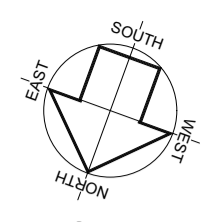


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REVISION	VO #	DRN	DATE	CHK
WD		MS	10.03.20	
VO	472593	FI	02.07.20	FI
VO	473467	JL	07.08.20	JL

CLIENT: _____
 DATE: _____
 CLIENT: _____
 DATE: _____
 BUILDERS REPRESENTATIVE: _____
 DATE: _____

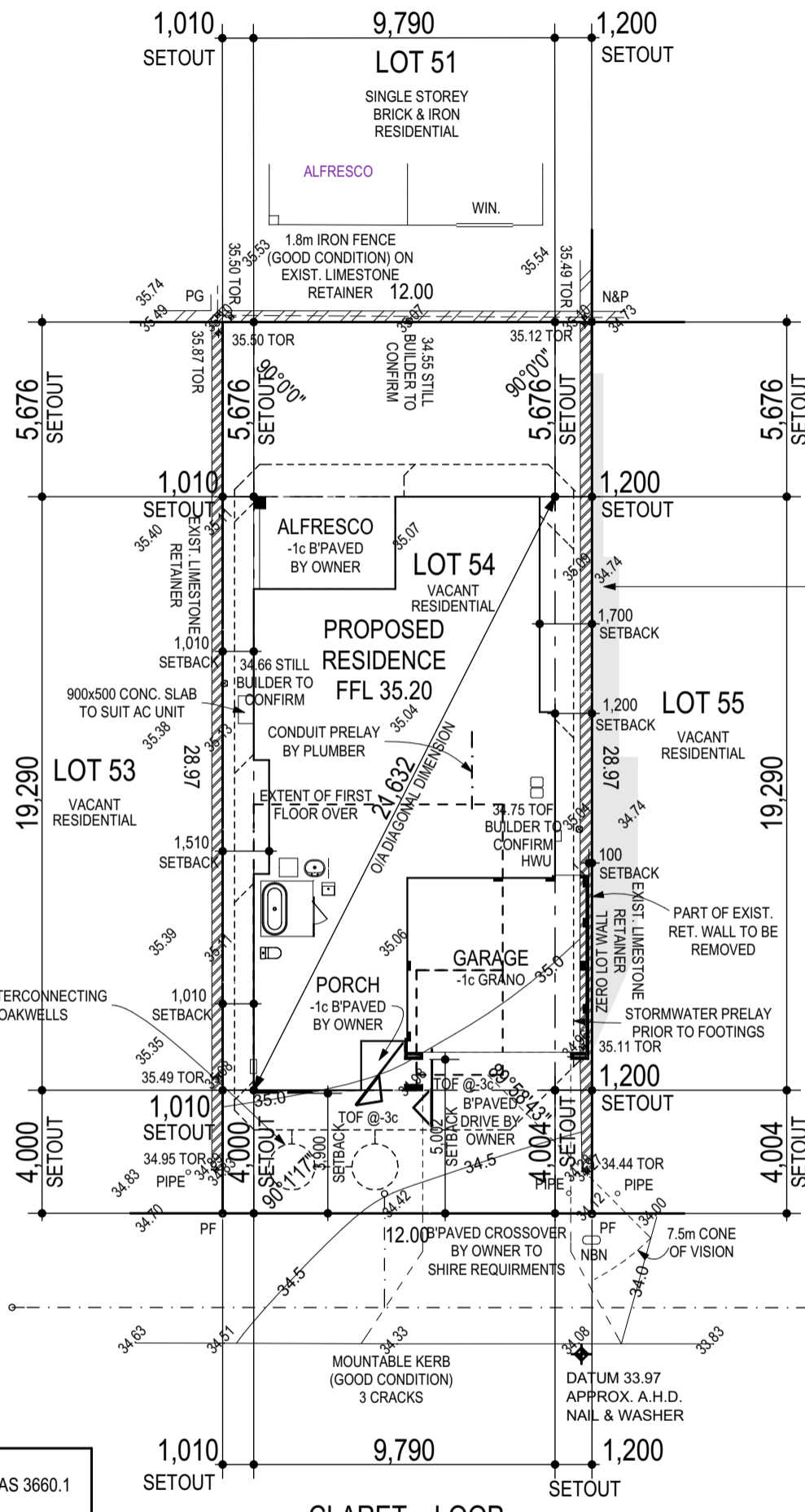


LOT 54
 348 m²
 SANDY

NOTE:
 DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.

SHEET N°
1 OF 15

COMMON LEGEND	
○ PF	PEG FOUND
○ Pdist	PEG DISTURBED
PG	PEG GONE
◆	DATUM / CONTROL
○ SV	STOP VALVE
○ HY (GROUND)	HYDRANT
○ FP	FLUSH POINT
⊕ TAP	WATER TAP
⊕ MC	METER CONNECTION
○ M	WATER METER
○	DRAINAGE MANHOLE
▢	GRATE
▢	SIDE ENTRY PIT
○ SEW	SEWER MANHOLE
○ IS	INSPECTION SHAFT
○ IO	INSPECTION OPENING
○ CP	CONSUMER POLE
○ PP	POWER POLE
○ LP	LAMP POST
○ SP	STAY POLE
○ PD	POWER DOME / PILLAR
TEL / NBN	TELSTRA / NBN PIT
□ GAS	GAS METER
⊗ G	GAS LINE MARKER (PT)
99 TOW	TOP OF WALL
99 TOR	TOP OF RETAINER
99 STILL	STILL DEEPER
99 TOB	TOP OF BACKING BLOCK
99 TOF	TOP OF FOOTING
99 BOR	BOTTOM OF RETAINER
99 BOF	BOTTOM OF FENCE FRAME
SERVICE INFORMATION	
SEWERAGE:	YES
WATER:	NO BTC
PRELAD:	NO BTC
GAS:	NO BTC
COMM:	YES
POWER:	U/G BTC
TBE - To Be Establish; BTC - Builder To Confirm	
THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION; SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.	



OVERSHADOWING:
 SHADOW AREA OF 19.77m²
 LOT 54 AREA OF 348m²
 SHADOWING OF 6.20% OF LOT 55

R30/LDP

SITE COVER
 RESIDENCE AREA: 171.84m²
 TOTAL SITE AREA: 348m²
 = 49.45% SITE COVERAGE

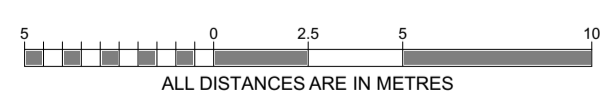
NOTES:
 ALL REVERSING BAYS, TURNING CIRCLES AND DRIVEWAYS HAVE BEEN DESIGNED TO MEET THE MINIMUMS THAT THE RESPECTIVE LOCAL SHIRES REQUIRE
 FINAL HOUSE POSITION/SETBACKS AND DRIVEWAYS SUBJECT TO SHIRE APPROVAL

TERMITE & EHB NOTE:
 TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.3
 H2 TREATED PINE INSTALLED TO TIMBERLINK BLUE RECOMMENDATIONS TO ROOF FRAMING
 ONGOING ANNUAL INSPECTIONS REQUIRED BY OWNER AFTER HANDOVER
 EXTERNAL EXPOSED TIMBER TO BE H3 TREATED TIMBER

NOTE: BOUNDARY POSITION AS PER ALIGNMENT
 WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

PROPOSED SITE PLAN

INTERESTS AND NOTIFICATIONS REFER TO PLAN DP 417722

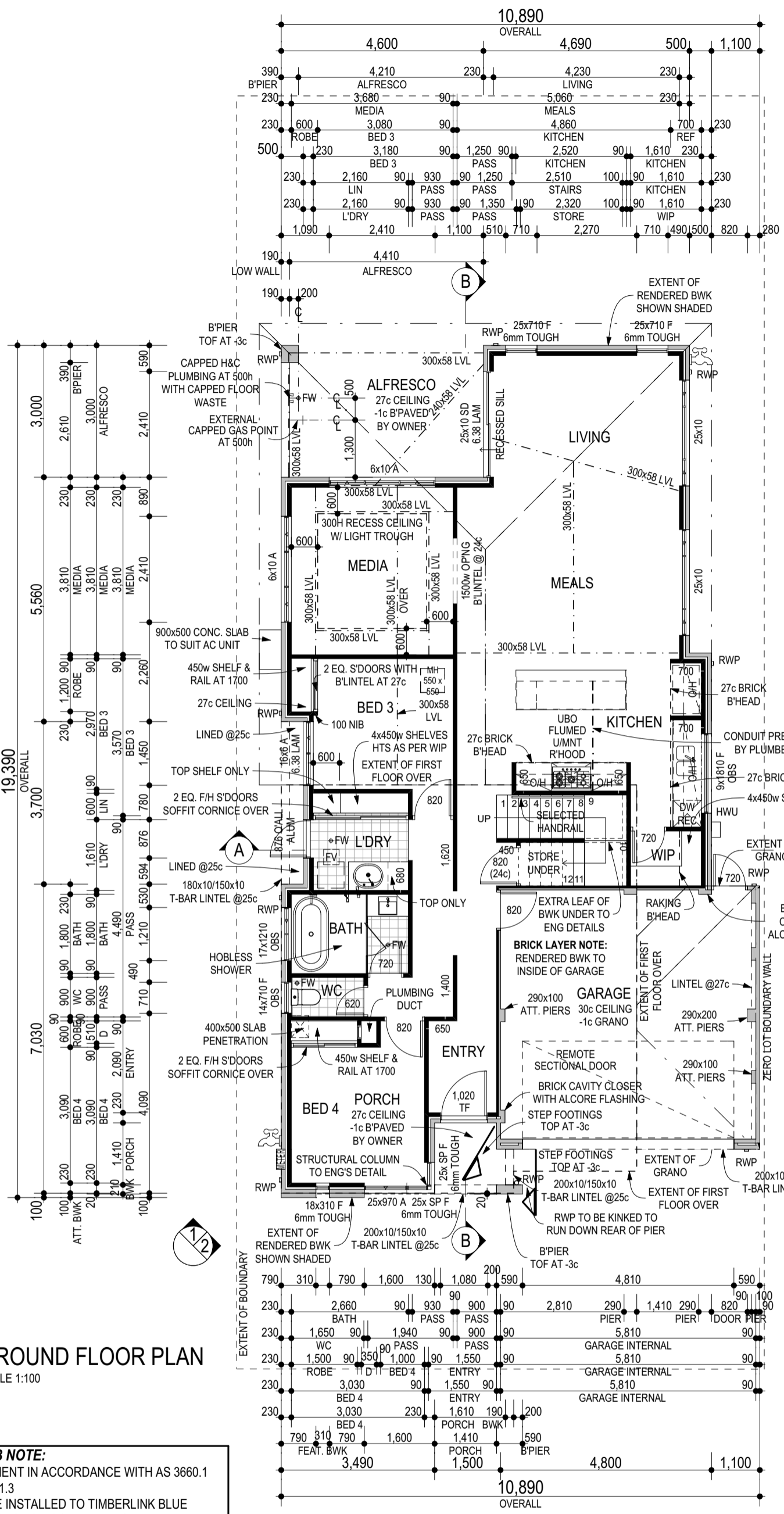


IO
 POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY
 SEWER INVERT LEVEL 31.88
 SEWER BROUGHT UP 2.3
 DEPTH TO CONNECTION 0.8



AUTOMATED SURVEYS
 LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS
 3 HASLER RD, OSBORNE PARK, WA 6017
 P.O.Box 1862, Osborne Park DC WA 6916
 Telephone (08) 9214 1777
 www.automatedsurveys.com.au

B					CLIENT: GALEA / BARTLETT
A	23/06/2020	SITE SURVEY	TEC	MJS	PROJECT: LOT 54 CLARET LOOP, WOODVALE
REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED
BUILDER:	VENTURA HOMES			PLAN:	DP 417722
REF.:	2011138			C/T.:	N/A
H. Grid:	LOCAL	A.H.D level: 32.28	A.H.D. value	SEWER M/H	Distance
V. Datum:	APPROX.	Local level: 32.28	derived from:	AE7981	from Datum: 33.53 m
			Approx. 7.6 km FROM COAST LINE		SHEET:
			distance: 1.3 km FROM LAKE		DRAWING No.:
					232674
					REV: A



ROOF AREA[m2 ON THE FLAT]		128.19
AREAS - GROUND		
	PERIM. (m)	AREA (m ²)
HOUSE	59.16	134.18
GARAGE	23.96	34.96
ALFRESCO	15.20	13.80
PORCH	6.80	2.65
		185.59 m ²

GROUND FLOOR PLAN
SCALE 1:100

ALL TRADES NOTE:
KEEP AREA 500 OF CENTER LINE OF RANGEHOOD CLEAR OF ALL CHASING, BEAMS AND JOISTS.

BUSHFIRE NOTE:
BAL LEVEL TBA
CONSTRUCTION TO BE IN ACCORDANCE WITH
NCC 2016 - BCA VOLUME 2 PART 3.7.4 BCA & AS 3959-2009

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA

NOTE:
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TERMITE & EHB NOTE:
• TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 AND BCA PART 3.1.3
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• ONGOING ANNUAL INSPECTIONS REQUIRED BY OWNER AFTER HANDOVER
• EXTERNAL EXPOSED TIMBER TO BE H3 TREATED TIMBER



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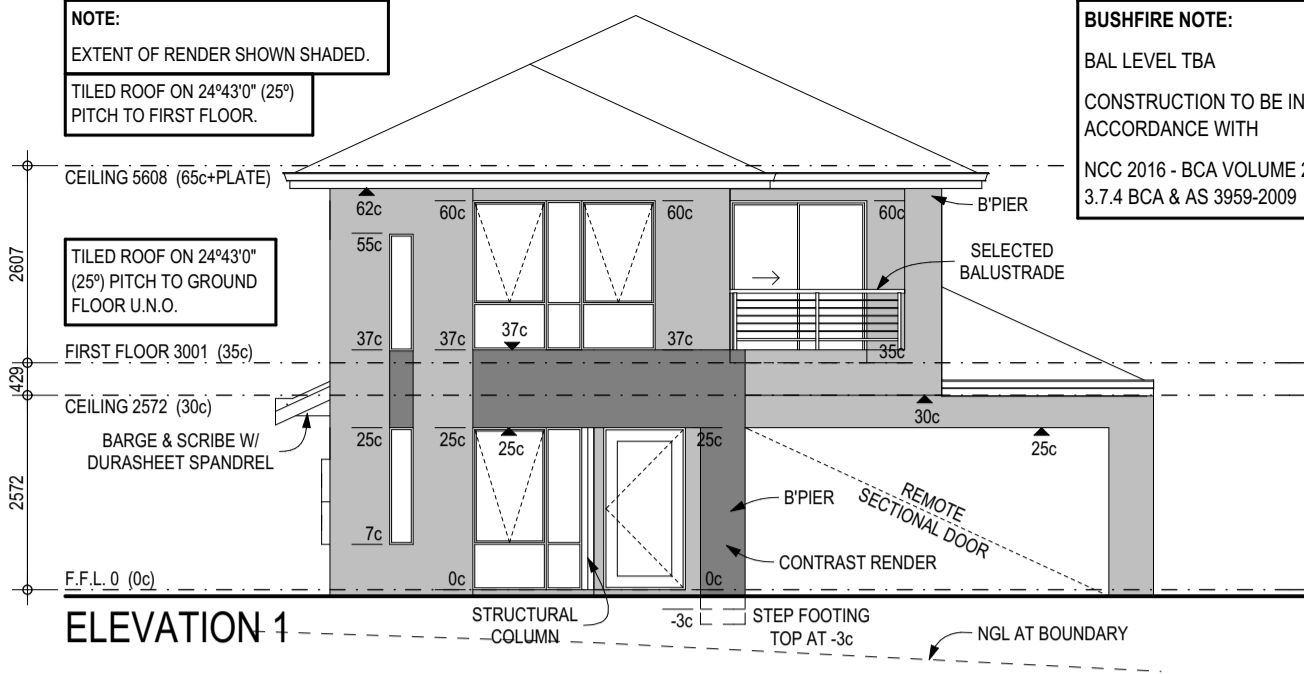
CLIENT:
GALEA & BARTLETT

ADDRESS:
**LOT 54
CLARET LOOP
WOODVALE**

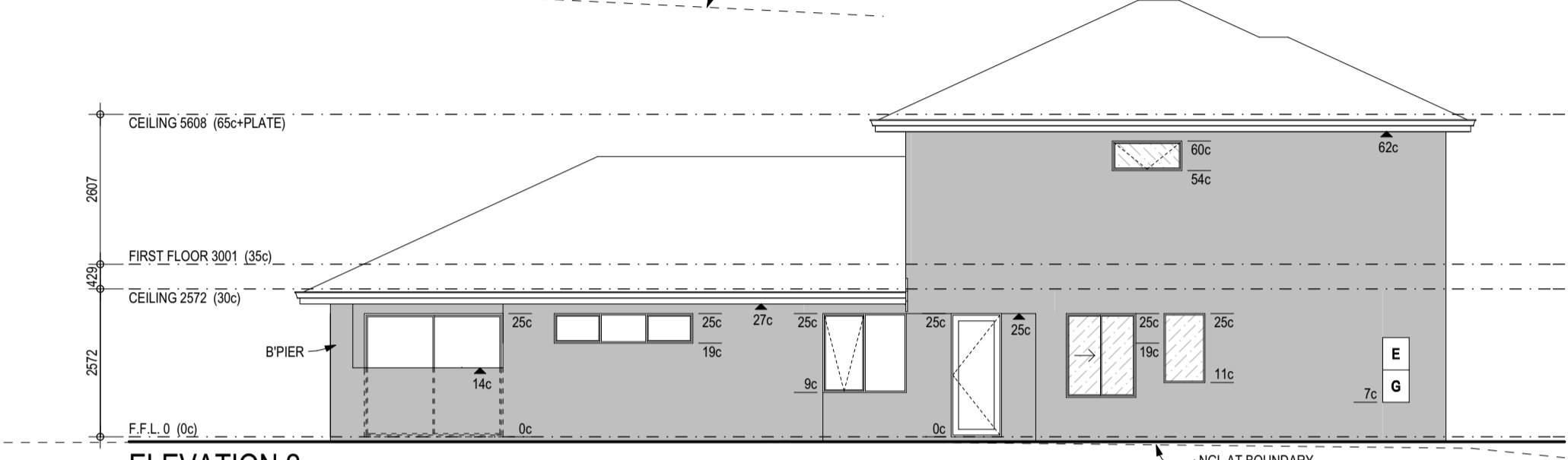
THE V2 LOUVRE	
SPEC	DATE
V-SPEC	01.07.20
VERSION N°	WIND RATING
	N1
MAP REF.	ENGINEERS DETAIL
187 / 19 / 04	D10V
JOB N°	SHEET N°
2011138	2 OF 15

NOTE:
 EXTENT OF RENDER SHOWN SHADED.
 TILED ROOF ON 24°43'0" (25°)
 PITCH TO FIRST FLOOR.

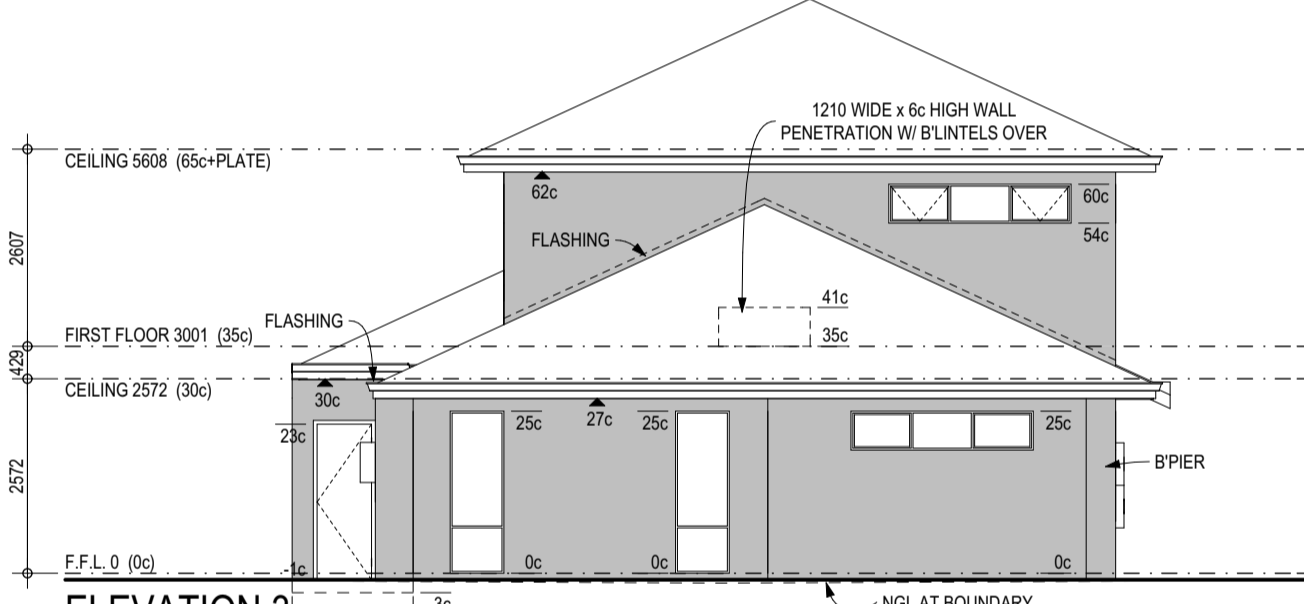
BUSHFIRE NOTE:
 BAL LEVEL TBA
 CONSTRUCTION TO BE IN
 ACCORDANCE WITH
 NCC 2016 - BCA VOLUME 2 PART
 3.7.4 BCA & AS 3959-2009



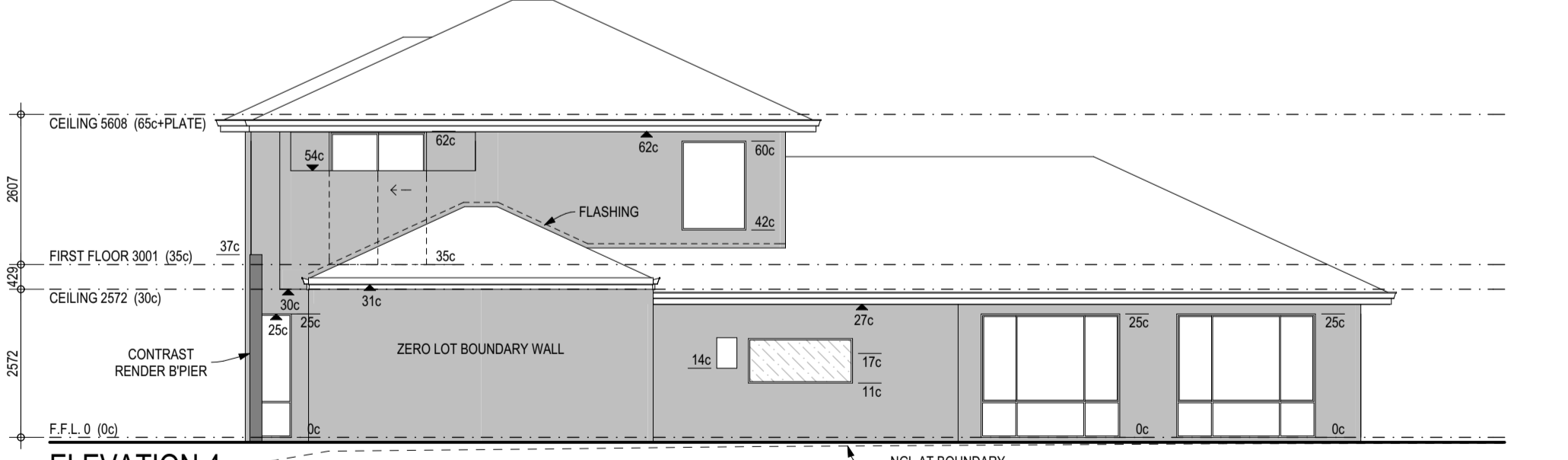
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

NOTE:
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 ALL DIMENSIONS ON SITE PRIOR TO SETTING
 OUT AND COMMENCING OF ANY WORK.



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 DATE: _____
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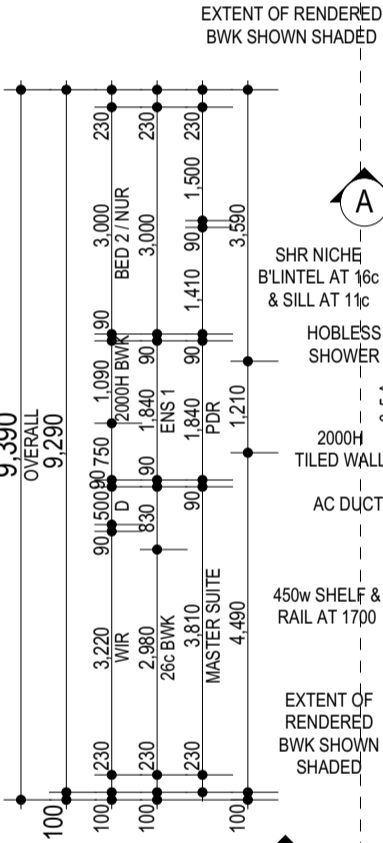
CLIENT:
GALEA & BARTLETT
 ADDRESS:
**LOT 54
 CLARET LOOP
 WOODVALE**

THE V2 LOUVRE	
SPEC V-SPEC	DATE 01.07.20
VERSION N°	WIND RATING N1
MAP REF. 187 / 19 / 04	ENGINEERS DETAIL D10V
JOB N° 2011138	SHEET N° 6 OF 15

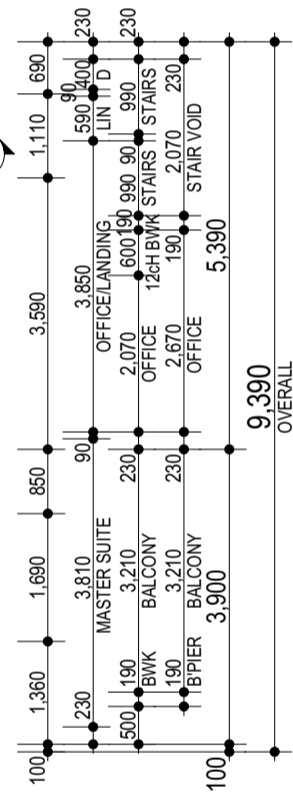
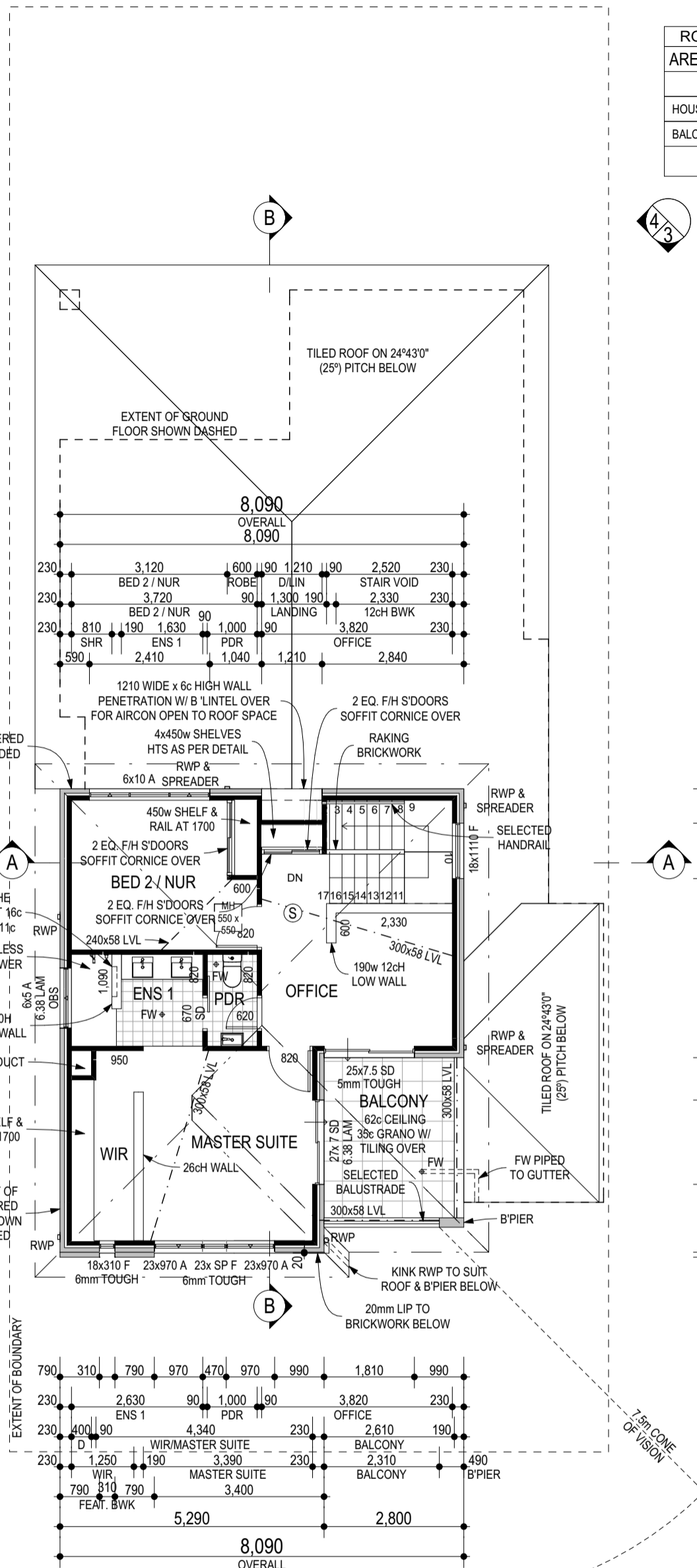
ROOF AREA[m2 ON THE FLAT]	92.14	
AREAS - FIRST		
	PERIM. (m)	AREA (m ²)
HOUSE (UPPER)	34.76	64.24
BALCONY	12.40	9.52
		73.76 m ²



LIN SHELVES SETOUT
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100



BUSHFIRE NOTE:
BAL LEVEL TBA
CONSTRUCTION TO BE IN ACCORDANCE WITH
NCC 2016 - BCA VOLUME 2 PART 3.7.4 BCA & AS 3959-2009

ALL TRADES NOTE:
ALL WINDOWS TO BE PROTECTED IN ACCORDANCE WITH BCA VOL 2 PART 3.9.2.5 WHERE APPLICABLE.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL ENGINEERS DETAILS, ALL RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA

NOTE:
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CLIENT:
GALEA & BARTLETT

ADDRESS:
**LOT 54
CLARET LOOP
WOODVALE**

THE V2 LOUVRE	
SPEC V-SPEC	DATE 01.07.20
VERSION N°	WIND RATING N1
MAP REF. 187 / 19 / 04	ENGINEERS DETAIL D10V
JOB N° 2011138	SHEET N° 3 OF 15