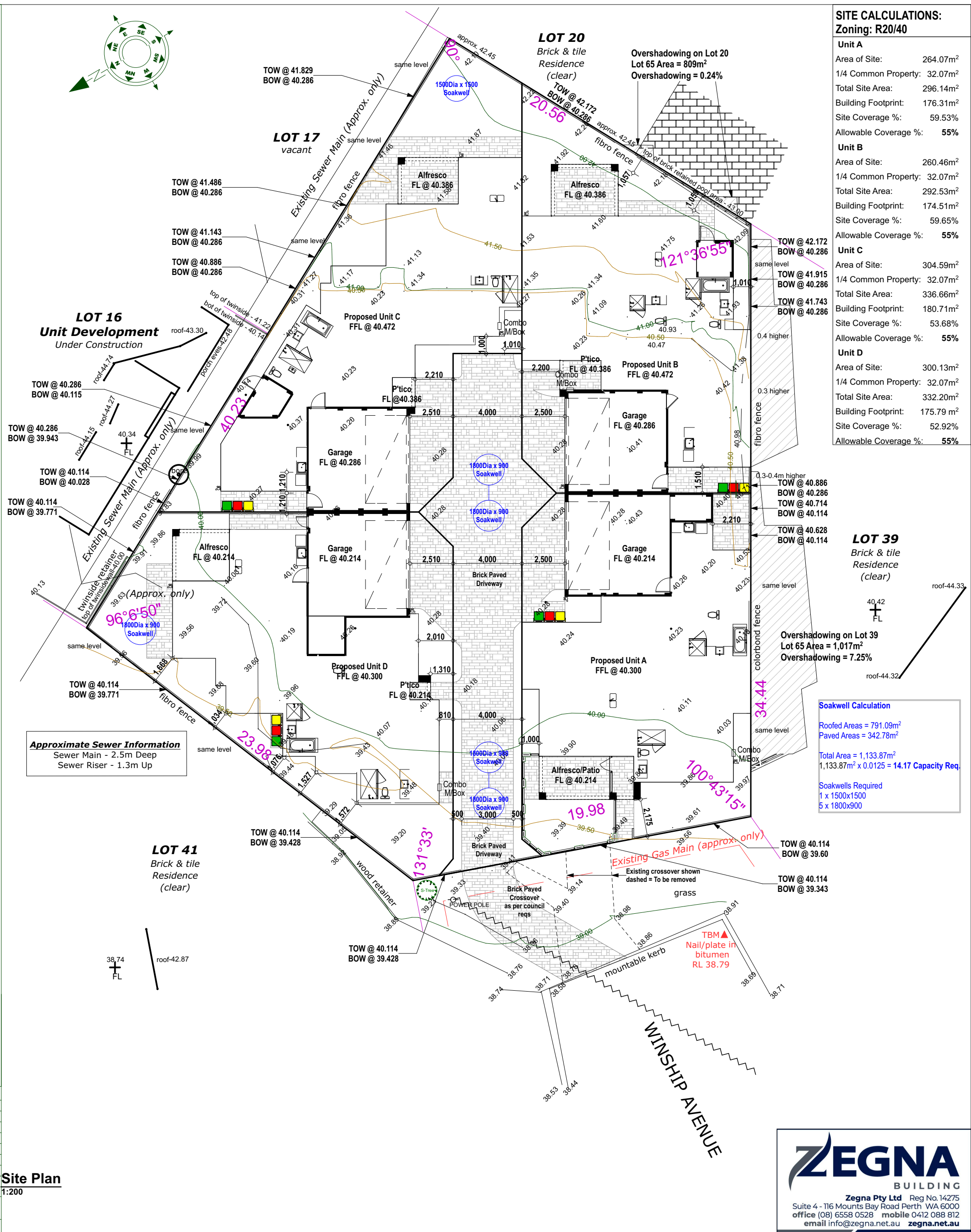


<p>Approximate Sewer Information Sewer Main - 2.5m Deep Sewer Riser - 1.3m Up</p>		<p>Approximate Sewer Information Sewer Main - 2.5m Deep Sewer Riser - 1.3m Up</p>	
<p>Existing Site Survey 1:200</p>		<p>Site Plan 1:200</p>	
<p>Features are related to fence lines only. No connection made to boundaries.</p>		<p>REPEG RECOMMENDED</p>	
<p>LEGEND</p> <p>TBM ▲ Sewer Manhole Power Dom. ● Sewer Inspect Telstra ○ Floor Level Water Meter ● Drain Power Pole ● Soakwell Street Lamp ● Hydrant Boundary - Building Gas Line - Sewer Line</p>	<p>DESCRIPTION</p> <p>TRWW - top of Retaining wall (Wood) BRWW - bot of Retaining wall (Wood) TRWB - top of Retaining wall (Brick) BRWB - bot of Retaining wall (Brick) TRWL - top of Retaining wall (Limestone) BRWL - bot of Retaining wall (Limestone) TRWT - top of Retaining wall (twin side) BRWT - bot of Retaining wall (twin side)</p>	<p>IMPORTANT NOTES: CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.</p>	
<p>NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.</p>		<p>NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.</p>	
<p>CLIENT / S: MRF CIVIL PTY LTD</p>		<p>TBM HEIGHT: 38.79 AHD</p>	
<p>PLAN / DIAGRAM No: P9589</p>		<p>Job No: ZS0297</p>	
<p>ZENITH LAND SURVEYING LICENSED LAND & ENGINEERING SURVEYORS UNIT 5, 44 HUTTON STREET OSBORNE PARK PH: 1300 038 722 levin@zenithsurvey.com.au</p>		<p>SURVEY ADDRESS: LOT 40 (40) Winship Avenue Wanneroo</p>	



<p>Client: Zegna Pty. Ltd.</p>		<p>Drawing Title: Site Survey & Site Plan</p>		<p>Issue: Development Approval</p>	
<p>Project Name: 4 x Single Storey Residence</p>		<p>Scale: as noted</p>		<p>Sheet Size: A2</p>	
<p>Project Address: Lot 40 (#40) Winship Ave, WANNEROO</p>		<p>Project No: 19071</p>		<p>Drawing No.: 2 of 05</p>	
<p>Rev.: 004</p>		<p>Description: Planning Drawings</p>		<p>Drawn: SB</p>	
<p>Revision Number: 004</p>		<p>Date: 07/07/2020</p>		<p>Unit: 3/1 Mulgool Road, Malaga WA 6090</p>	
<p>Unit: 3/1 Mulgool Road, Malaga WA 6090</p>		<p>Phone: (08) 9248 8392</p>		<p>Website: www.germanodesigns.com.au</p>	

SITE CALCULATIONS:
Zoning: R20/40

Unit A	Area of Site: 264.07m ²
1/4 Common Property: 32.07m ²	Total Site Area: 296.14m ²
Building Footprint: 176.31m ²	Site Coverage %: 59.53%
Allowable Coverage %: 55%	
Unit B	Area of Site: 260.46m ²
1/4 Common Property: 32.07m ²	Total Site Area: 292.53m ²
Building Footprint: 174.51m ²	Site Coverage %: 59.65%
Allowable Coverage %: 55%	
Unit C	Area of Site: 304.59m ²
1/4 Common Property: 32.07m ²	Total Site Area: 336.66m ²
Building Footprint: 180.71m ²	Site Coverage %: 53.68%
Allowable Coverage %: 55%	
Unit D	Area of Site: 300.13m ²
1/4 Common Property: 32.07m ²	Total Site Area: 332.20m ²
Building Footprint: 175.79m ²	Site Coverage %: 52.92%
Allowable Coverage %: 55%	

Soakwell Calculation

Roofed Areas = 791.09m²
Paved Areas = 342.78m²

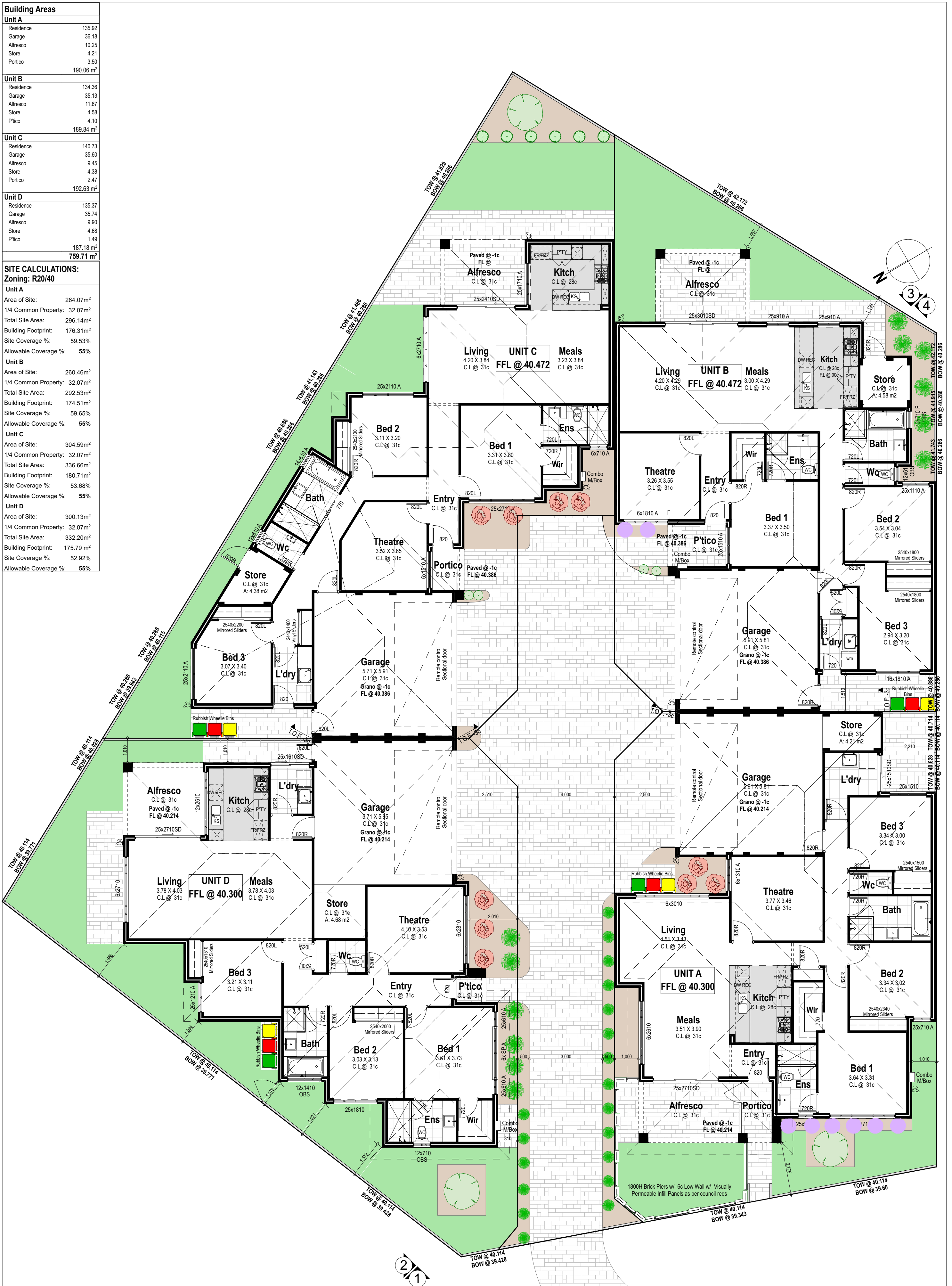
Total Area = 1,133.87m²
1,133.87m² x 0.0125 = 14.17 Capacity Req.

Soakwells Required
1 x 1500x1500
5 x 1800x900

ZEGNA BUILDING
Zegna Pty Ltd Reg No. 14275
Suite 4 - 116 Mounts Bay Road Perth WA 6000
office (08) 6558 0528 mobile 0412 088 812
email info@zegna.net.au zegna.net.au

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Building Areas	
Unit A	
Residence	135.92
Garage	36.18
Alfresco	10.25
Store	4.21
Portico	3.50
	190.06 m ²
Unit B	
Residence	134.36
Garage	35.13
Alfresco	11.67
Store	4.58
Portico	4.10
	189.84 m ²
Unit C	
Residence	140.73
Garage	35.60
Alfresco	9.45
Store	4.38
Portico	2.47
	192.63 m ²
Unit D	
Residence	135.37
Garage	35.74
Alfresco	9.90
Store	4.68
Portico	1.49
	187.18 m ²
	759.71 m²
SITE CALCULATIONS:	
Zoning: R20/40	
Unit A	
Area of Site:	264.07m ²
1/4 Common Property:	32.07m ²
Total Site Area:	296.14m ²
Building Footprint:	176.31m ²
Site Coverage %:	59.53%
Allowable Coverage %:	55%
Unit B	
Area of Site:	260.46m ²
1/4 Common Property:	32.07m ²
Total Site Area:	292.53m ²
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1/4 Common Property:	32.07m ²
Total Site Area:	332.20m ²
Building Footprint:	175.79 m ²
Site Coverage %:	52.92%
Allowable Coverage %:	55%



Floor Plan
1:100

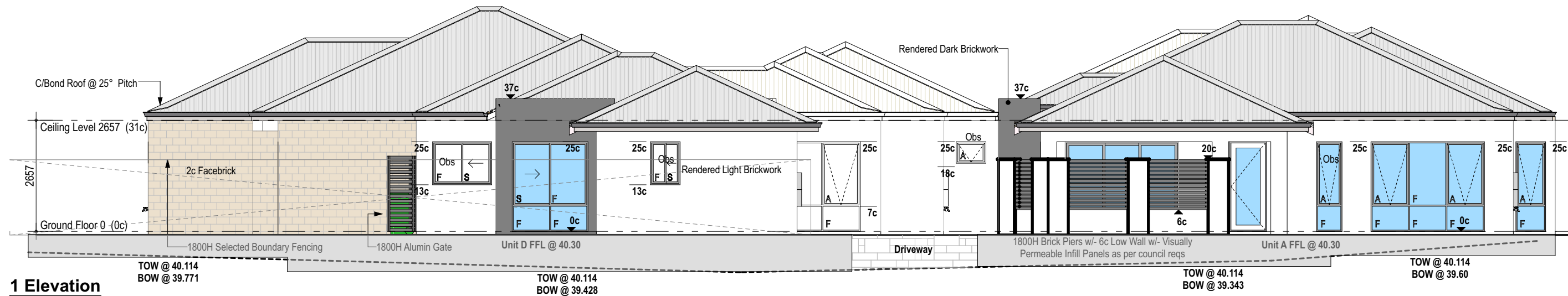


Client
Zegna Pty. Ltd.
Project Name
4 x Single Storey Residence
Project Address
Lot 40 (#40) Winship Ave. WANNEROO

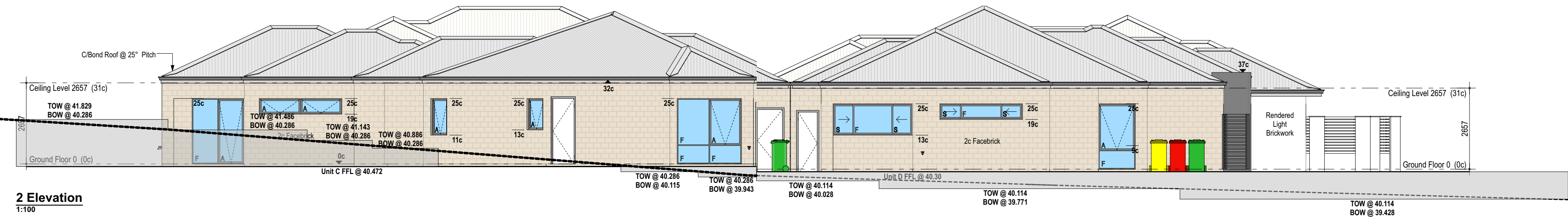
Drawing Title:
Floor Plan
Scale: as noted
Project No:
19071
Sheet Size: A2
Drawing No.:
4 of 05

Issue:
Development Approval
Rev: 004
Description: Planning Drawings
Date: 07/07/2020

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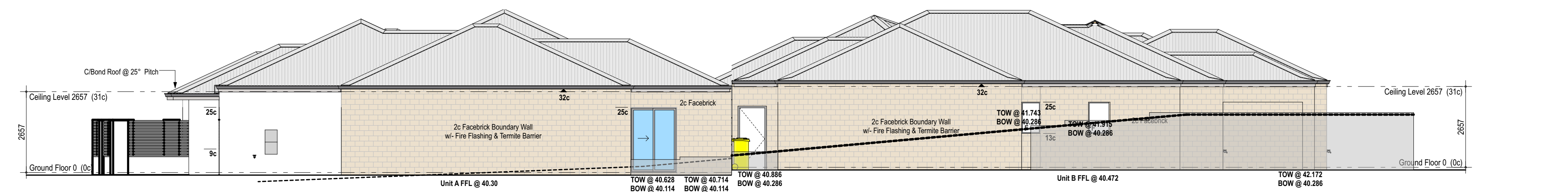
1 Elevation
1:100



2 Elevation
1:100



3 Elevation
1:100



4 Elevation
1:100

<p>ZEGNA BUILDING Zegna Pty Ltd Reg No. 14275 Suite 4 - 116 Mounts Bay Road Perth WA 6000 office (08) 6558 0528 mobile 0412 088 812 email info@zegna.net.au zegna.net.au</p>	Client Zegna Pty. Ltd.	Drawing Title: Elevations	Issue: Development Approval	
	Project Name 4 x Single Storey Residence	Scale: as noted	Sheet Size: A2	
	Project Address Lot 40 (#40) Winship Ave, WANNEROO	Project No: 19071	Sheet No: 5 of 05	Rev. Description: Drawn: 004 Planning Drawings SB
		Revision Number: 004	Date: 07/07/2020	Unit: 3/1 Mulgool Road, Malaga W.A 6090 (08) 9248 8392 www.germanodesigns.com.au

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