

PROPOSED RESIDENCE

PECOTICH

LOT 615 (#146) REFLECTION BLVD, JINDALEE



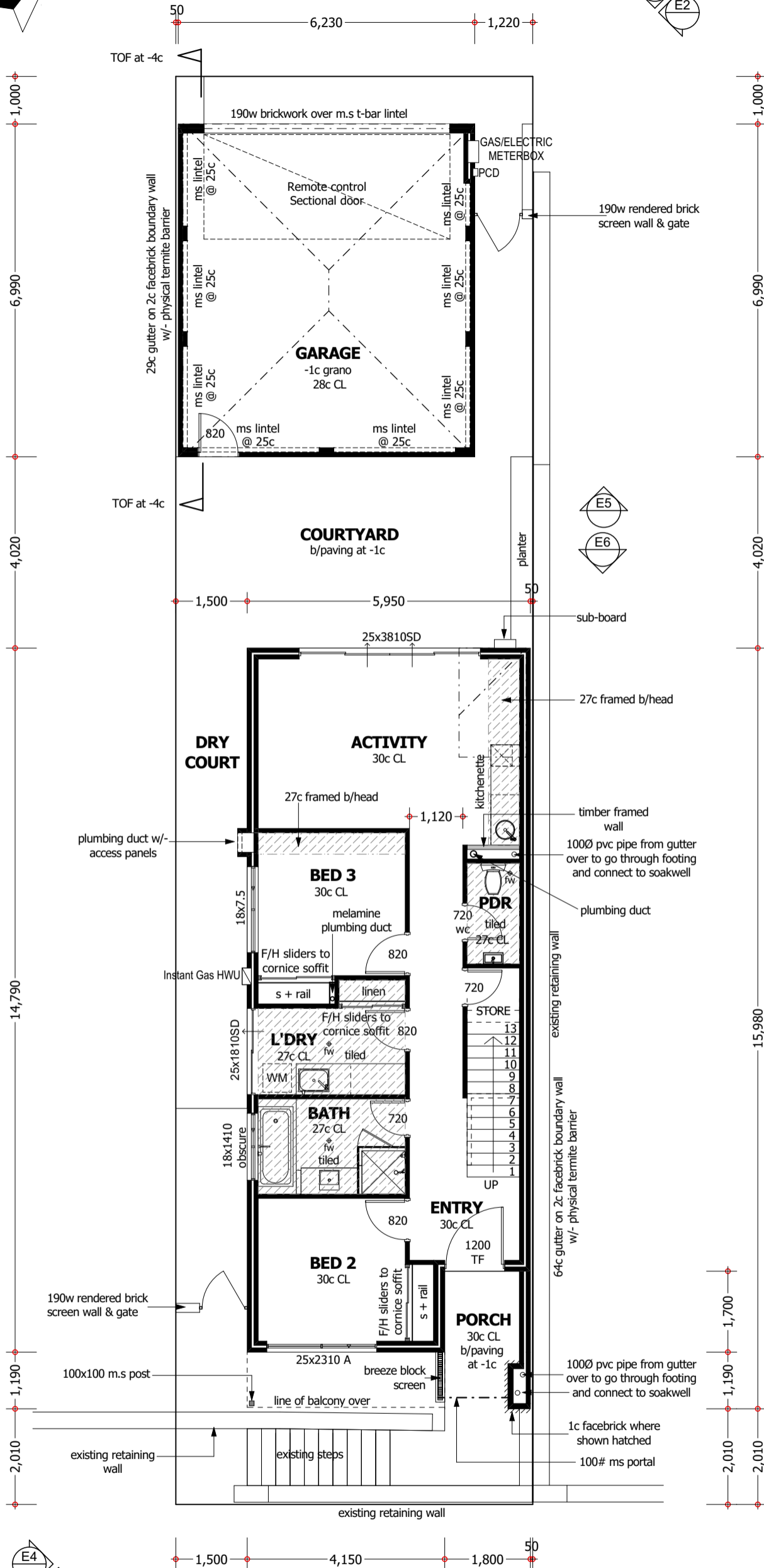
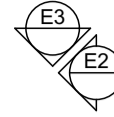
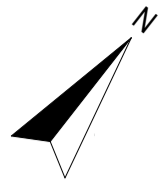
DESIGN NOTES

25°38' GARAGE ROOF PITCH
 25°38' REAR GROUND FLOOR ROOF PITCH
 25°38' UPPER FLOOR ROOF PITCH
 METAL ROOF

30c GROUND FLOOR TO CEILING
 31c + PLATE UPPER FLOOR TO CEILING

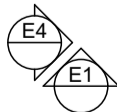
RENDERED BRICKWORK EXTERNALLY

Area Calc		
PORCH	5.16	9,380.0
BALCONY	6.92	14,280.0
GARAGE	43.55	26,440.0
UPPER FLOOR	84.57	41,480.0
GROUND FL...	84.94	41,480.0
		225.14 m ²



GROUND FLOOR PLAN

1:100



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PROPOSED RESIDENCE TO BE ERECTED ON:
Lot 615 (#146) Reflection Blvd
 Eden Beach - Jindalee
 FOR:
Josh Pecotich

SALES CONSULTANT: Mark Peers

LOCAL AUTHORITY:

ZONING: R60

SITE AREA: 225m²

SITE COVER: 58.46%

AMENDMENTS:

Custom

SHEET2 OF 6

DRN: cw

DATE: 01/09/20

DSN:

SCALE: 1:1, 1:100

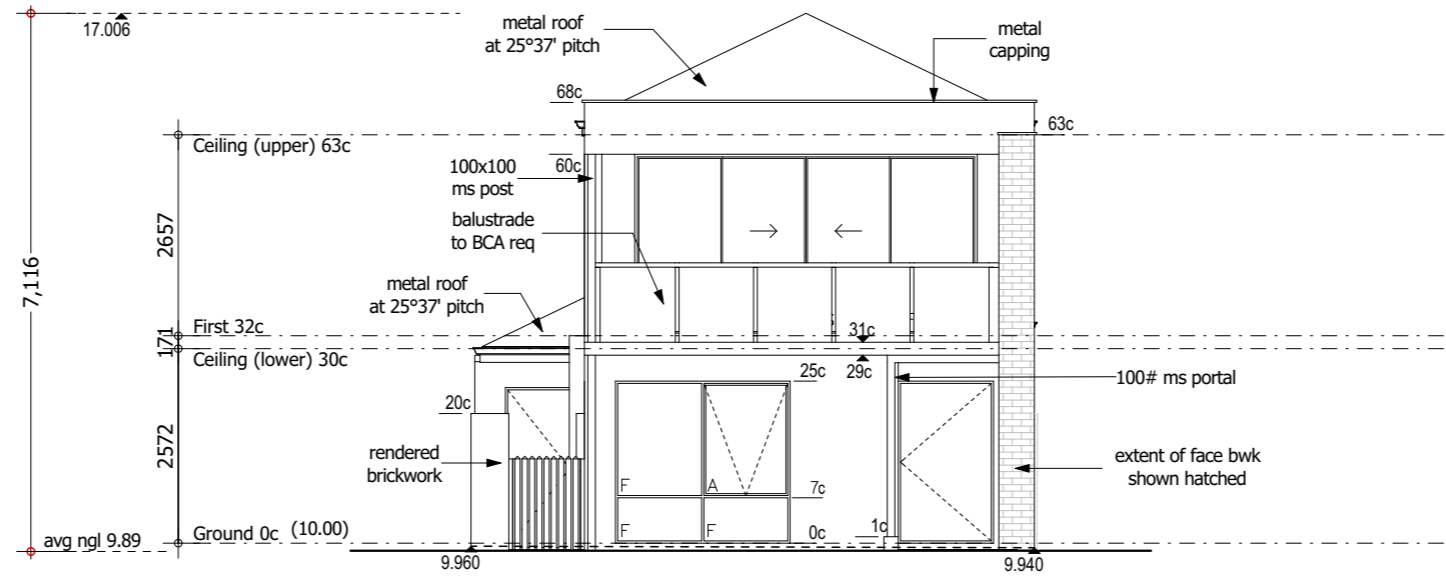
CONTRACT NO:
20238

DESIGN NOTES

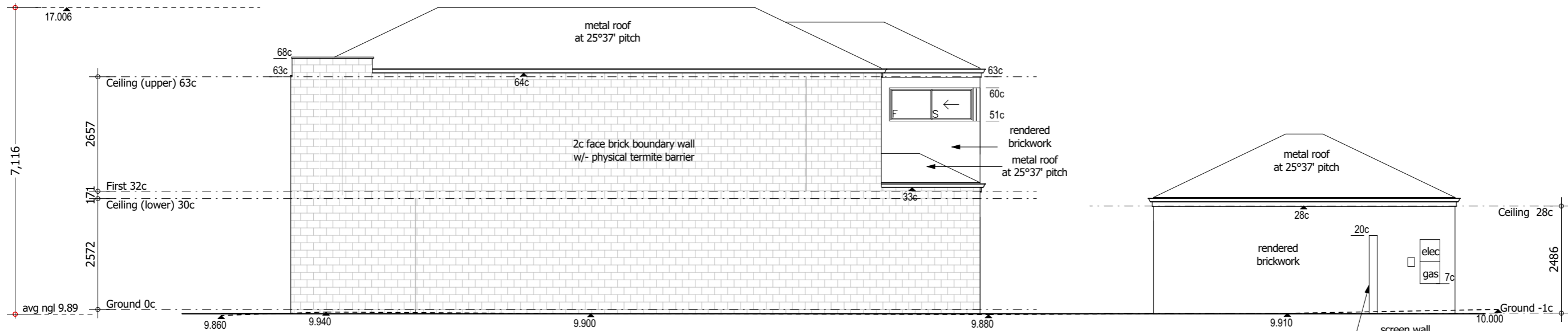
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RENDERED BRICKWORK EXTERNALLY



E1 FRONT ELEVATION
 1:100



E2 SIDE ELEVATION
 1:100

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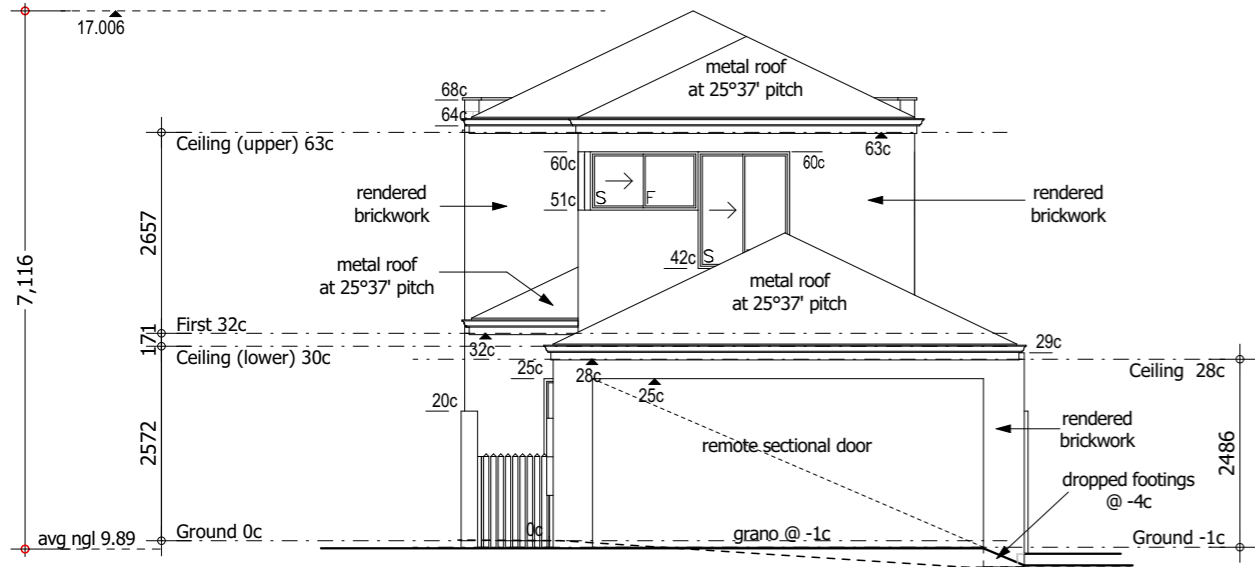
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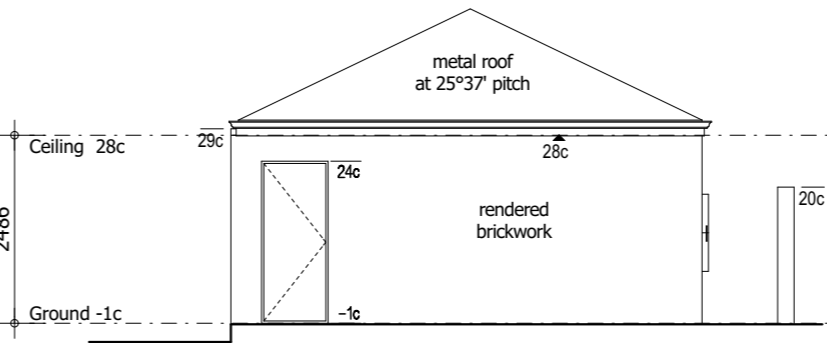
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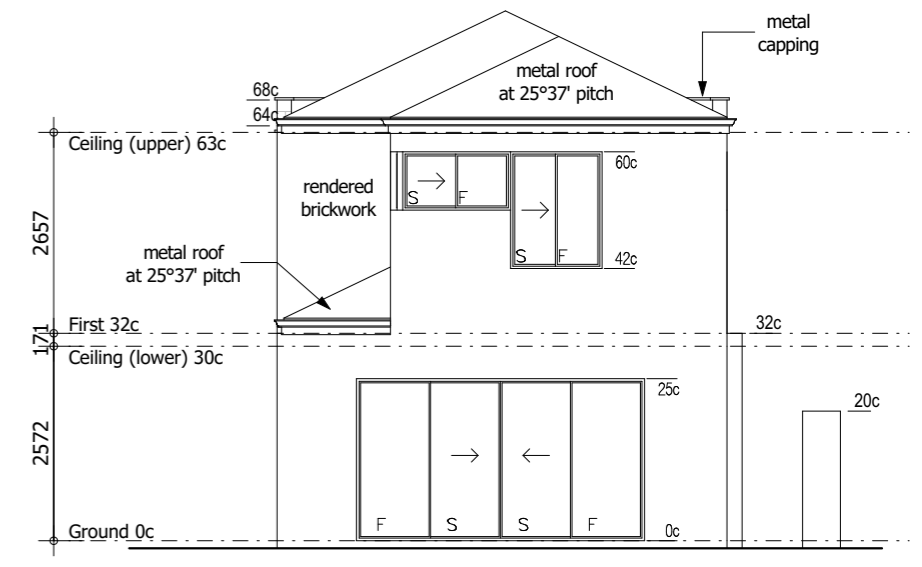
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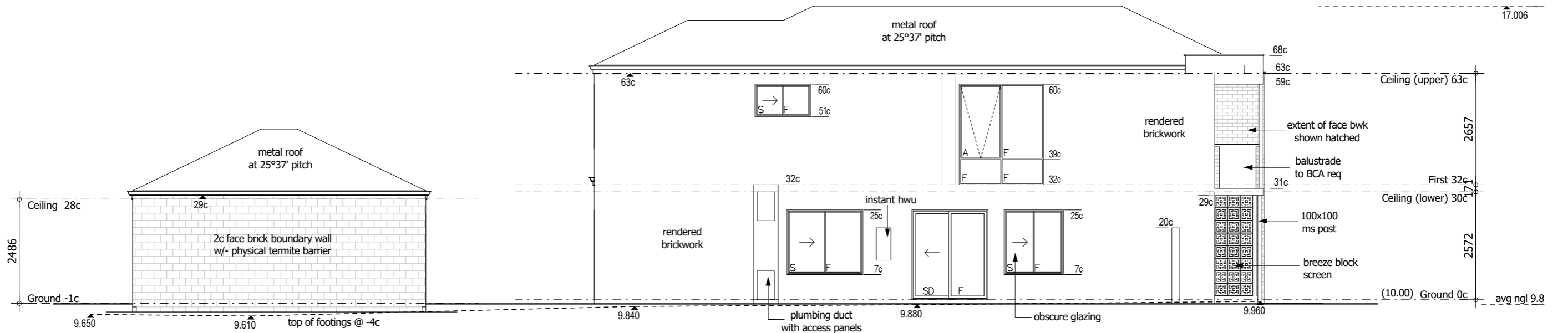
E3 REAR ELEVATION
1:100



E5 COURTYARD ELEVATION
1:100



E6 COURTYARD ELEVATION
1:100



E4 SIDE ELEVATION
1:100

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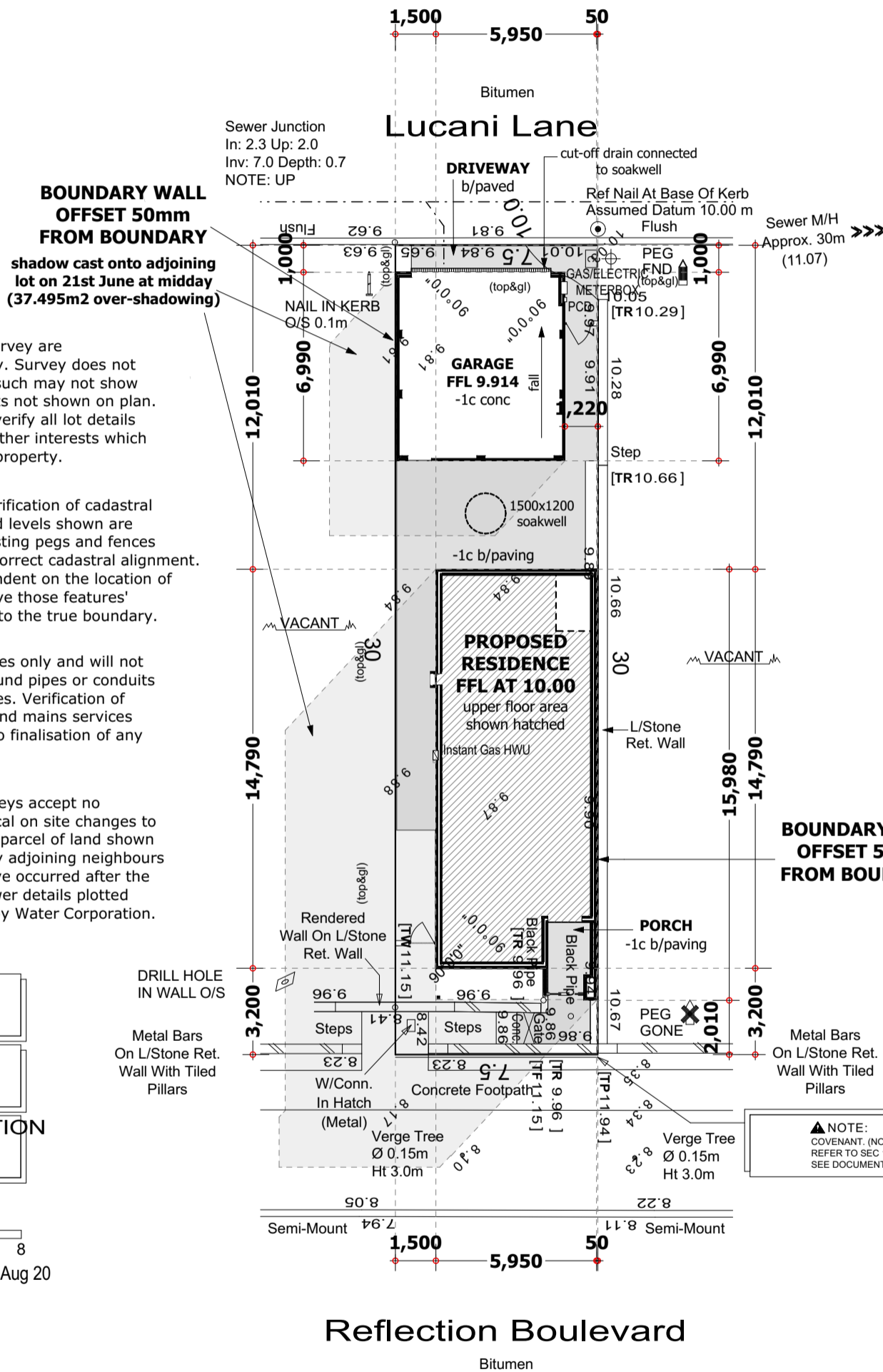
SCALE:1:100

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⊕	SEC Dome
⊖	Power Pole
⊗	Phone Pits
⊘	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DISCLAIMER:



DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT M911349

LOT MISCLOSE
0.000 m

SOIL DESCRIPTION
Sand / L/Stone(Poss)
Light Grass Cover

Scale 1:200
0 2 4 6 8

Scale 1:200 Date: 21 Aug 20

NOTE:
COVENANT. (NO ACCESS)
REFER TO SEC 150 P&D ACT.
SEE DOCUMENT

SITE PLAN - PROPOSED
1:200

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