



#### SOIL DESCRIPTION

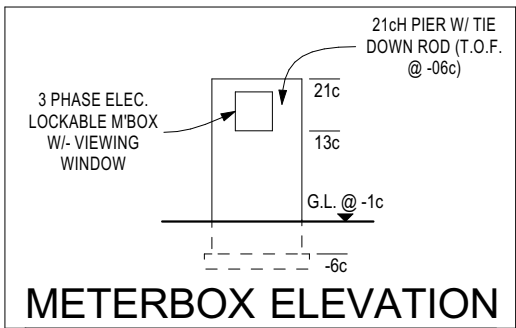
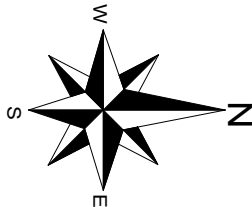
Sand  
Medium Grass Cover

**NOTE:**  
NOTIFICATION:  
REFER TO SEC 70A T.L.A.  
SEE DOCUMENT RE:  
DEVELOPMENT PROVISIONS  
AFFECTING BUILDING DESIGN

**NOTE:**  
NOTIFICATION:  
REFER TO SEC 165 T.P&D, ACT  
SEE DOCUMENT RE:  
PROXIMITY TO MARKET GARDENS

**NOTE:**  
TELSTRA/COMMS. PIT NOT LOCATED  
ADJACENT TO LOT AT TIME OF SURVEY.  
VERIFY AVAILABILITY WITH TELSTRA.

LEGEND	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence



Approx. F/L At  
Front Door 10.84



PROVIDE STORMWATER PRELAY  
TO PLUMBERS DISCRETION

PROVIDE 3 PHASE  
POWER TO M/BOX

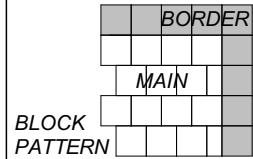
**CONCRETOR NOTE:**  
FOOTINGS WITHIN 500mm FROM THE  
FACE OF THE EXISTING RETAINING  
WALL SHOULD NOT BE EXCAVATED  
UNTIL THE CONCRETE TRUCK HAS  
ARRIVED ON SITE. ONCE THE  
CONCRETE TRUCK HAS ARRIVED, THE  
FOOTINGS CAN BE EXCAVATED AND  
POURED IMMEDIATELY.

**OVERSHADOWING NOTES:**  
NO IMPACT TO ADJOINING  
PROPERTIES.

**TERMITE MANAGEMENT NOTE**  
ALL **PRIMARY BUILDING ELEMENTS** USED  
FOR THE CONSTRUCTION OF THIS  
BUILDING WILL CONSIST ENTIRELY OF, OR A  
COMBINATION OF, MATERIALS CONSIDERED  
NOT SUBJECT TO TERMITE ATTACK.  
SPECIFICALLY, ALL TIMBERS USED IN THIS  
DWELLING WILL BE PRESERVATIVE  
TREATED IN ACCORDANCE WITH AS 3660.1-  
2014 AND WILL COMPLY WITH PART 3.1.3.2  
OF THE BUILDING CODE OF AUSTRALIA -  
VOLUME 2, 2016

STORMWATER DRAINAGE TO COUNCIL  
REQUIREMENTS

**NOTE: ALL DOWNPIPES CONNECTED  
TO SOAKWELLS WITH PVC  
STORMWATER PIPE**



90° STRETCHER BOND

TYPICAL PAVING  
LAYOUT NTS

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on  
landgate plan only. Survey does not include title  
search and as such may not show easements or  
other interests not shown on plan. Title should  
be checked to verify all lot details and for any  
easements or other interests which may affect  
building on the property.

**DISCLAIMER:**  
Survey does not include verification of  
cadastral boundaries. All features and levels  
shown are based on orientation to existing  
pegs and fences only which may not be on  
correct cadastral alignment. Any designs  
based or dependent on the location of existing  
features should have those features' location  
verified in relation to the true boundary.

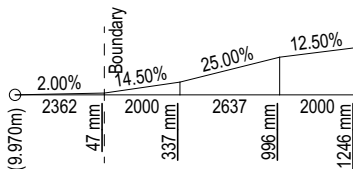
**DISCLAIMER:**  
Survey shows visible features only and will  
not show locations of underground pipes or  
conduits for internal or mains services.  
Verification of the location of all internal and  
mains services should be confirmed prior to  
finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no  
responsibility for any physical on site changes  
to the parcel or portion of the parcel of land  
shown on this survey including any adjoining  
neighbours levels and features that have  
occurred after the date on this survey. All  
Sewer details plotted from information  
supplied by Water Corporation.

Scale 1:200



#### MAX DRIVEWAY GRADIENT

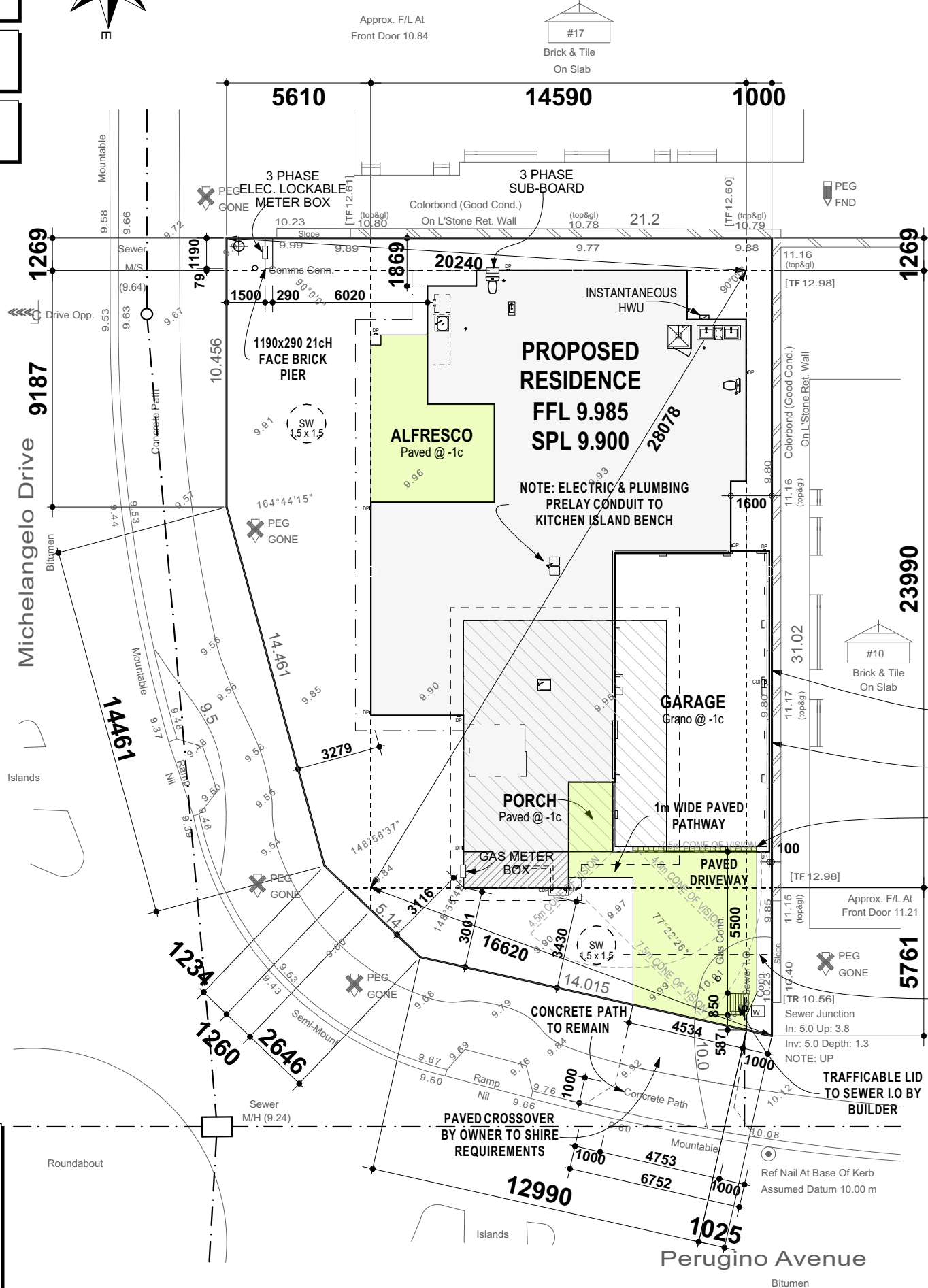


MAX GARAGE FFL = 11.216

#### SOAKWELL CALCULATOR

Soak Well Type	No.	
SW 1500x1500	2	5.3 m3
Total Capacity		5.3 m3
Road Area GF		253.4 m2
Paved Area		31.0 m2
Road Area UF		95.9 m2
Total Area		380.3 m2
Capacity Required (Area x 0.0125)		4.8 m3
Extra Capacity Provided		0.5 m3

DRAWING NAME:	SITE PLAN	REVISION:	C
JOB No:	15332H2S	SHEET No:	1B OF 12
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.			
OWNER (1)	DATE	OWNER (2)	DATE
BUILDER	DATE		
Rev No:	Variation:	Date Dm:	By:
A	15332H2S - SITE	23/09/20	MAS
B	15332H2S - VO1-VO2	05/10/20	MAS
C	15332H2S - VO3	21/10/20	TR
Drawn By:	MAS	Date Drawn:	23/09/20
Scale:	1:200	Checked By:	



32c ZERO LOT WALL  
AS PER DETAIL

ENGINEERS UNDERMINING  
CERTIFICATION REQ'D FOR  
EXISTING RETAINING WALL

BOX DRAIN TO GARAGE  
BY BUILDER

90mm ø PVC PIPE BY  
BUILDER 4m FROM GARAGE  
(FOR FUTURE RETICULATION  
BY OWNER)

#### SITE COVERAGE

ZONED	R30
% ALLOWED	60%
SITE AREA	566.97m <sup>2</sup>
SITE COVER	299.82m <sup>2</sup>

**SITE COV. =52.9%**

#### BUILDING SITE INSPECTION REPORT SERVICE AND CONTOUR SKETCH

Client	BASSETT	House No.	12
Date	01 Sep 20	Street	PERUGINO AVENUE
Lot No.	64	Area	567m <sup>2</sup>
Suburb	LANDSDALE	Shire	CITY OF WANNEROO
D.Plan	77184	C/T Vol.	2832
Fol	215		

CONTRACT / JOB NO.  
15332H2S

MSD REF  
283 27/79

SSA  
AREA

Road Descr.	Bitumen
Kerbing	Mountable / Semi-Mount / Nil
Condition	Good
Footpath	Concrete
Condition	Good
Soil	Sand
Drainage	Good
Vegetation	Medium Grass Cover

Services: Gas	Yes	Phone Comms.	Not loc.
(Medium Pressure)			
Water	Yes	Sewer	Yes
Electricity	U/Ground		
Fencing and other improvements	As Shown		
Special Features	As Shown		

**CORROSION  
PROTECTION\_R1**  
(APPROX. 11.5km)  
(Scaled from Digital Mapping Source)

#### COTTAGE & ENGINEERING SURVEYS

Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email : perth@cottage.com.au Website: www.cottage.com.au

J/N:	DATE:	SCALE:	DRAWN:
478479	01 Sep 20	1:200	M. Miatke-Ware

ROOF FRAMING NOTES:

- ALL ROOF BEAMS SHOWN DIAGRAMMATIC ONLY.
- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS 1684.
- STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4.
- L.V.L's IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CEILING JOISTS @ 450 CENTERS IN OPEN PLAN LIVING AREA.
- PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ROOF STRUCTURE.

CEILINGS @ 31c  
UNLESS NOTED OTHERWISE

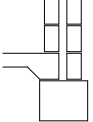
SUPERVISOR / PLUMBER NOTES:

- PLUMBER TO CHECK LOCATION OF ALL UPPER FLOOR WET AREAS.
- ALL PLUMBING PIPES TO BE CONCEALED FROM BELOW.
- PLUMBER TO NOTIFY SUPERVISOR IF NO ALLOWANCE HAS BEEN MADE ON THE PLAN BEFORE PROCEEDING.
- ALL WC VENT PIPES ON EXTERNAL WALLS TO BE CONCEALED IN CAVITY.

TERMITE MANAGEMENT NOTES:

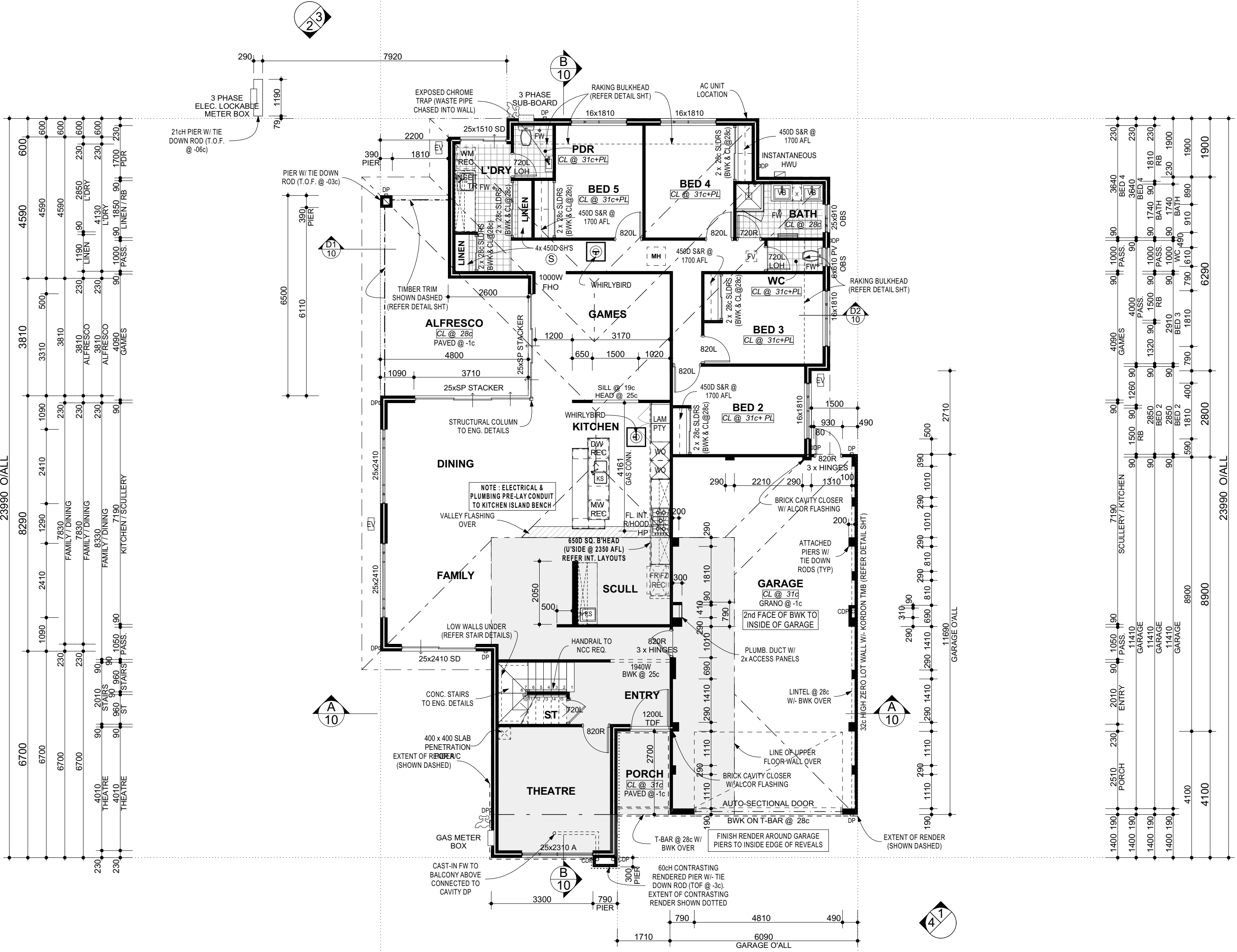
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BRICKLAYER NOTE :  
EXTERNAL BRICKS TO  
BE 290 x 162 x 90  
(1st external course to  
be a 2 course brick)



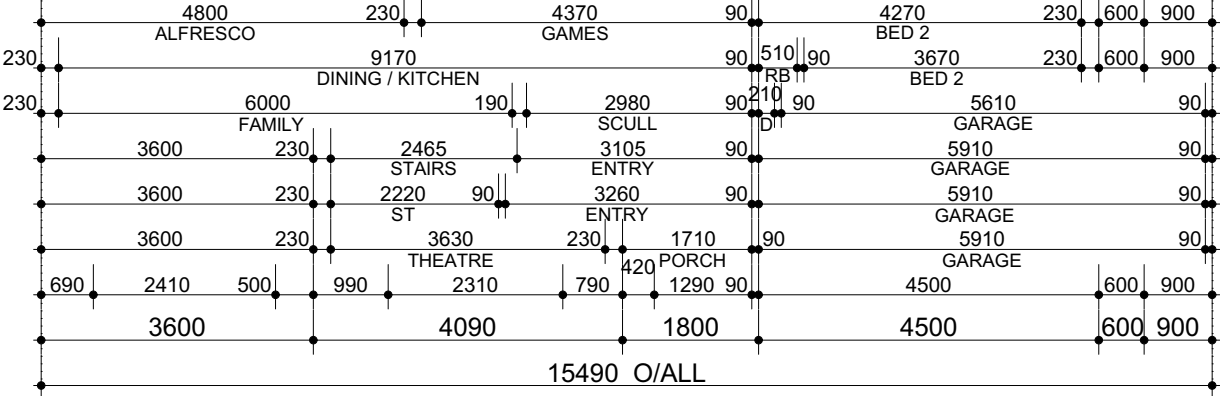
4c FLOORTECH


GF VENTS	
No.	Type
3	EAVE VENT
2	WHIRLYBIRD



NOTES:

- WIND CLASSIFICATION "N1"
- CORROSION PROT. R1 (APPROX. 11.5km)
- EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
- ALL DIMENSIONS INDICATED ON PLANS ARE TO BRICKWORK ONLY. ROOM & OPENING SIZE WILL BE REDUCED WITH WALL FINISH.
- REFER TO ADDENDA FOR ALL INTERNAL WALL FINISHES
- RECTANGULAR DOWNPIPES. DOWNPIPE POSITION AT PLUMBERS DISCRETION FINAL POSITION MAY VARY TO PLAN.
- PROVIDE R 4.0 CEILING INSULATION (INCL. VERTICALS) TO HOUSE AND GARAGE AREA ONLY.
- PROVIDE WEATHER SEAL TO ENTRY (ALL EDGES) AND SHOPPER DOORS
- REFER ADDENDA FOR DOOR AND DOOR FURNITURE INFO.
- PROVIDE COLD PLUMBING TO DISHWASHER RECESS.
- PROVIDE WHIRLY BIRDS & EAVE VENTS AS INDICATED.



 11 DELAWNEY STREET BALCATT A W.A. 6021  PHONE : (08) 6241 4555 FACSIMILE : (08) 6241 4455 www.homegroup.com.au	Home Group P/L reserves the right to vary dimensions and materials from those on display. Please check plans, specification and addenda carefully. All dimensions to take preference over scaling.		© Home Group Pty Ltd. This work shall remain the sole property of Home Group Pty Ltd and may not be given, lent, resold or otherwise disposed, copied or reproduced without Home Group Pty Ltd's express written consent.		HOUSE NAME NEVADA LUXURY 2c		DRAWING NAME GROUND FLOOR PLAN (A2)		SHEET No. 2 OF 12		REVISION No. C		JOB No. 15332H2S	
	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		AREAS & PERIMETERS: • GF House Area 215.32 • UF House Area 70.93 • Garage/St Area 142.20 • Alfresco Area 24.05 • Balcony Area 5.73 • Porch Area 4.62 • GF ROOF AREA 253.41 • UF ROOF AREA 95.94 • GF Perimeter 348.25 m <sup>2</sup> • UF Perimeter 67.7		VARIATIONS Rev No. Variation: Date Dm: By: A 15332H2S - SITE 23/09/20 MAS B 15332H2S - VO1-VO2 05/10/20 MAS C 15332H2S - VO3 21/10/20 TR		CLIENT NAME BASSETT		SITE ADDRESS LOT 64 [#12] PERUGINO AVENUE LANDSDALE		SHIRE CITY OF WANNEROO		Drawn By: MAS Date Drawn: 23/09/20 Scale: 1:100 Checked:	
	OWNER (1) DATE		OWNER (2) DATE		BUILDER DATE									



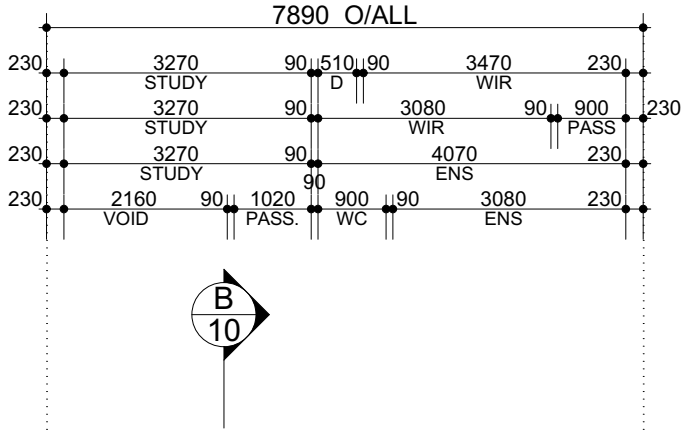
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- CEILING JOISTS @ 450 CENTERS IN OPEN PLAN LIVING AREA.
- PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ROOF STRUCTURE.

CEILINGS @ 63c (28c AFL) + PLATE  
UNLESS NOTED OTHERWISE

SUPERVISOR / PLUMBER NOTES:

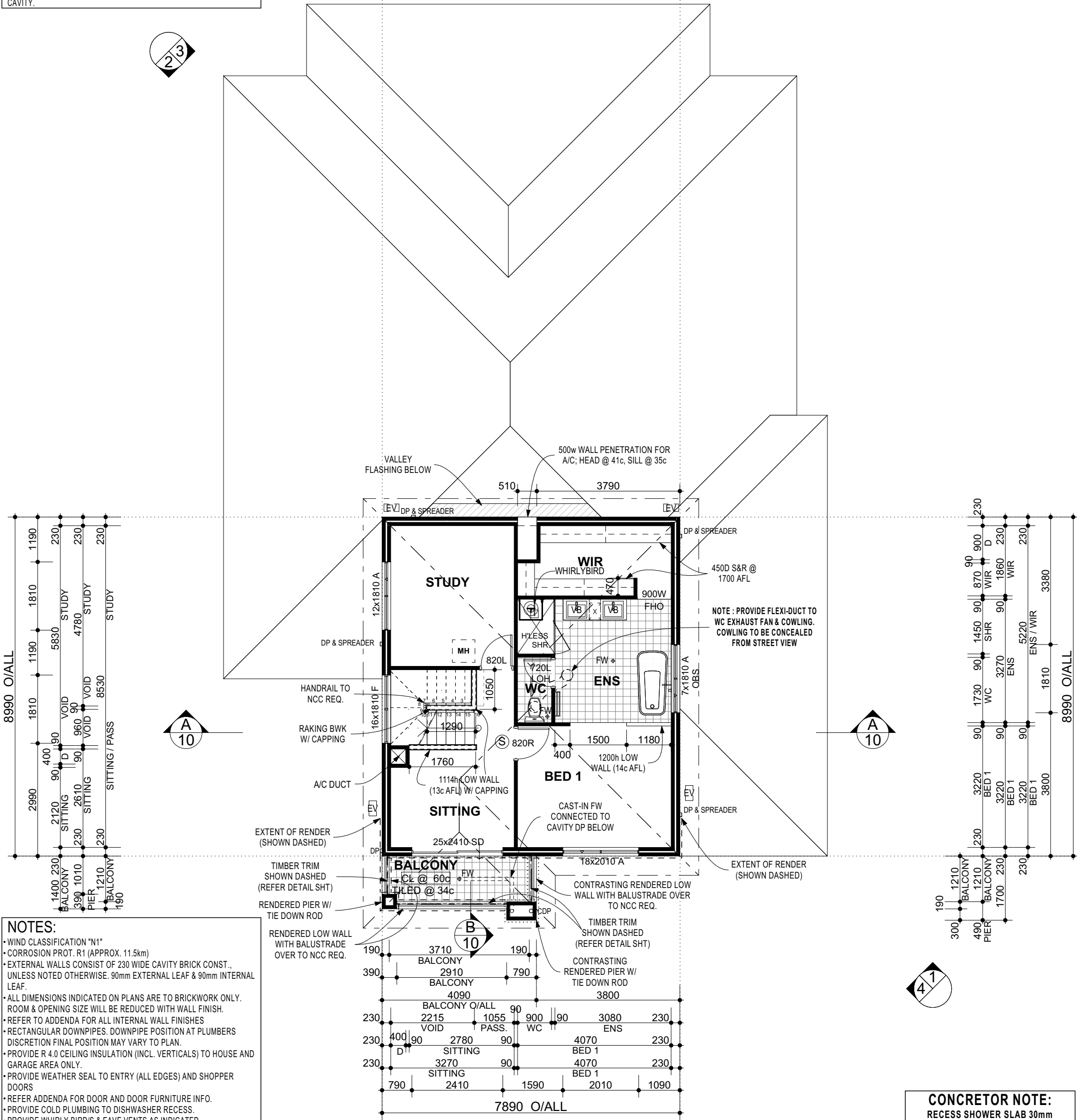
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4c FLOORTECH	
UF VENTS	
No.	Type
4	EAVE VENT
1	WHIRLYBIRD

TERMITE MANAGEMENT NOTES:


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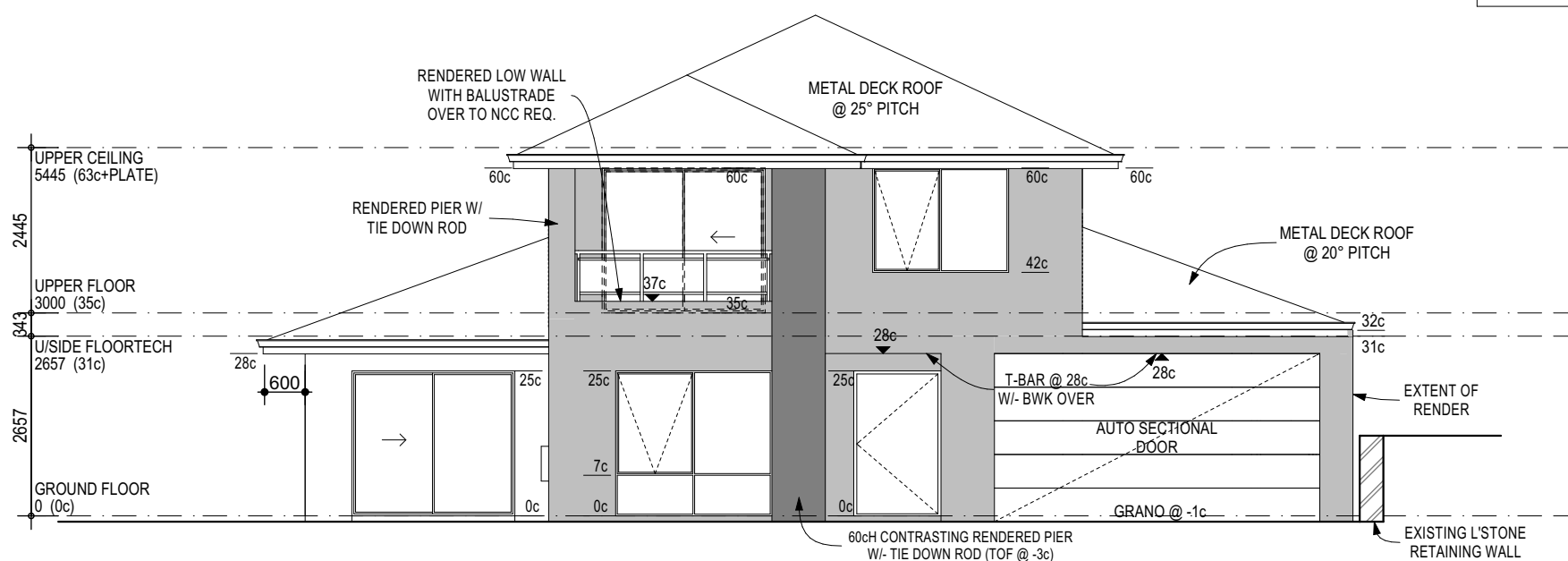
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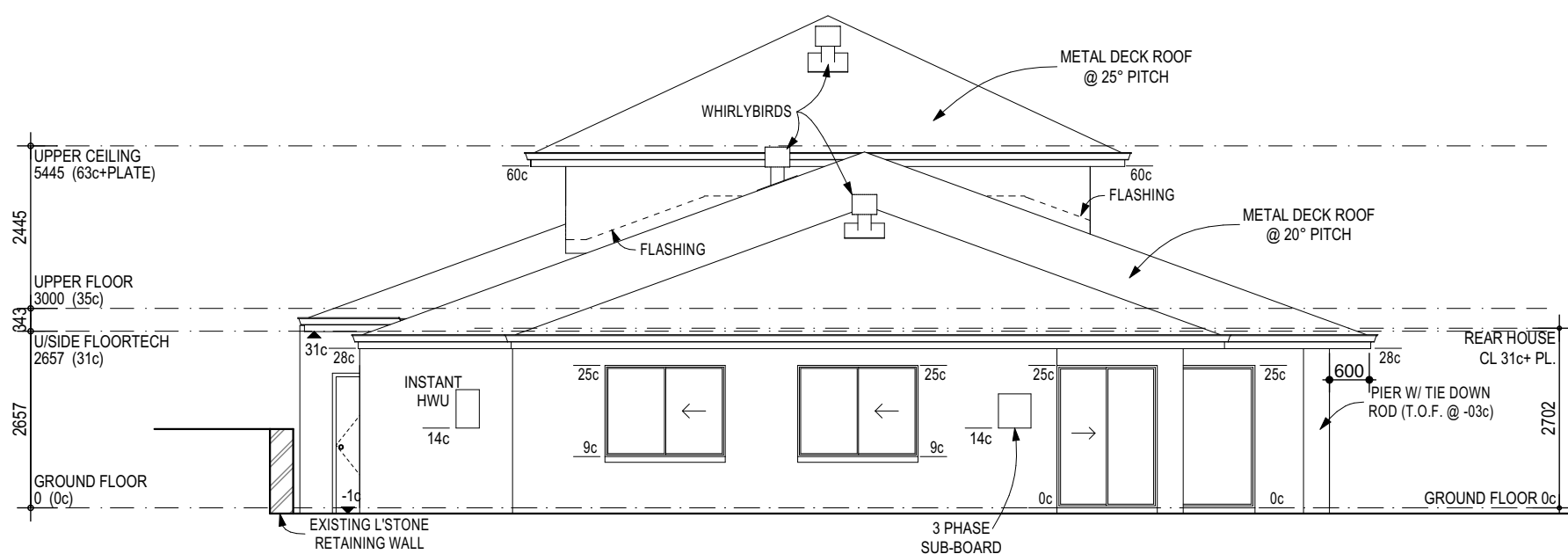
CONCRETOR NOTE:  
RECESS SHOWER SLAB 30mm

 11 DELAWNEY STREET BALCATTA W.A. 6021  PHONE : (08) 6241 4555 FACSIMILE : (08) 6241 4455 www.homegroup.com.au	Home Group P/L reserves the right to vary dimensions and materials from those on display. Please check plans, specification and addenda carefully. All dimensions to take preference over scaling.  © Home Group Pty Ltd This work shall remain the sole property of Home Group Pty Ltd and may not be given, lent, resold or otherwise disposed, copied or reproduced without Home Group Pty Ltd's express written consent.	HOUSE NAME NEVADA LUXURY 2c		DRAWING NAME UPPER FLOOR PLAN		SHEET No. 3 OF 12	REVISION No. C	JOB No. 15332H2S
		THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		AREAS & PERIMETERS: GF House Area 215.32 UF House Area 70.93 Garage/St Area 142.20 Alfresco Area 24.05 Balcony Area 5.73 Porch Area 4.62 462.85 m² GF ROOF AREA 253.41 UF ROOF AREA 95.94 349.35 m² GF Perimeter 38 UF Perimeter 67		VARIATIONS Rev No. Variation: Date Dmn: By: A 15332H2S - SITE 23/09/20 MAS B 15332H2S - VO1-VO2 05/10/20 MAS C 15332HS2 - VO3 21/10/20 TR		CLIENT NAME BASSETT
		OWNER (1) DATE		OWNER (2) DATE		OWNER (3) DATE		SITE ADDRESS LOT 64 [#12] PERUGINO AVENUE LANDSDALE SHIRE CITY OF WANNEROO Drawn By: MAS Date Drawn: 23/09/20 Scale: 1:100 Checked:

-  DENOTES RENDER
-  DENOTES CONTRAST RENDER COLOUR



## ELEVATION 1



## ELEVATION 2



11 DELAWNEY STREET  
BALCATT A W.A. 6021

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FACSIMILE : (08) 6241 4455  
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written consent.

HOUSE NAME
------------

NEVADA LUXURY 2c

THIS IS ONE OF THE DRAWINGS  
REFERRED TO IN THE CONTRACT

OWNER (1)	DATE
-----------	------

OWNER (2)	DATE
-----------	------

.....  
 BUILDER                      DATE

DRAWING NAME
--------------

ELEVATIONS 1

SHEET No.
-----------

4 OF 12

REVISION No. J

**C**

JOB No.
---------

**15332H2S**

CLIENT NAME	BASSETT
SITE ADDRESS	LOT 64 [#12] PERUGINO AVENUE LANDSDALE

Drawn By  
MAC

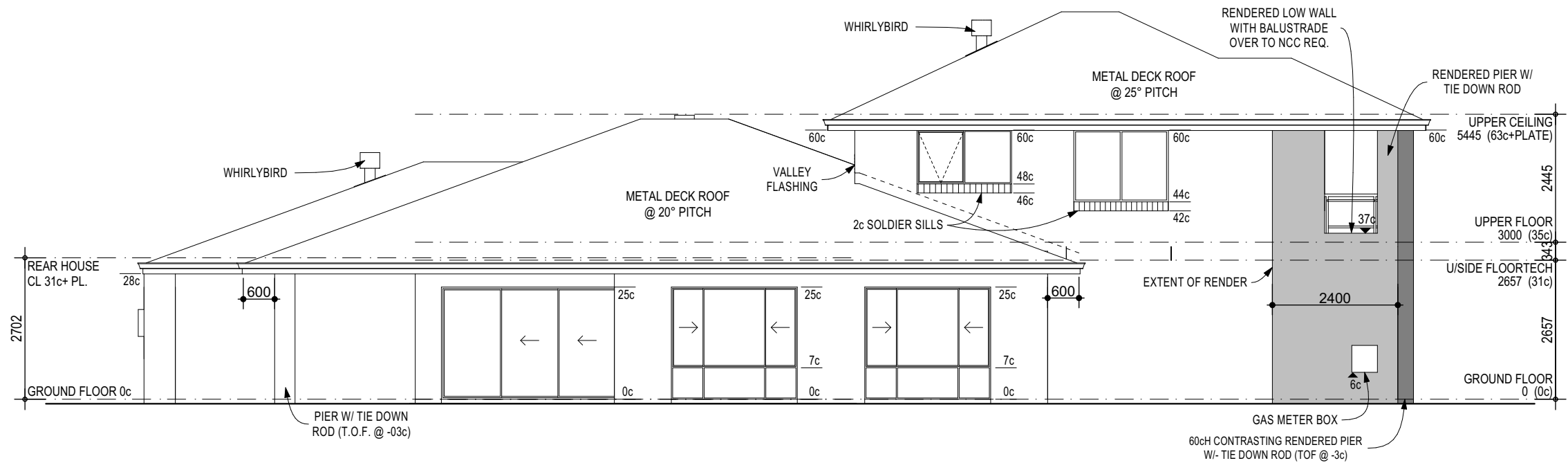
Date Drawn.	23/09/20
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Scale.

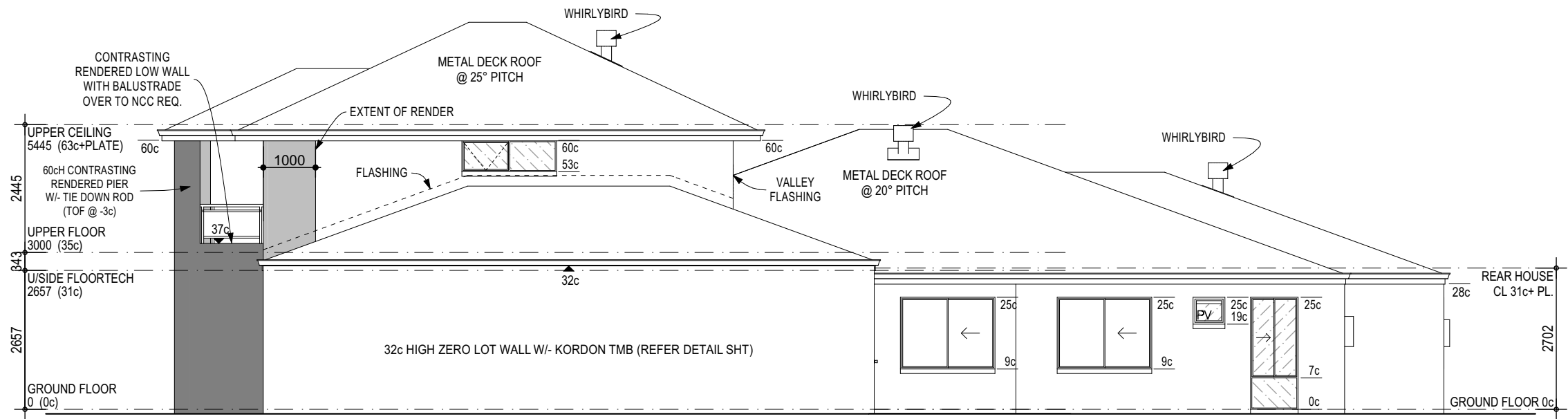
Checked.
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DATE

PRINTED : 29/10/2020 | DATE SAVED : 21/10/2020 10:29 AM | BY : Tessa.Ryles | TO: G:\Client Documents\15300H\15332H2S - BASSETT\Drafting\Working Drawings Files\15332H2S BASSETT.pln



ELEVATION 3



ELEVATION 4

**EXTERNAL FINISH NOTE:**  
2c FACE BRICKS THROUGHOUT UNLESS NOTED OTHERWISE


**EAVES NOTE:**  
500W HARDIFLEX LINED BOXED EAVES THROUGHOUT UNLESS NOTED OTHERWISE

**NOTE:**  
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS

**'V' JOINT NOTE:**  
'V'-JOINTS TO EXTERNAL RENDERED WALLS WHERE REQUIRED AT BUILDER'S DISCRETION UNLESS NOTED OTHERWISE ON PLANS.

■ DENOTES RENDER

■ DENOTES CONTRAST RENDER COLOUR

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		NEVADA LUXURY 2c		ELEVATIONS 2		5 OF 12		C		15332H2S			
		THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT		VARIATIONS				CLIENT NAME					
				Rev No.	Variation:	Date Drn:	By:	BASSETT					
				A	15332H2S - SITE	23/09/20	MAS	SITE ADDRESS LOT 64 [#12] PERUGINO AVENUE LANDSDALE SHIRE CITY OF WANNEROO					
				B	15332H2S - VO1-VO2	05/10/20	MAS						
		C	15332HS2 - VO3	21/10/20	TR								
		OWNER (1)		DATE									
		OWNER (2)		DATE									
BUILDER		DATE											
Drawn By		Date Drawn.		Scale.		Checked.							
MAS		23/09/20		1:100									