

R-CODES NOTE:

ZONING: R30 + DAP
SITE COVERAGE

SITE: 506.28m²
 ALLOWED COVER: 303.77m² (60%)
 ACTUAL COVER: 215.74m² (42.6%)

R-CODES VARIATION/PLANNING REQUIRED: YES

- WALL SETBACK LESS THAN 1.5M TO SIDE BOUNDARY MORE THAN 9.0 IN LENGTH
 - OVERLOOKING TO RETREAT WINDOW

BAL ASSESSMENT REQUIRED: YES

PAVING NOTE:

- 30m² OF PAVING REMAINING TO BE ALLOCATED AT PRE-START

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

PLUMBING NOTE:

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
 - NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
 - PLUMBER TO INSTALL REFLUX VALVE, IF REQUIRED.

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

STORMWATER:

- INTERCONNECTED SOAKWELLS BY BUILDER.
 ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE W/ NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.

Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m ³
Total Capacity		4.2 m ³
Roof Area GF		159.4 m ²
Roof Area UF		115.8 m ²
Total Area		275.3 m ²
Capacity Required (Area x 0.0130)		3.6 m ³
Extra Capacity Provided		0.7 m ³

SEWER RUN CALCULATOR:

Residence	1
F.F.L.	10.65
Sewer Invert	7.4
Sewer Length	27.268
Height	2195.53



DO NOT SCALE FROM THIS DRAWING
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ALL DIMENSIONS TO BRICKWORK.

LEGEND	⊕	SEC Dome
	⊕	Power Pole
	⊕	Phone Pits
	⊕	Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence	

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

DISCLAIMER:

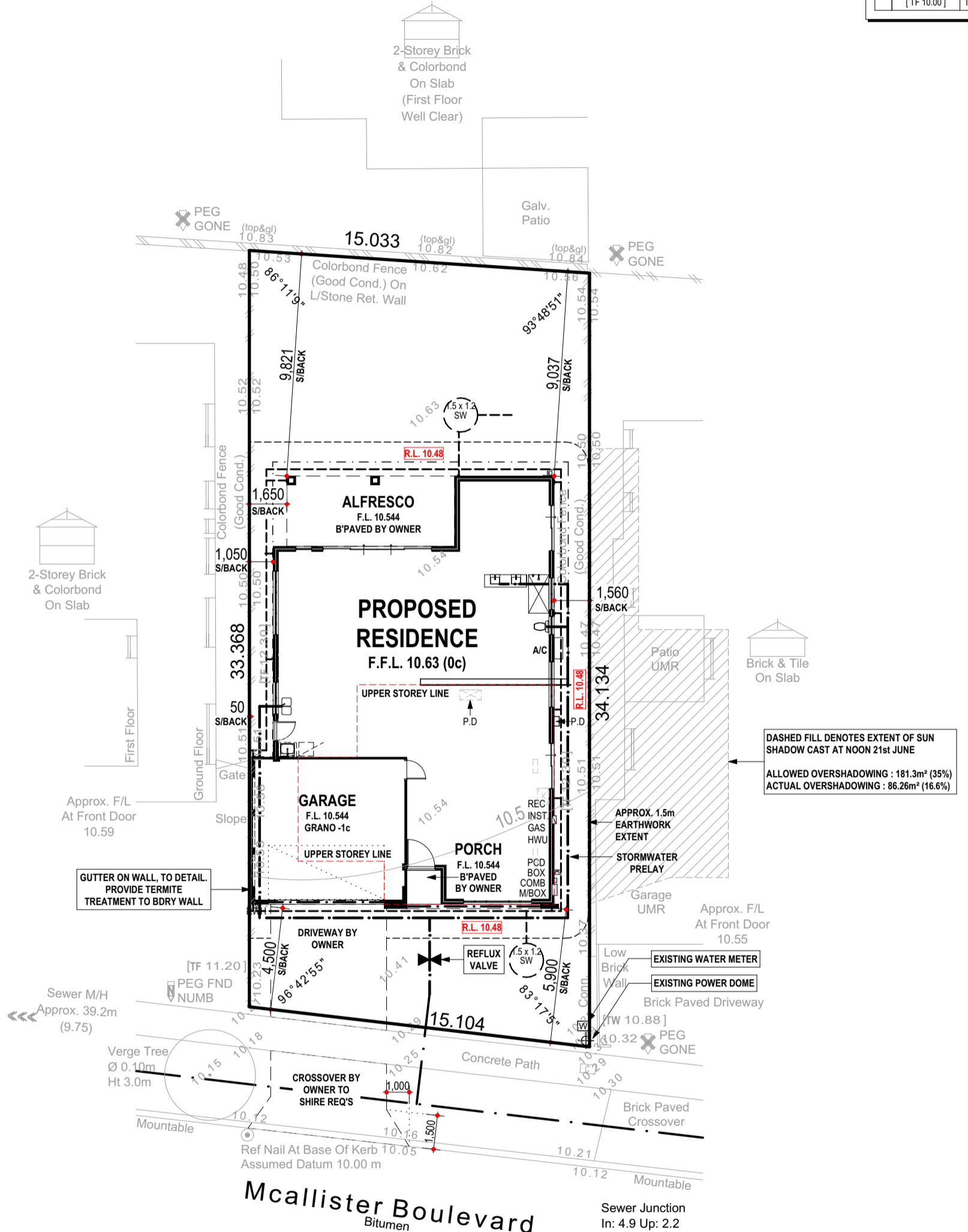
Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:

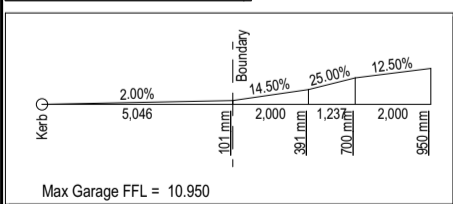
Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:

Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based on dependent on the location of existing features should have those features' location verified in relation to the true b'dary.



DRIVEWAY GRADIENT:



COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors
 87-89 Guthrie Street, Osborne Park, Western Australia.
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
 Email: perth@cottage.com.au Website: www.cottage.com.au

AREA: 506.28m²
 SHIRE: WANNEROO
 D.PLAN: 401457
 C/T VOLUMM: 2833
 FOLIO: 592
 MSD REF: 189- 09/25

ROAD DESCR.: BITUMEN
 KERBING: MOUNT
 FOOTPATH: CONC.
 SOIL: RTS
 DRAINAGE: GOOD
 VEGETATION: RTS

GAS: YES
 WATER: YES
 ELECTRICITY: U/G
 PH/COMMS: YES
 SEWER: YES
 COASTAL: NO

SSA/OLD AREAS: SSA
 C/JOB#: -
 DATE: -
 SCALE: 1:200
 DRAWN: -

PROPOSED RESIDENCE FOR:
D. & K. SCROOBY

ADDRESS:
 LOT 128 (#43) MCALLISTER BOULEVARD,
 CLARKSON

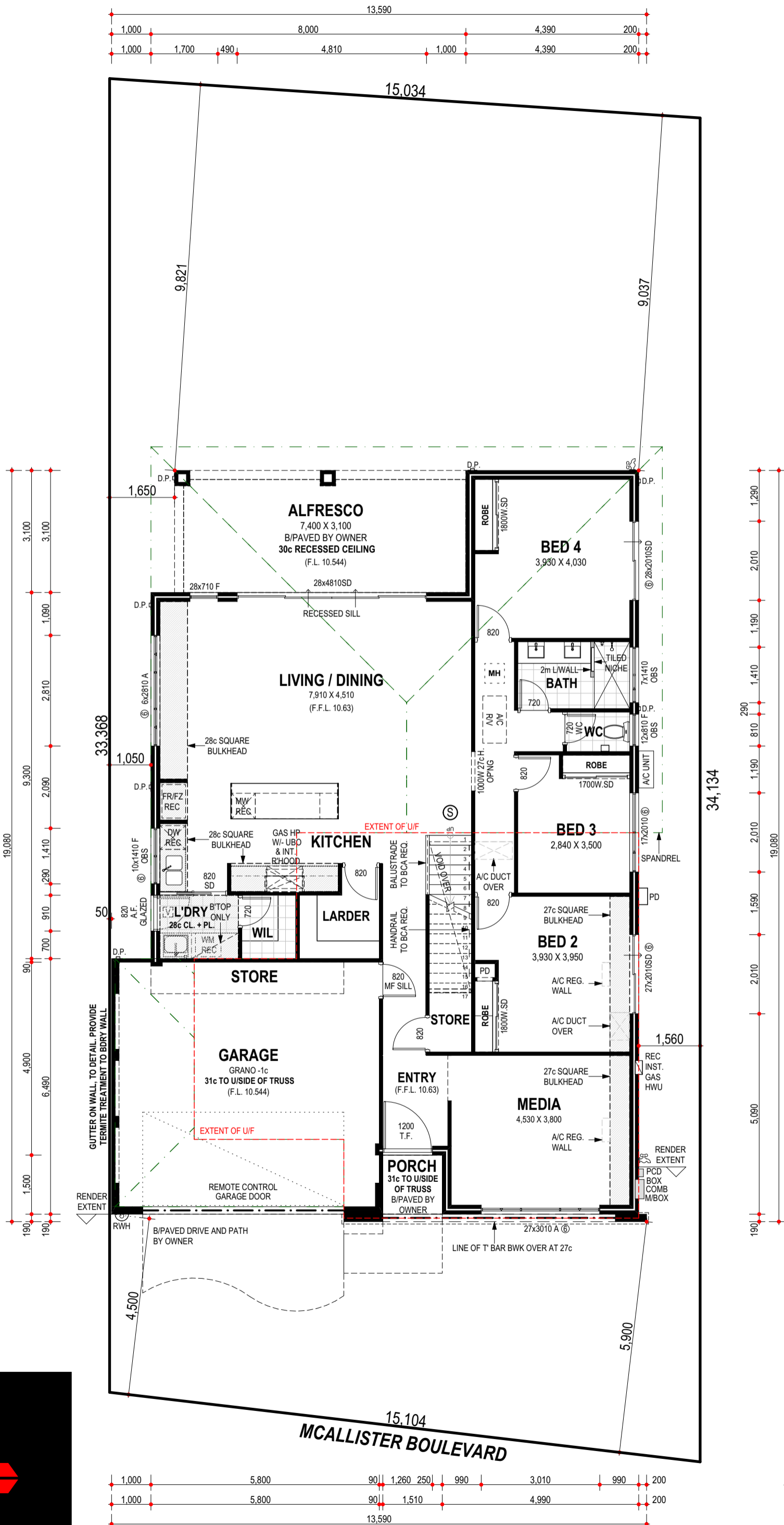
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 DESIGNED: -
 CHECKED: TAN
 DATE: 07/09/2020
 MODEL:
 ONE-OFF

SCALE: 1:200
 SHEET: 4 OF 4
 SIZE: A3
 JOB N°
 159751
 SITE PLAN

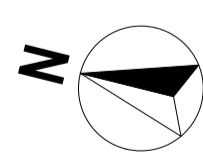
Issue Name	Drawn	Date	Issue Name	Drawn	Date

CONSULTANT: CLINTON JOY





ZONING: R30 + DAP BLOCK: 506.28m² ALLOWED SITE COVER: 303.77m², 60% ACTUAL SITE COVER: 215.74m², 42.6%	
PLANNING APPROVAL REQUIRED - WALL SETBACK LESS THAN 1.5M TO SIDE BOUNDARY MORE THAN 9.0M IN LENGTH - OVERLOOKING TO RETREAT WINDOW (SUBJECT TO SHIRE APPROVAL)	
NOISE MANAGEMENT PACKAGE 'A' (REFER TO DEVELOPERS DOCUMENTS FOR REQUIRED INCLUSIONS.) Ⓞ DENOTES 6.38mm LAM. GLAZING TO COMPLY W/ NOISE REQUIREMENTS	
BAL REQUIREMENTS AREA & ROOM SIZES MAY VARY SLIGHTLY DUE TO BRICK SELECTION.	
30c CEILINGS TO GROUND FLOOR AND 30c CEILINGS TO UPPER FLOOR U.N.O.	
EXTENT OF CONTRAST RENDER SHOWN DASHED	



FLOOR PLAN	Area m ²	Perim. L/m
1. FLOOR PLAN	169.73	62.56
2. GARAGE	43.74	26.76
3. PORCH	2.27	6.02
4. ALFRESCO	22.94	21.00
5. TOTAL AREA	238.68	64.56
6. ROOF	159.41	74.38

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D. & K. SCROOBY
 ADDRESS:
LOT 128 (#43) MCALLISTER BOULEVARD, CLARKSON

DRAWN: AZA
 DESIGNED: TAN
 CHECKED: TAN
 DATE: 07/09/2020

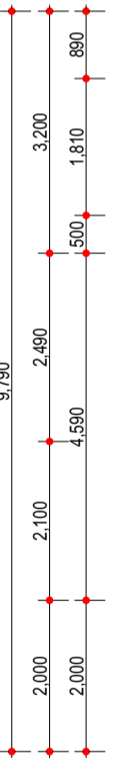
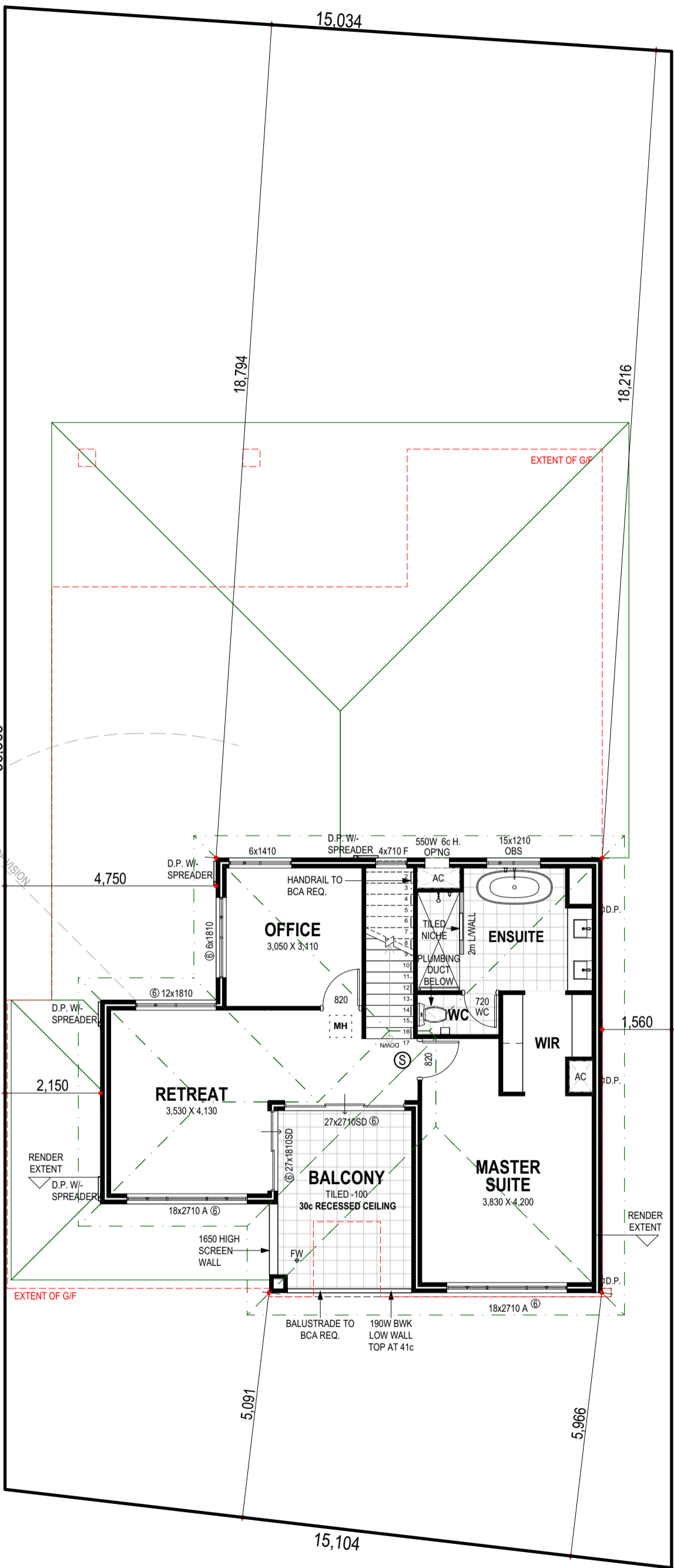
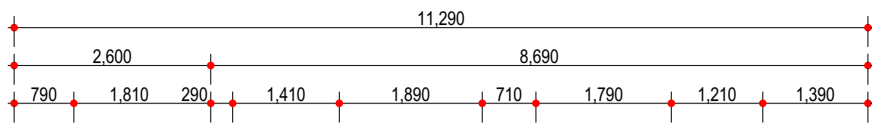
SCALE: 1:100
 SHEET: 1 OF 4
 SIZE: A3

JOB N° 159751
FLOOR PLAN

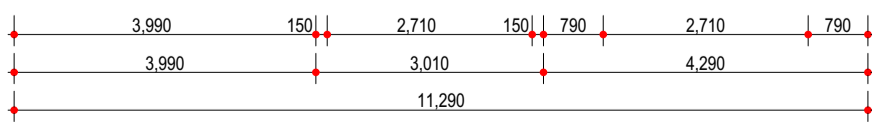
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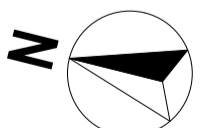
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34,134



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EXTENT OF CONTRAST RENDER SHOWN DASHED



	Area m ²	Perim. L/m
1. FLOOR PLAN	81.89	46.36
2. BALCONY	12.72	14.60
3. TOTAL AREA	94.61	42.16
4. ROOF	116.69	46.16

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D. & K. SCROOBY
ADDRESS:
**LOT 128 (#43) MCALLISTER BOULEVARD,
CLARKSON**

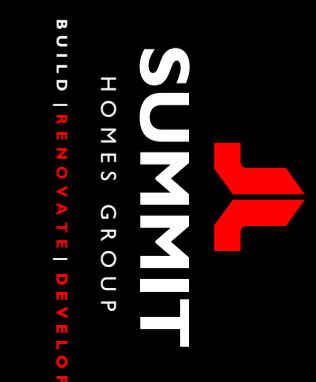
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DESIGNED: TAN
CHECKED: TAN
DATE: 07/09/2020

SCALE: 1:100
SHEET: 2 OF 4
SIZE: A3

Issue Name
Drawn
Date
Issue Name
Drawn
Date

JOB N° 159751
UPPER FLOOR PLAN

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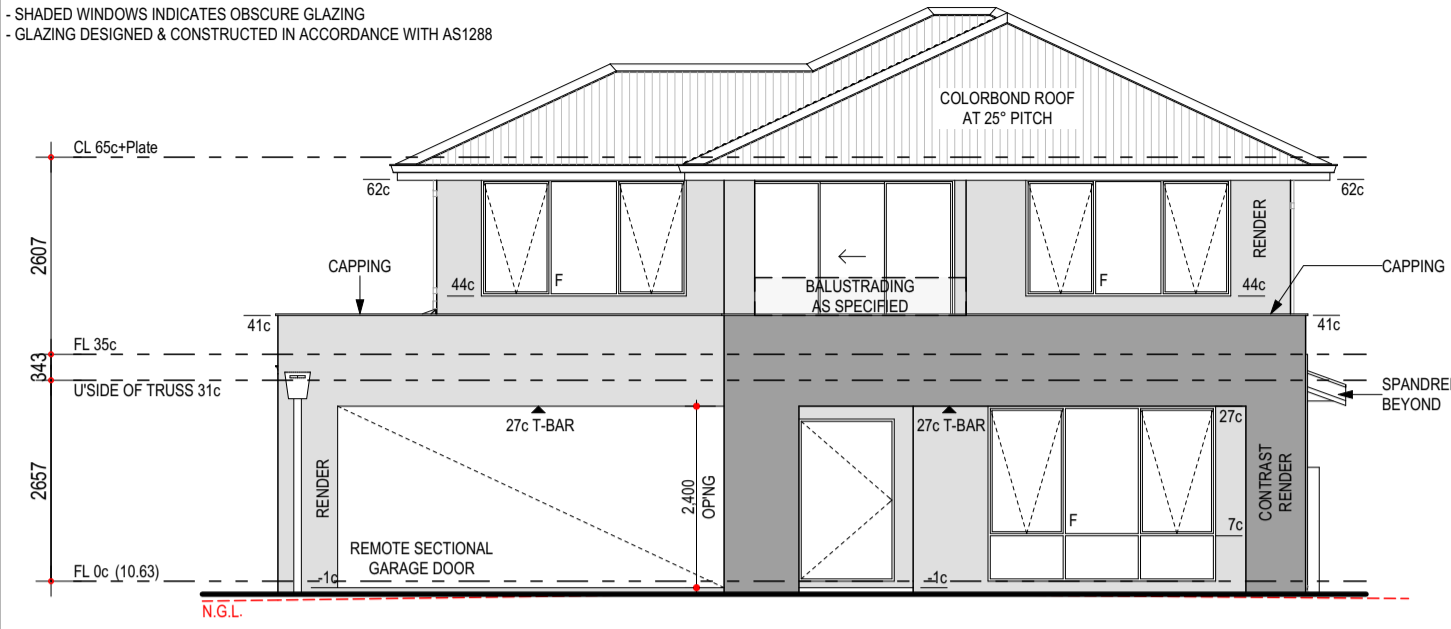
ROOF NOTE

- COLORBOND GROUND FLOOR ROOF, PITCH AT 20° W/ 600W EAVES UNO
- COLORBOND UPPER FLOOR ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

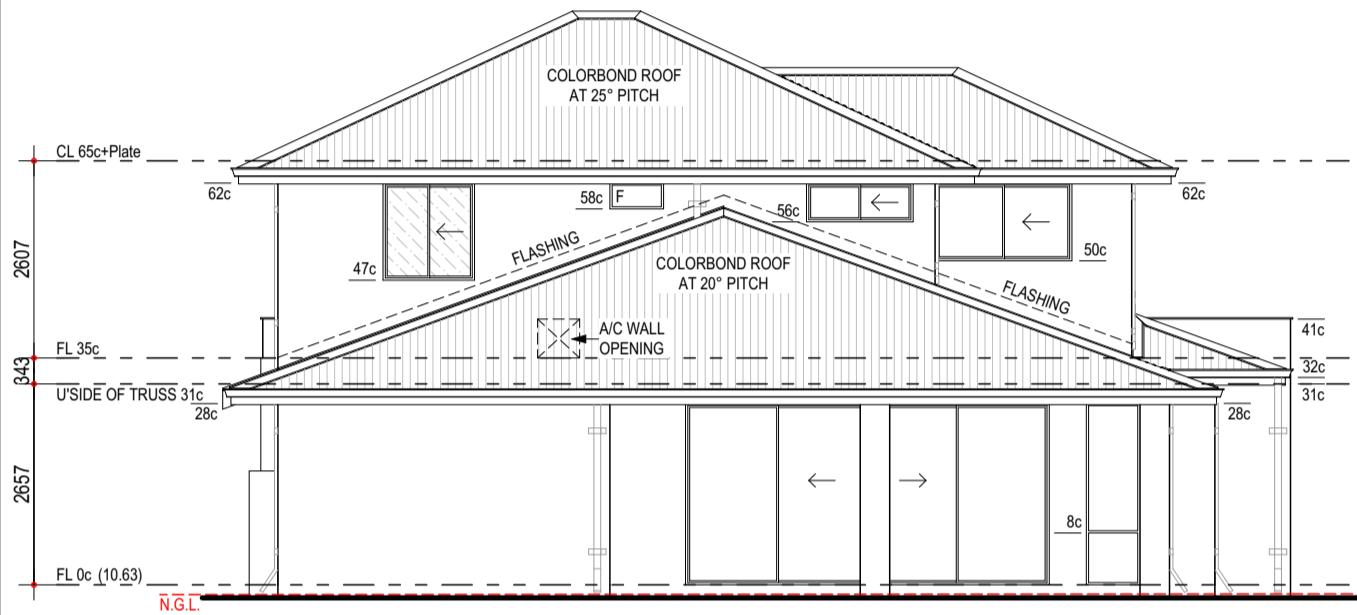
WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288

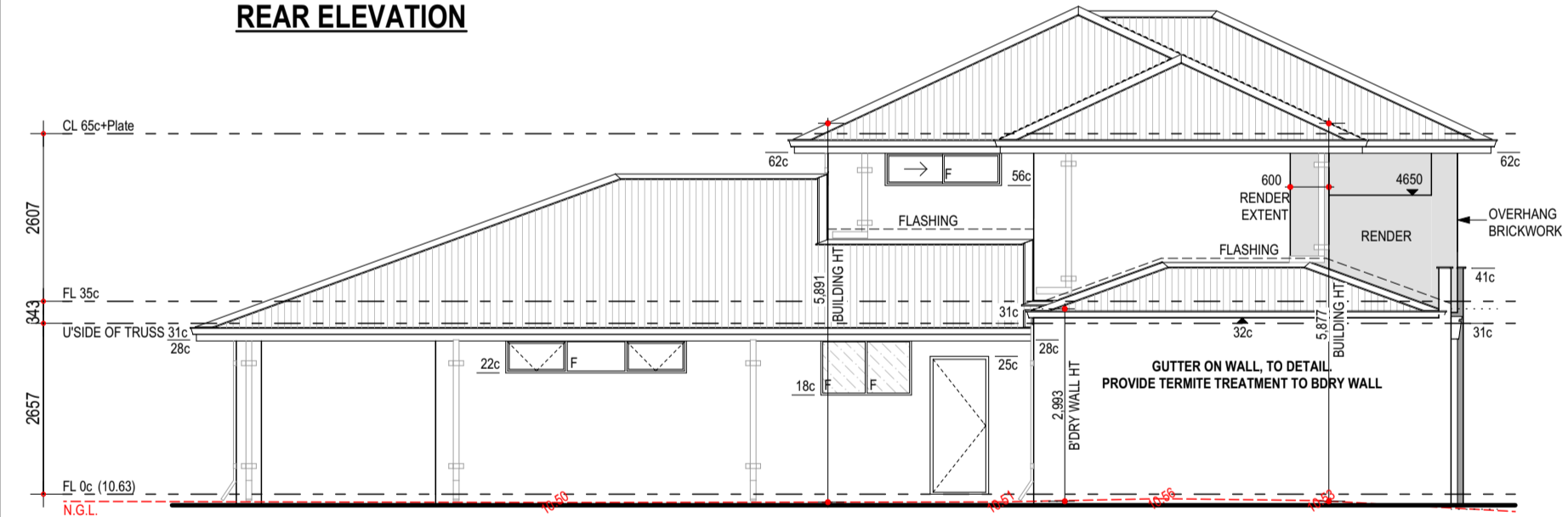
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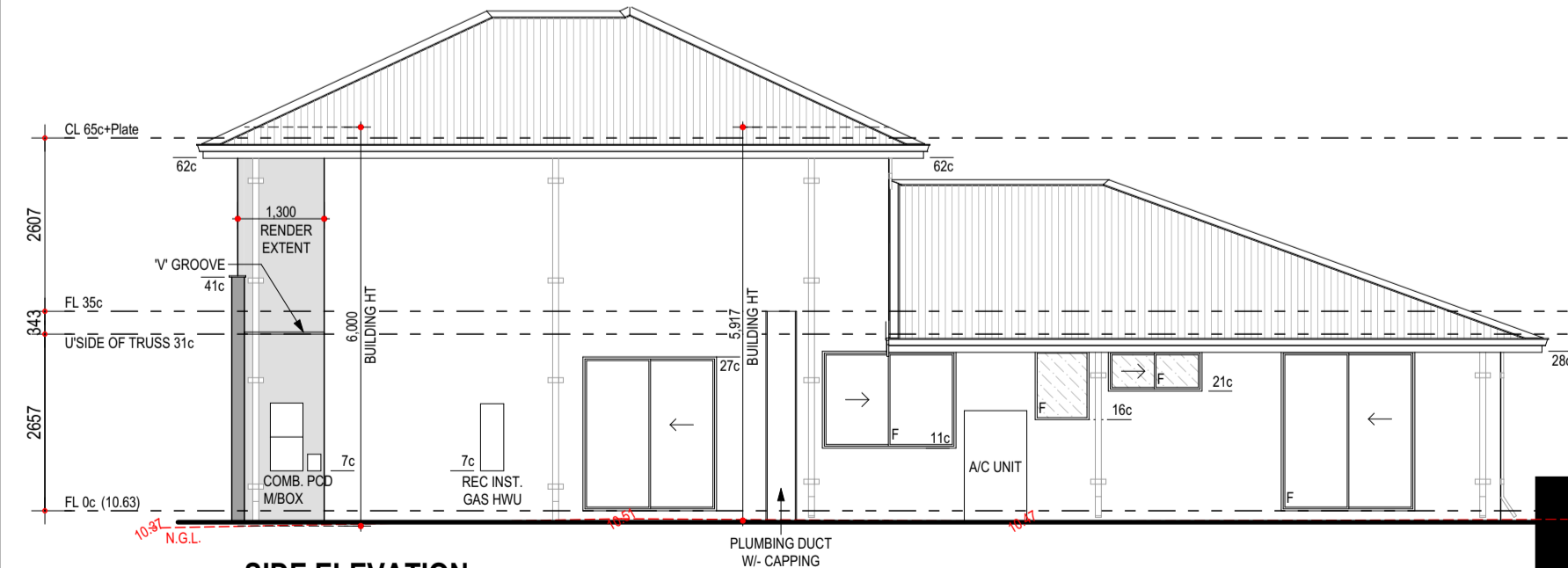
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

PROPOSED RESIDENCE FOR:
D. & K. SCROOBY

ADDRESS:
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CLARKSON

DRAWN: AZA SCALE: 1:100
 DESIGNED: - SHEET: 3 OF 4
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 DATE: 07/09/2020
 MODEL: ONE-OFF JOB N° 159751
 ELEVATIONS

Issue Name	Drawn	Date	Issue Name	Drawn	Date



SUMMIT
HOMES GROUP

BUILD | RENOVATE | DEVELOP