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- EXTENT OF PAVING TO OWNERS SPECIFICATION. CONFIRM PRIOR TO LAYING.
- SUPPLY AND INSTALL 'DURBAN' CHEMICAL TERMITE TREATMENT TO MANUFACTURERS SPECIFICATION & USE A PHYSICAL TERMITE BARRIER TO BOUNDARY WALLS AS REQUIRED TO COMPLY WITH AS 3660.1-2014 & BCAPart 3.1.3.
- REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR PILE FOOTING SIZES, LOCATION & DETAILS.
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date :	revision :	client :	printed :
26-08-20	CONCEPT DESIGN ISSUED FOR CLIENT REVIEW	KEVIN LION & HE ZHANG	22/10/2020
01-09-20	DRAWINGS ISSUED FOR DEVELOPMENT APPROVAL		2:28 PM
22-10-20	DRAWINGS AMENDED AS PER DA2020/1163		
project :	revision :	sheet :	scale :
PROPOSED - 3 GROUPED DWELLINGS	0	01/06	
LOT 9 #3 CELESTINE STREET, WANNEROO. W.A. 6065			
date :	job no :	scale :	
AUG 2020	20-013	1:200 @ A3	

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LOT No: 9

AREA : 772m<sup>2</sup>



## + site plan

1:200

NOTE:  
STRATA BOUNDARY LINES SHOWN ARE TO BE CONFIRMED BY LICENSED SURVEYOR & ARE FOR TOWN PLANNING PURPOSE ONLY. THE PROPOSED SUBDIVISION BOUNDARIES ARE FOR BUILT STRATA PURPOSES ONLY.

### stormwater calculations:

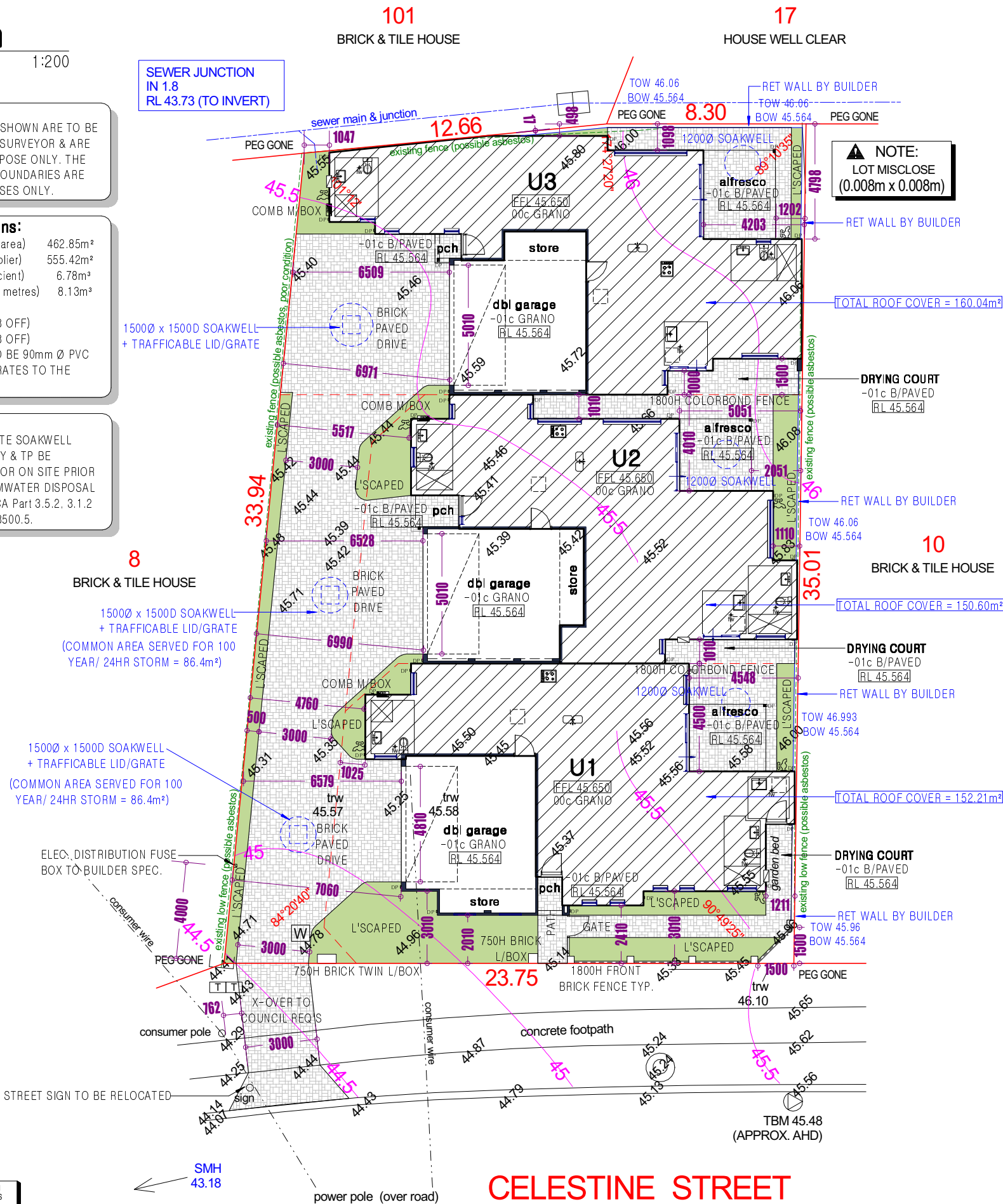
IMPERVIOUS AREA (flat roof area) 462.85m<sup>2</sup>  
MULTIPLY BY 1.2 (roof multiplier) 555.42m<sup>2</sup>  
MULTIPLY BY 0.0122 (coefficient) 6.78m<sup>3</sup>  
REQUIRED CAPACITY (cubic metres) 8.13m<sup>3</sup>

### SOAKWELLS PROVIDED

1500 Ø x 1500 D = 2.65m<sup>3</sup> (3 OFF)  
1200 Ø x 1200 D = 1.36m<sup>3</sup> (3 OFF)  
ALL STORMWATER PIPES TO BE 90mm Ø PVC ON 1:60 MIN FALL. OPEN GRATES TO THE BASE OF ALL DOWNPIPES.

NOTE:  
POSITION & SIZE OF ON-SITE SOAKWELL SYSTEM IS INDICATIVE ONLY & TP BE CONFIRMED BY CONTRACTOR ON SITE PRIOR TO CONSTRUCTION. STORMWATER DISPOSAL AS PER MOST CURRENT BCA Part 3.5.2, 3.1.2 & AS/NZS 3500.0, AS/NZS 3500.5.

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.



CELESTINE STREET

POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



AUSTRALIAN HEIGHT DATUM (AHD)  
DERIVED FROM SEWER MANHOLE  
W0312 LID LEVEL.

IMPORTANT NOTE: Location of boundary pegs & improvements NOT guaranteed unless boundaries are repegged at time of survey. Check title for easements, caveats & covenants. Plumbing contractors to confirm sewer depths before pipe laying. All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E-PLAN.		R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS NORTH BEACH PLAZA SHOP 7 / 1 NORTH BEACH ROAD NORTH BEACH WA 6020 PH: 9448 5009 FX: 9203 6722 admin@lestersurveys.com.au		NOTES Block located more than 1 kilometre from the ocean.		BUILDER:	
REF NO: 70235 FILE NO: 1377 DATE: 27.07.20 DRAWN: AC		TITLE DETAILS LOT NOS: 9 C/T VOL: Plan: 10761 FOL:		SIGNED CLIENT / S		CLIENT / S: KEVIN LION	
SURVEYOR SITE INSPECTION REPORT				WITNESS		SITE ADDRESS: LOT 9 (#3) CELESTINE STREET, WANNEROO	
ELECTRICITY: OVERHEAD GAS: NOT SIGHTED				SIGNED BUILDER		Local Authority : CITY OF WANNEROO	
PHONE: YES WATER: YES				WITNESS		VARIATIONS [all sheets]	
SEWERAGE: YES, ABOUT 1.8m DEEP (TO INVERT)				DATE		DWN. DATE CHK.	
ROAD: BITUMEN						SHEET No : 1 of 1	
KERB: MOUNTABLE (cracked)						JOB No: 70235	
FOOTPATH: CONCRETE (good condition)							
VEGETATION: ESTABLISHED GARDENS & TREES							
SOIL: SAND							
VIEWS: NIL							
REPEG: REQUIRED REPEG TYPE: OLD SURVEY AREA							

Y:70235CELESTINE.SKF



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26-08-20	CONCEPT DESIGN ISSUED FOR CLIENT REVIEW	KEVIN LION & HE ZHANG	22/10/2020
01-09-20	DRAWINGS ISSUED FOR DEVELOPMENT APPROVAL		2:31 PM
22-10-20	DRAWINGS AMENDED AS PER DA2020/1163		revision :
		PROPOSED - 3 GROUPED DWELLINGS	0
		LOT 9 #3 CELESTINE STREET,	sheet :
		WANNEROO. W.A. 6065	03/06
			scale :
		date :	1:200 @ A3
		job no :	
		20-013	

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## + landscaping plan

1:200

## + landscape legend

### GND COVERS

- TRADESCANTIA SPATHACEA 'MOSES IN CRADLE' (400H x 400W x 140 POT)
- RHAPHIOLEPIS 'SNOW MAIDEN' (750H x 750W x 140 POT)

### SHRUBS

- ANIGOZANTHOS MANGLESII 'KANGAROO PAW' (1000H x 1200W x 140 POT)
- AGAVACEAE 'CORDYLINE RED FOUNTAIN CABBAGE TREE' (1000H x 1000W x 170 POT)
- ASTELIA CHATHAMICA 'SILVER SPEAR' (1500H x 1000W x 140 POT)

### TREES

- TRISTANIOPSIS LAURINA 'WATER GUM' (7000-12000 HIGH x 5000 WIDE)
- LAGERSTROEMIA INDICA NATCHEZ 'WHITE CREPE MYRTLE' (7000H x 5000W)

PLANT SELECTION MAY VARY SUBJECT TO AVAILABILITY  
MAY BE REPLACED WITH A SIMILAR PLANT.

### MULCHING

GARDEN BEDS TO BE MULCHED WITH BLACK MULCH TO A DEPTH OF NO LESS THAN 100MM AND NO DEEPER THAN 150MM

### LAWN

THE AREA OF THE LAWNS WILL NEED PREPARING WITH A SPECIALIZED TOPSOIL FOR MOISTURE RETENTION AND NUTRITION. IT SHOULD BE SPREAD TO A DEPTH OF AT LEAST 20MM BEFORE TURFING.

### IRRIGATION

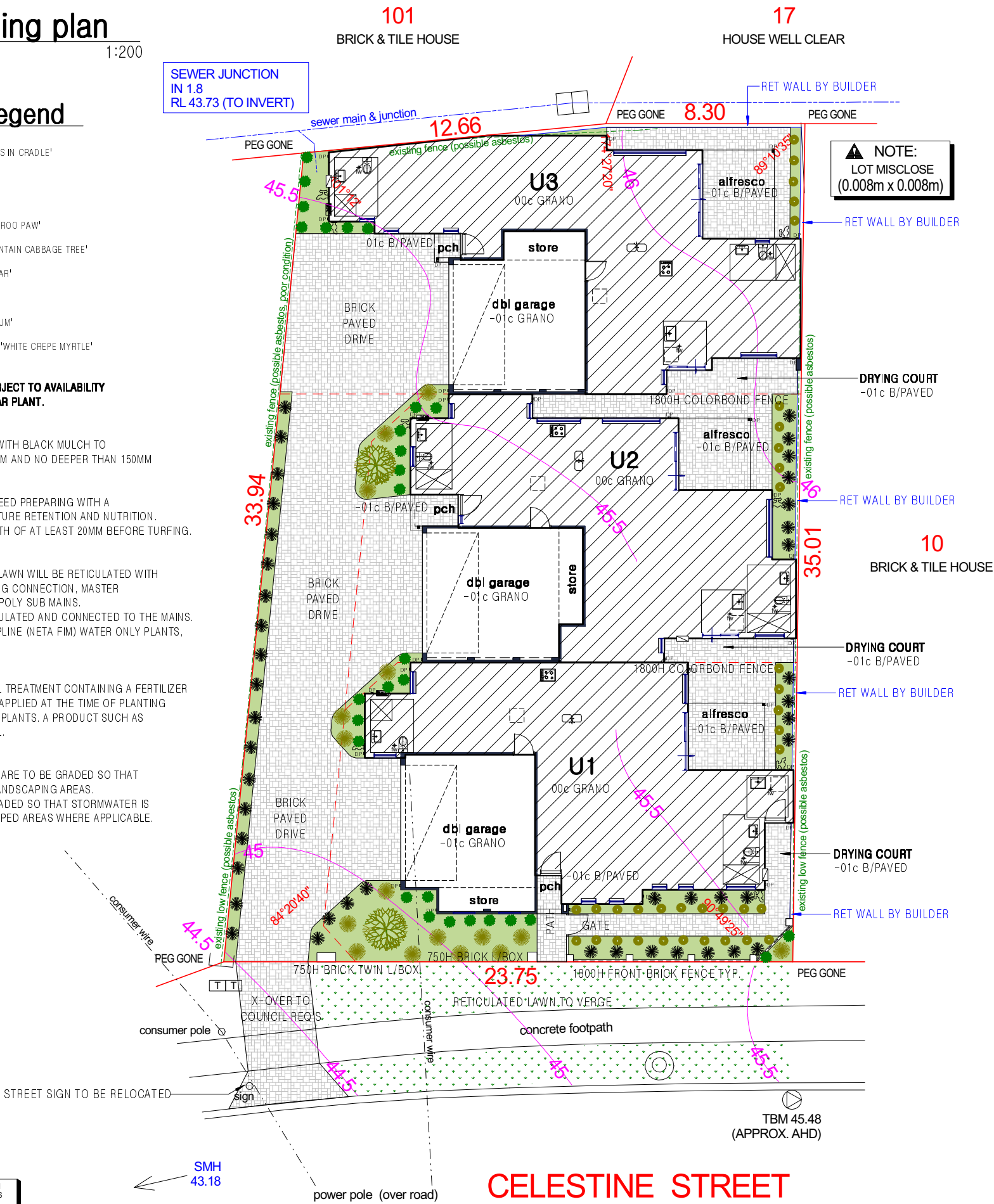
ALL PLANTED AREAS INCLUDING LAWN WILL BE RETICULATED WITH AN IRRIGATION SYSTEM, PLUMBING CONNECTION, MASTER SOLENOID VALVE PVC MAINLINE, POLY SUB MAINS. ALL COURTYARDS WILL BE RETICULATED AND CONNECTED TO THE MAINS. ALL PLANTS CONNECTED TO DRIPLINE (NETA FIM) WATER ONLY PLANTS, NO WASTAGE.

### FERTILIZER/ SOIL

IT IS RECOMMENDED THAT A SOIL TREATMENT CONTAINING A FERTILIZER AND WATER HOLDING AGENT BE APPLIED AT THE TIME OF PLANTING THE DRIVEWAY AND COURTYARD PLANTS. A PRODUCT SUCH AS 'TERRACOTTEM' WOULD BE IDEAL.

### PAVING

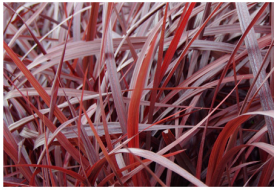
ALL ACCESS WAYS & DRIVEWAYS ARE TO BE GRADED SO THAT STORMWATER IS DIRECTED TO LANDSCAPING AREAS. ALL PAVED AREAS ARE TO BE GRADED SO THAT STORMWATER IS DIRECTED TO LAWN OR LANDSCAPED AREAS WHERE APPLICABLE.



CELESTINE STREET

LOT No: 9

AREA: 772m<sup>2</sup>



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W0312 LID LEVEL.

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ELECTRICITY: OVERHEAD GAS: NOT SIGHTED				SIGNED BUILDER		Local Authority : CITY OF WANNEROO	
PHONE: YES WATER: YES				WITNESS		VARIATIONS [all sheets]	
SEWERAGE: YES, ABOUT 1.8m DEEP (TO INVERT)				DATE		DWN. DATE CHK.	
ROAD: BITUMEN						SHEET No : 1 of 1	
KERB: MOUNTABLE (cracked)						JOB No: 70235	
FOOTPATH: CONCRETE (good condition)							
VEGETATION: ESTABLISHED GARDENS & TREES							
SOIL: SAND							
VIEWS: NIL							
REPEG: REQUIRED REPEG TYPE: OLD SURVEY AREA							

N	NBN	G	GAS
T	TELECOM PIT	H	HYDRANT
C	COMMUNICATION PIT	SV	STOP VALVE
	POWER DOME	W	PRE-LAID WATER PIPE
	POWER POLE	W	WATER METER
	FENCE END		IRRIGATION
	PILLAR		SEWERAGE MANHOLE
trw	TOP OF RETAINING WALL		SEWERAGE INSPECTION LID

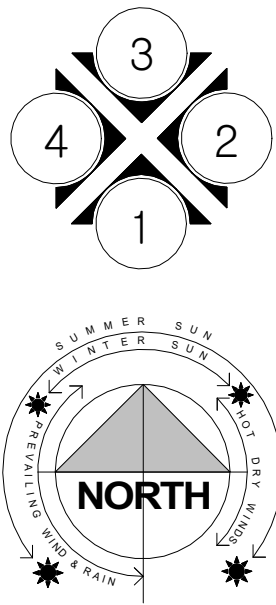
LEGEND
TREE
PALM TREE
TREE STUMP
STREET LAMP
GRATED DRAIN
SIDE ENTRY PIT
DRAINAGE MANHOLE

Y:107235CELESTINE.SKF



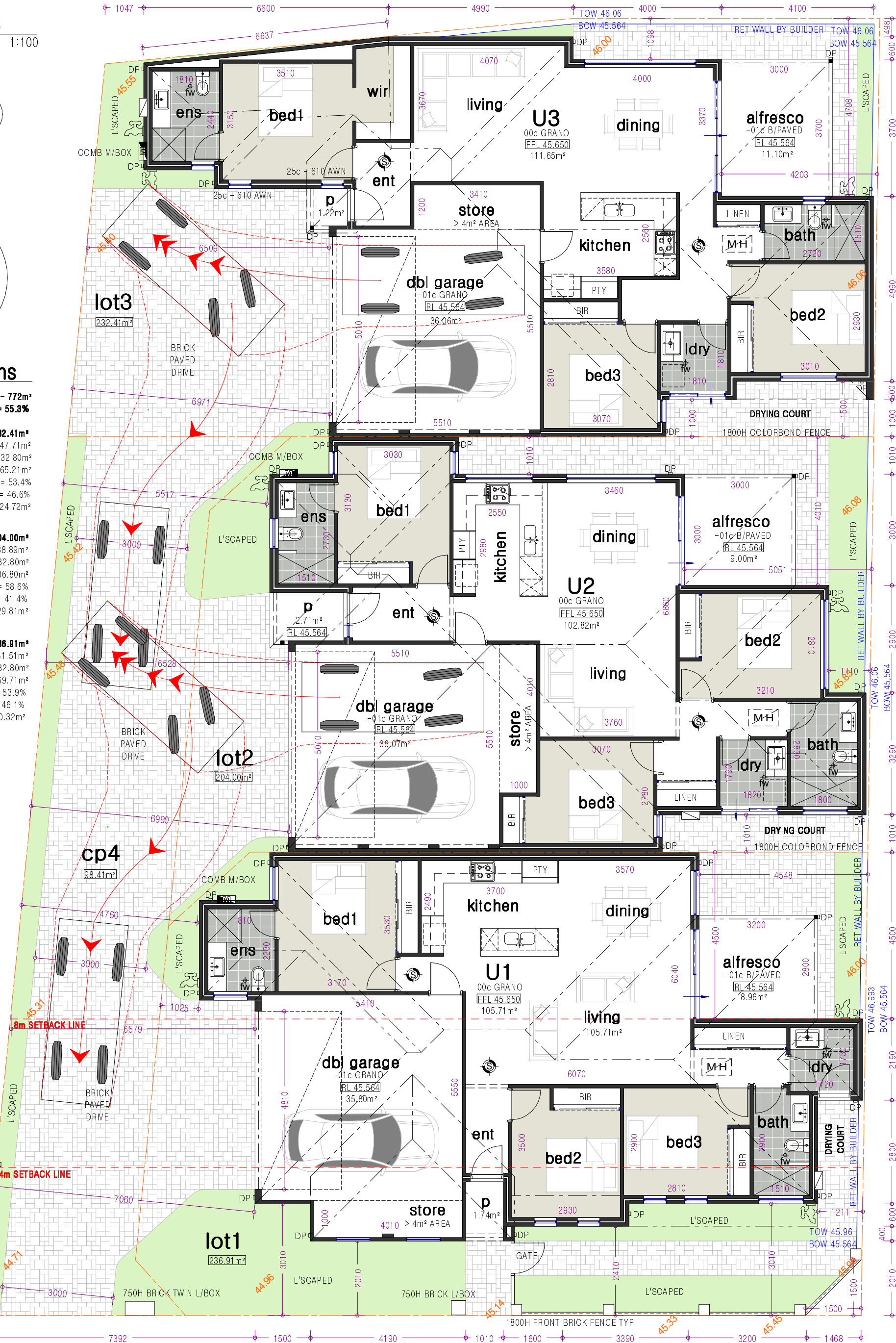
+ floor plans

1:100



+ site calculations

SITE AREA	- 772m²
TOTAL SITE COVERAGE	= 55.3%
LOT 3	- 232.41m²
UNIT 3	- 147.71m²
33% COMMON AREA	- 32.80m²
BUILDING AREA	- 147.71 / 265.21m²
PLOT RATIO	= 53.4%
OPEN SPACE	= 46.6%
OUTDOOR LIVING AREA	= 24.72m²
LOT 2	- 204.00m²
UNIT 2	- 138.89m²
33% COMMON AREA	- 32.80m²
BUILDING AREA	- 138.89 / 236.80m²
PLOT RATIO	= 58.6%
OPEN SPACE	= 41.4%
OUTDOOR LIVING AREA	= 29.81m²
LOT 1	- 236.91m²
UNIT 1	- 141.51m²
33% COMMON AREA	- 32.80m²
BUILDING AREA	- 145.51 / 269.71m²
PLOT RATIO	= 53.9%
OPEN SPACE	= 46.1%
OUTDOOR LIVING AREA	= 20.32m²



general notes

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- VERIFY ALL PLUMBING AND A/C DUCTS PRIOR TO POURING CONCRETE SUSPENDED SLAB.
- WET AREA & APPLIANCE DETAILS PROVIDED BY OWNER.CONFIRM FIXTURES WITH OWNER PRIOR TO POURING CONCRETE SLAB.
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22-10-20	DRAWINGS AMENDED AS PER DA2020/1163		revision :
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		PROPOSED - 3 GROUPED DWELLINGS	sheet :
		LOT 9 #3 CELESTINE STREET,	04/06
		WANNEROO, W.A. 6065	scale:
date :	job no :		1:100 @ A3
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	LOT 9 #3 CELESTINE STREET, WANNEROO, W.A. 6005	sheet :
		05/06
	date :	scale:
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26-08-20	CONCEPT DESIGN ISSUED FOR CLIENT REVIEW	KEVIN LION & HE ZHANG	22/10/2020
01-09-20	DRAWINGS ISSUED FOR DEVELOPMENT APPROVAL		2:38 PM
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		WANNEROO, W.A. 6065	scale:
date :			1:100 @ A3
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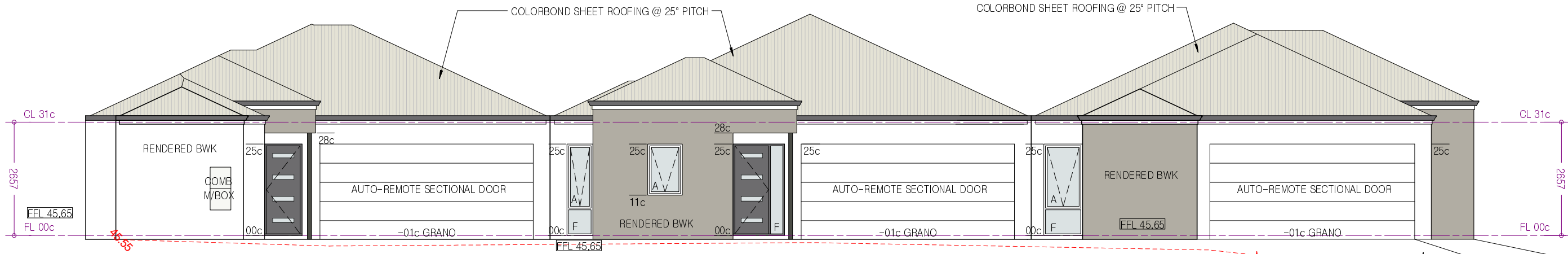
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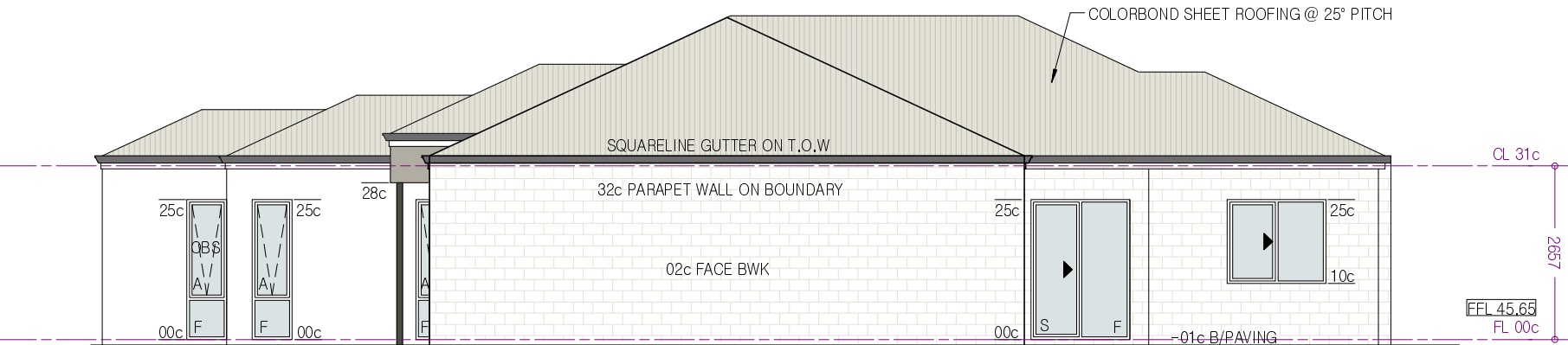
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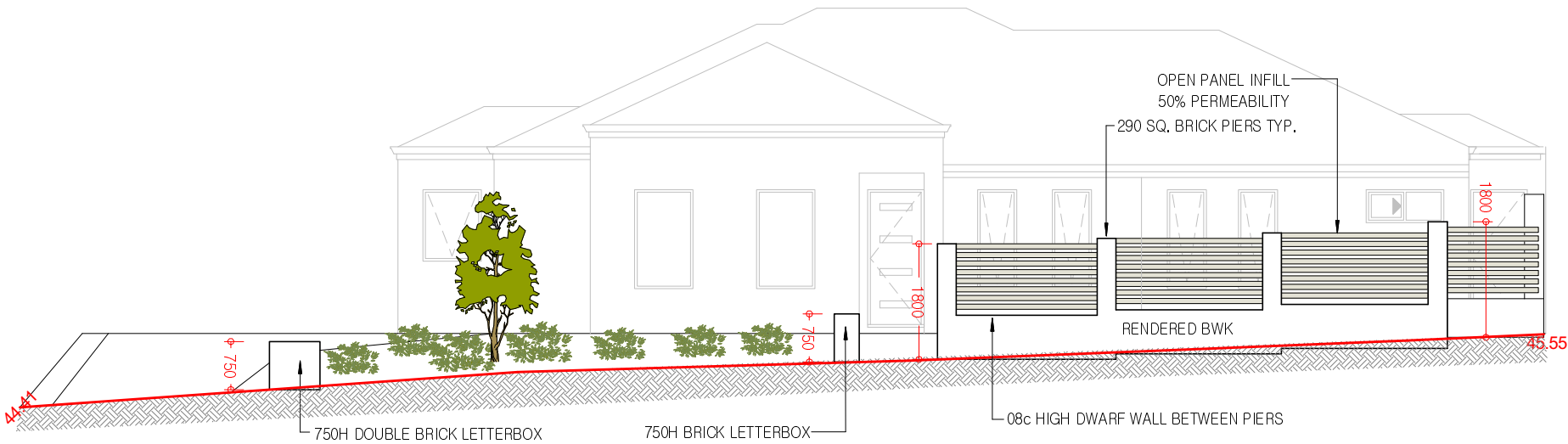
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+ west elevation 4



+ rear drive elevation



+ front fence elevation