

+	SEC Dome
⊕	Power Pole
⊕	Phone Pits
W	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

LOT MISCLOSE
0.000 m
SOIL DESCRIPTION
Refer to Survey

External Floor Finish Calculations	
Location	Area
Grano	
GARAGE	42.33
STORE	3.13
	45.46 m ²
Paving	
ALFRESCO	33.64
CROSSOVER	29.41
DRIVEWAY / PATH	38.12
PORCH	6.21
	107.38 m ²
	152.84 m ²

SPECIAL E & OE

TYPE : 2c-BWK LUXE SPECIFICATION	MODEL N°			
© COPYRIGHT	SP-01			
REV	VO #	DRN	DATE	CHK
1	Doc No. 1	MN	24/03/20	SG
2	Doc No. 2	WK	09-07-20	AM
			30-07-20	WK

Sub-contractors to verify all dimensions on site.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

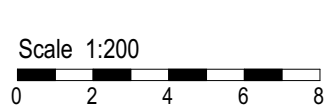
DATED:...../...../.....

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

SHEET N° **03 OF 9**
 + 3 ANC

JOB N° **40006**

REVISION **2** DATE **30-07-20**



NOTE:
 TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

WIND CLASSIFICATION AS PER A.S. 4055:
 N1 - FOR GROUND STOREY OF RESIDENCE

PLUMBER NOTE:
 • PROVIDE REFLUX VALVE TO SEWER LINE.

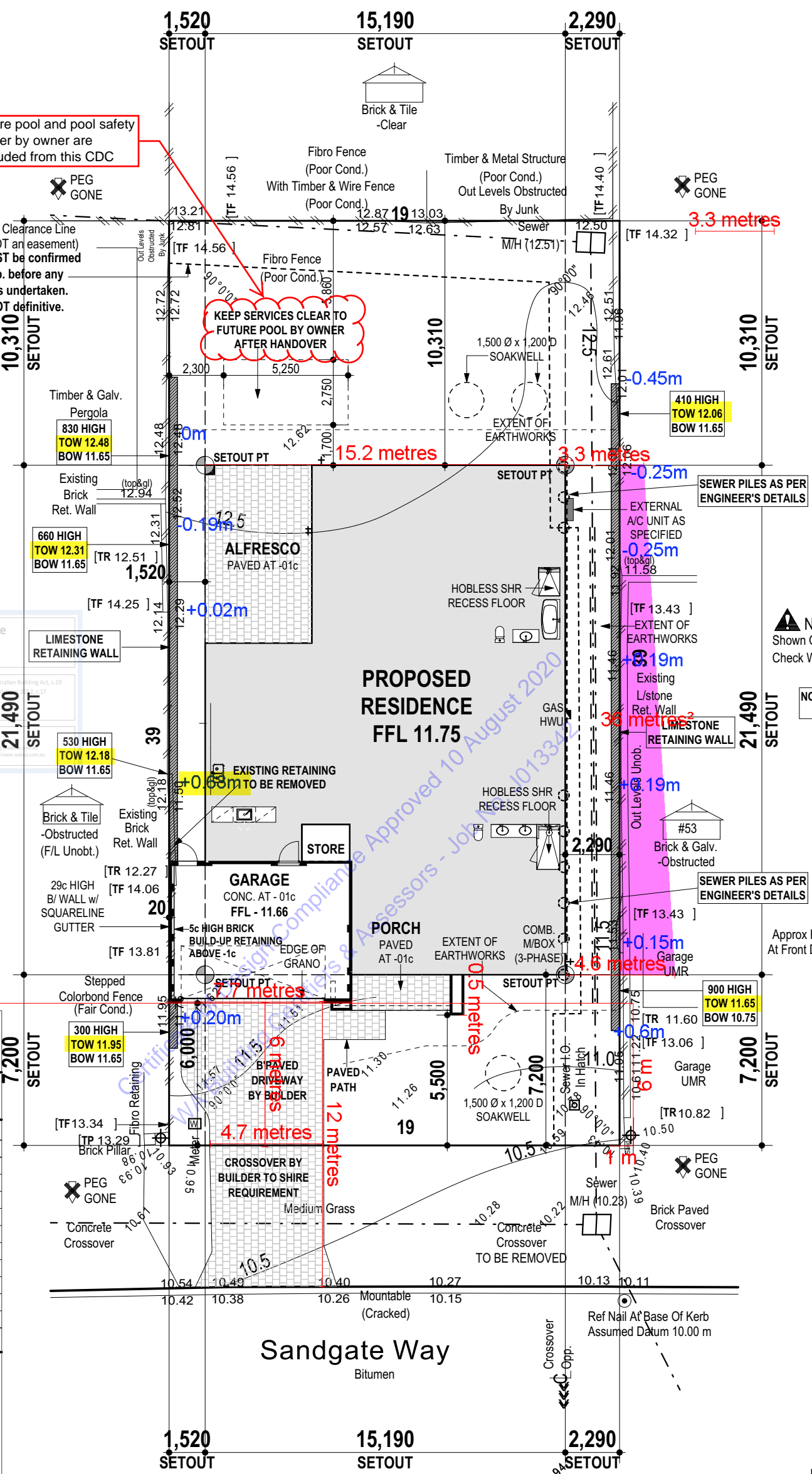
ZONED - R20
SITE COVER CALC'S (50%)
 315.31m² / 741.0m² = 42.55%
OPEN SPACE CALC'S
 425.69m² / 741.0m² = 57.45%

STORM WATER CALC'S

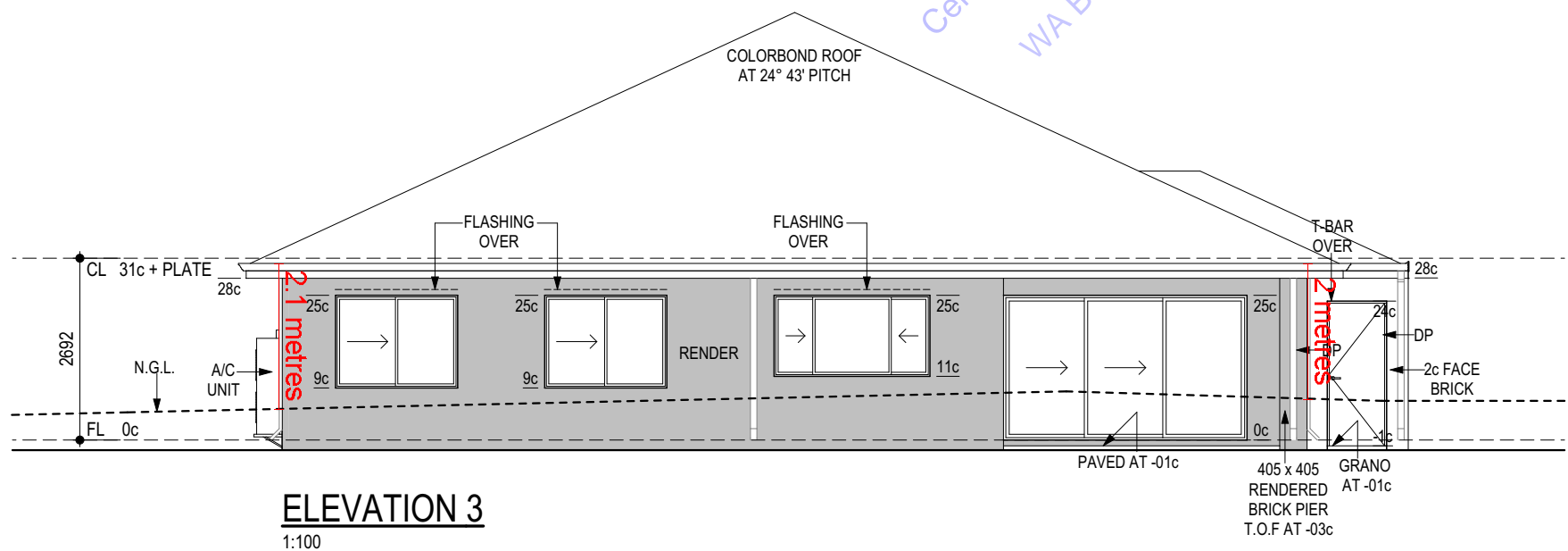
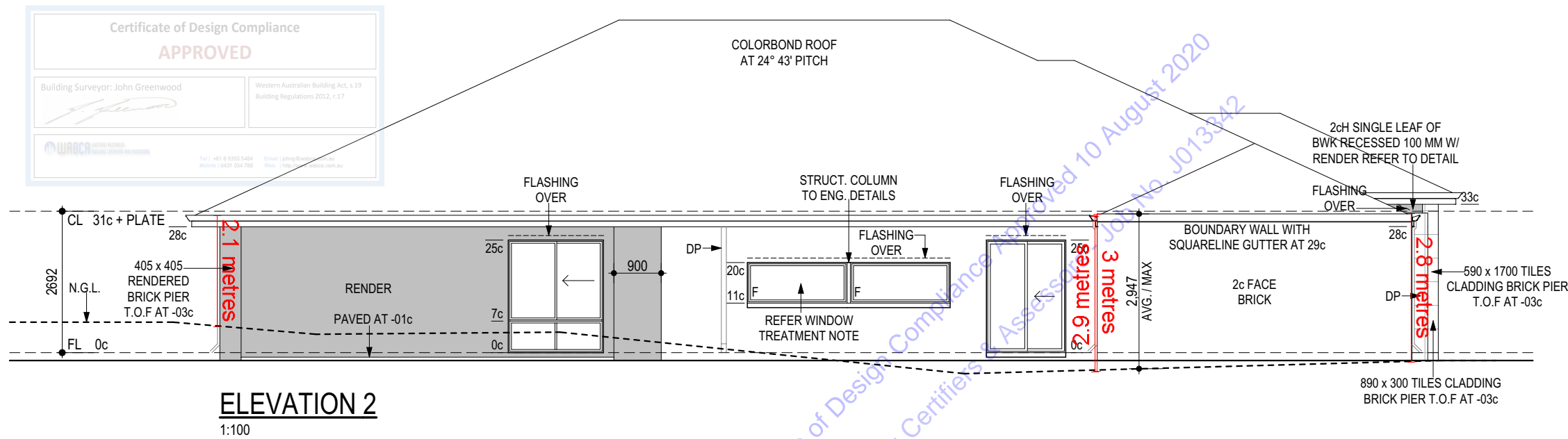
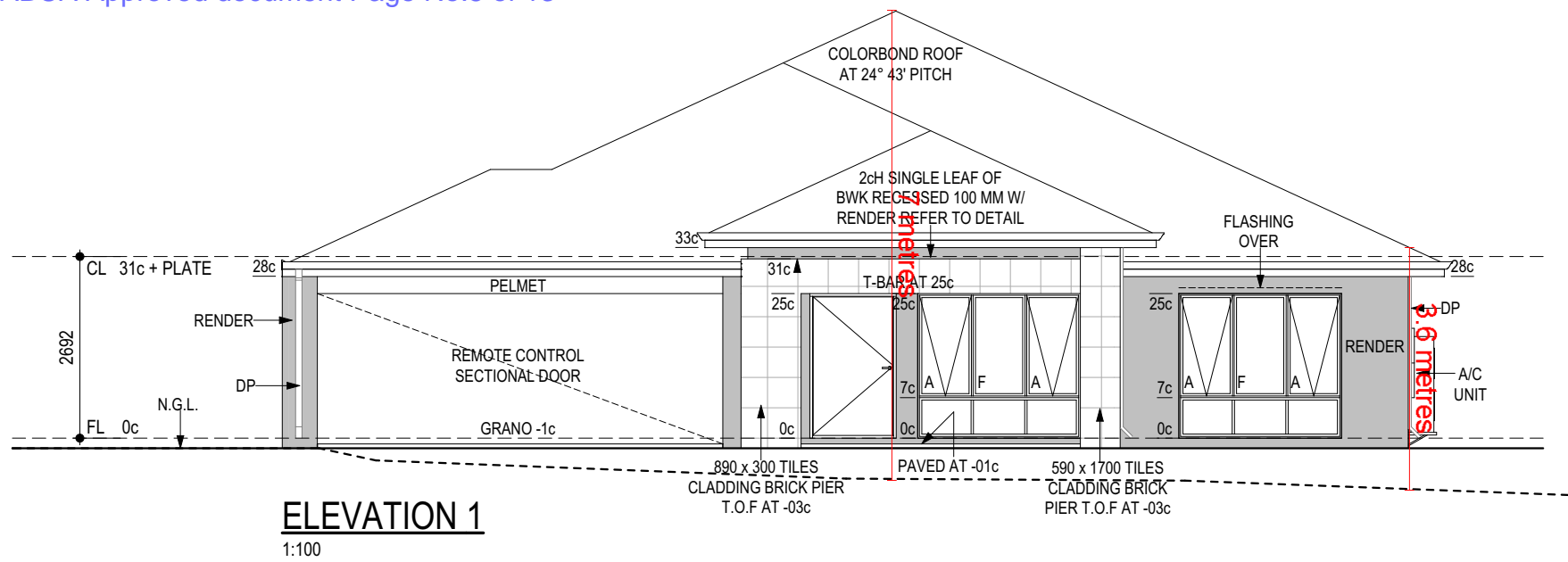
ROOF AREA = 385.07m²
 RAINFALL x 0.015
TOTAL TO CONTAIN = 5.78m³

STORM WATER SYSTEM
 (3x) 1500Ø x 1200D SOAKWELL @ 2.12m³ ea = 6.36m³
TOTAL SYSTEM CAPACITY = 6.36m³

NOTE:
 - EARTHWORKS TO BE CARRIED OUT BY BUILDER.
 - ALL STORMWATER DISPOSAL TO SOAKWELLS TO LOCAL SHIRE'S REQUIREMENTS BY BUILDER
 - LOCATION OF DOWNPIPES IS INDICATIVE ONLY & MAY BE CHANGED AT BUILDERS DISCRETION.
 - DO NOT SCALE FROM DRAWINGS.
 - PLANS TO BE READ IN CONJUNCTION WITH ADDENDA AND WORK ORDER.
 NOTIFY BUILDER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.



- GENERAL NOTES:**
- GROUND FLOOR
 - METEL ROOF @ 24° 43' PITCH
 - CEILINGS AT 31c +PLATE THROUGH U.N.O



Certificate of Design Compliance Approved 10 August 2020
WA Building Certifiers Assessment Job No. J013342

REVISION	2
E & OE	
DATE	30-07-20
MODEL N°	SP-01
TYPE: 2c BWK LUXE SPECIFICATION	
SHEET N°	05 OF 9
JOB N°	40006

CLIENT: MILOSESKI & MILOSESKA
ADDRESS: LOT 524 (#51) SANDGATE WAY MARANGAROO

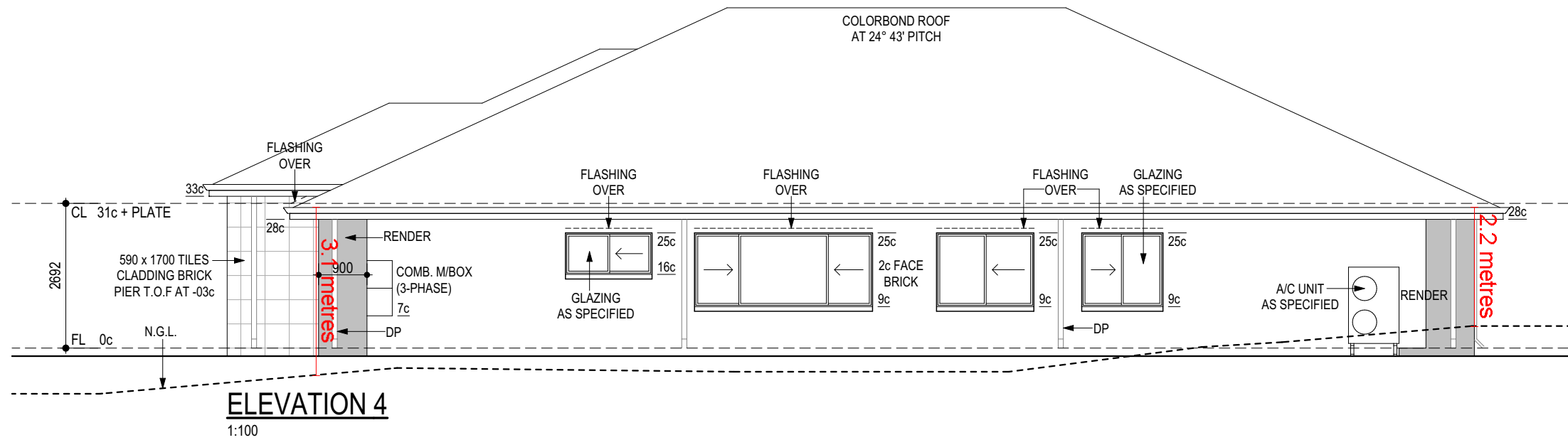
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OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

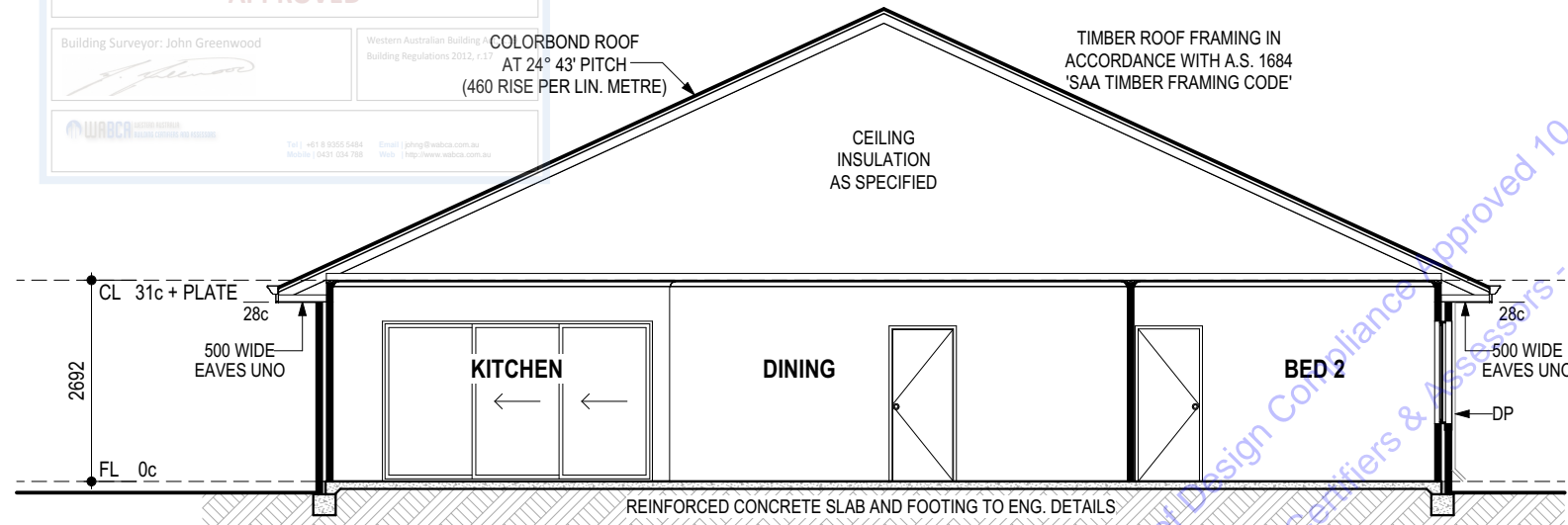
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		WK	WK	30-07-20

Plunkett Homes
34 Burton Street, Cammington, W.A. 6107.
PO Box 9, Victoria Park, W.A. 6979.
Ph 08 9466 4006
Fx 08 9259 4098
www.plunkett-homes.com.au
100% Warrant of Fitness. L.B.N. #103925317.

- GENERAL NOTES:**
- GROUND FLOOR
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ELEVATION 4
1:100



SECTION X-X
1:100

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E & OE	
DATE	30-07-20
MODEL N°	SP-01
TYPE: 2c BRK LUXE SPECIFICATION	
© COPYRIGHT	
SHEET N°	06 OF 9
JOB N°	40006

CLIENT: **MILOSESKI & MILOSESKA**

ADDRESS: **LOT 524 (#51)
SANDGATE WAY
MARANGAROO**

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:

OWNER: WITNESS:

OWNER: WITNESS:

BUILDER: WITNESS:

REV	VO #	DRN	DATE	CHK
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Sub-contractors to verify all dimensions on site.

Plunkett Homes

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