

CLIENT: NGUYEN	PLAN: DP 413754	LOT AREA: 513m ²	SURVEY DATE: 03/07/20
BUILDER: STANNARD HOMES	C/T Vol: 2960 Fol: 547	MAP REFERENCE:	
BUILDER JOB # 5159	HEIGHT DATUM: AHD	COASTAL ZONE: >1KM	
AUTHORITY: CITY OF WANNEROO	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

FEATURE SYMBOL LEGEND

NOTES
 (1) ALL FEATURES IN GOOD CONDITION
 (2) DEVELOPMENT AREA: NEW

POWER

CABLE DOME	POWER POLE	PP
CABLE BOX	CONSUMER POLE	CP
POWER MARKER	EXPOSED CABLES	EC
LIGHT POLE	EARTH ROD	ER

WATER

WATER METER / TAP	FIRE HYDRANT	H
TAP	STOP VALVE	SV
FLUSHING POINT	RETIC VALVE	RV
BORE	WATER MARKER	WM

SEWERAGE

SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)	IO
INSPECTION SHAFT	INSPECTION OPENING	IO
HOUSE CONNECTION		

TELSTRA

TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	

DRAINAGE

DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)	D
SIDE ENTRY PIT	DRAINAGE GRATE	
COMBINED ENTRY PIT		

GAS

GAS METER	GAS VALVE	GV
GAS MARKER		

SURVEY MARKS

PEG FOUND	PEG GONE	PG
DRILL HOLE	BENCH MARK	
PEN MARK	NAIL & PLATE	NPL
	NAIL	NAIL

MISCELLANEOUS INFO.

STREET SIGN	SPOT HEIGHT	10.16
UNKNOWN SERVICE MARKER	BOLLARD	B
OVERHEAD POWER LINE	SEWER LINE	
FENCE LINE	WINDOW / OPENING	w

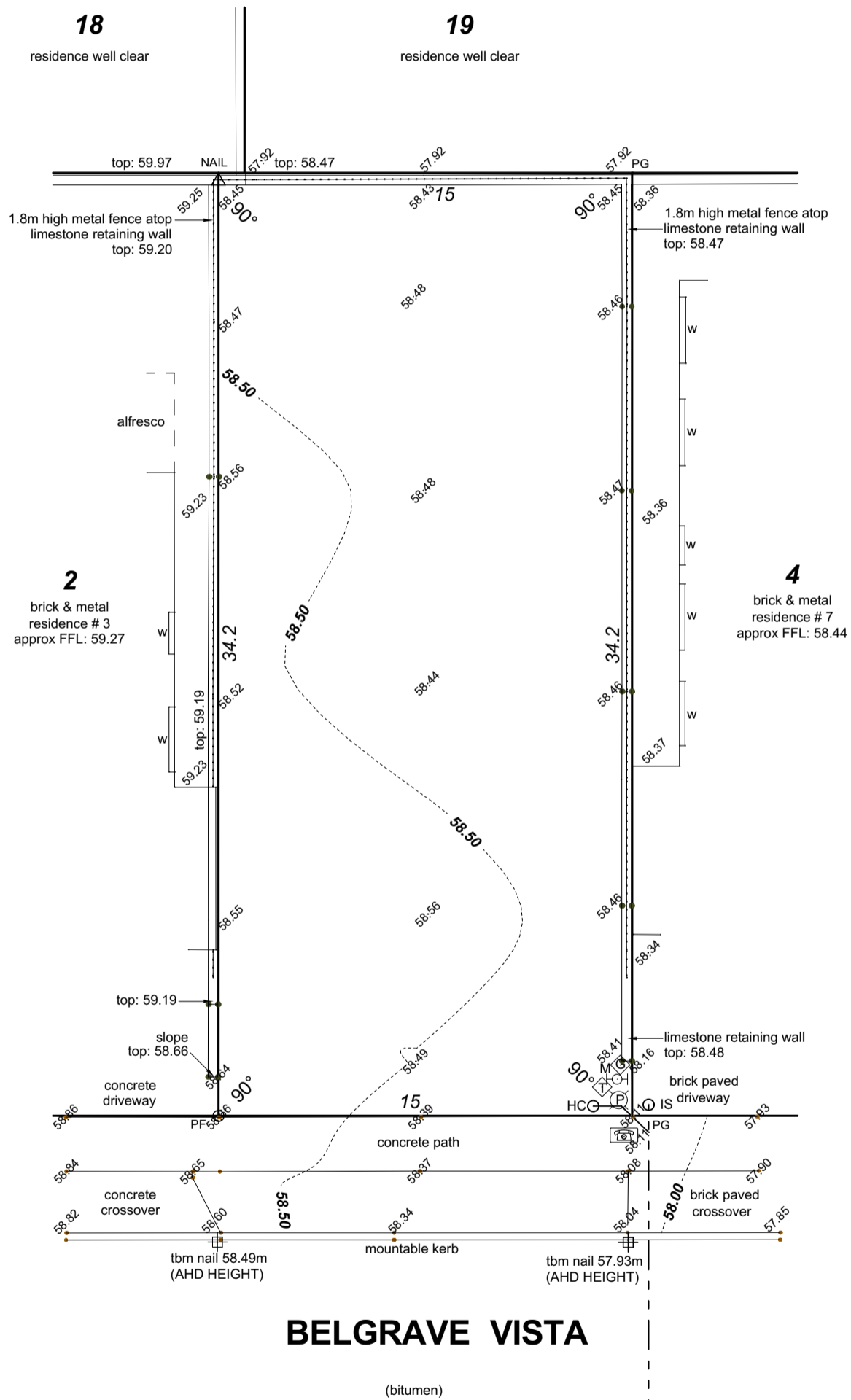
SERVICE DETAILS

WATER: L
 OVERHEAD POWER: NS
 U/G POWER: L
 TELSTRA: L
 GAS: L
 SEWER: L

SERVICE NOTES
 L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 55.95
 UP DISTANCE: 2.0
 DEPTH TO CONNECTION: 0.32



BELGRAVE VISTA

(bitumen)

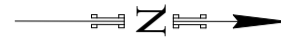
SITE PLAN EXISTING
 1:200

IMPORTANT FEATURE SURVEY NOTES
 1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
 2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
 3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
 4. All service information shown of this plan should be verified with the relevant authorities.
 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

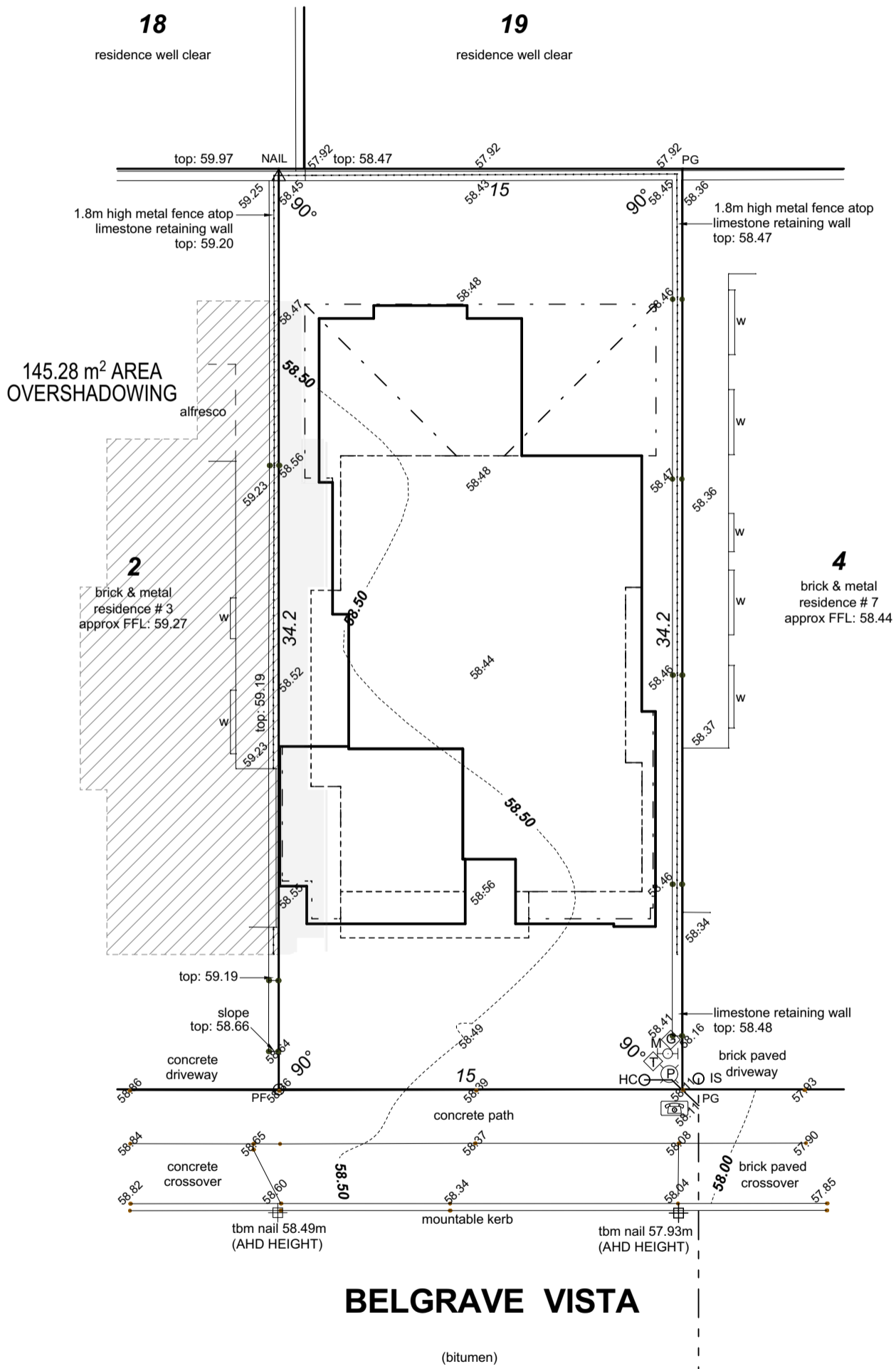
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POWER	
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CABLE BOX	CONSUMER POLE CP
POWER MARKER	EXPOSED CABLES EC
LIGHT POLE LP	EARTH ROD ER
WATER	
WATER METER / TAP M	FIRE HYDRANT H
TAP	STOP VALVE SV
FLUSHING POINT FP	RETIC VALVE RV
BORE	WATER MARKER
SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT IS	INSPECTION OPENING IO
HOUSE CONNECTION HC	
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	
DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID) D
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER GM	GAS VALVE GV
GAS MARKER	
SURVEY MARKS	
PEG FOUND PF	PEG GONE PG
DRILL HOLE DH	BENCH MARK
PEN MARK PM	NAIL & PLATE NPL
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN S	SPOT HEIGHT 10.16
UNKNOWN SERVICE MARKER	BOLLARD B
OVERHEAD POWER LINE	SEWER LINE
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SERVICE DETAILS	
WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: L SEWER: L	
SERVICE NOTES	
L: LOCATED NS: NO SERVICE A: AVAILABLE BUT NOT LOCATED TBC: LOCATION TO BE CONFIRMED	
SEWER JUNCTION DETAILS	
HOUSE CONNECTION (HC) IL:	55.95
UP DISTANCE:	2.0
DEPTH TO CONNECTION:	0.32



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BELGRAVE VISTA

SHADOW DIAGRAM
 1:200



PROPOSED RESIDENCE FOR
 MR. D NGUYEN & MS. H NGO
 LOT 3 (HSE #5)
 BELGRAVE VISTA, DARCH

ARIA SPECIAL

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FEATURE SYMBOL LEGEND

NOTES
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NOTE: SAND PAD LEVEL TO BE WITHIN 40mm OF NOMINATED LEVEL

WIND CLASSIFICATION N1
 TERRAIN CATEGORY TC3
 SHIELDING FS
 TOPOGRAPHY T0

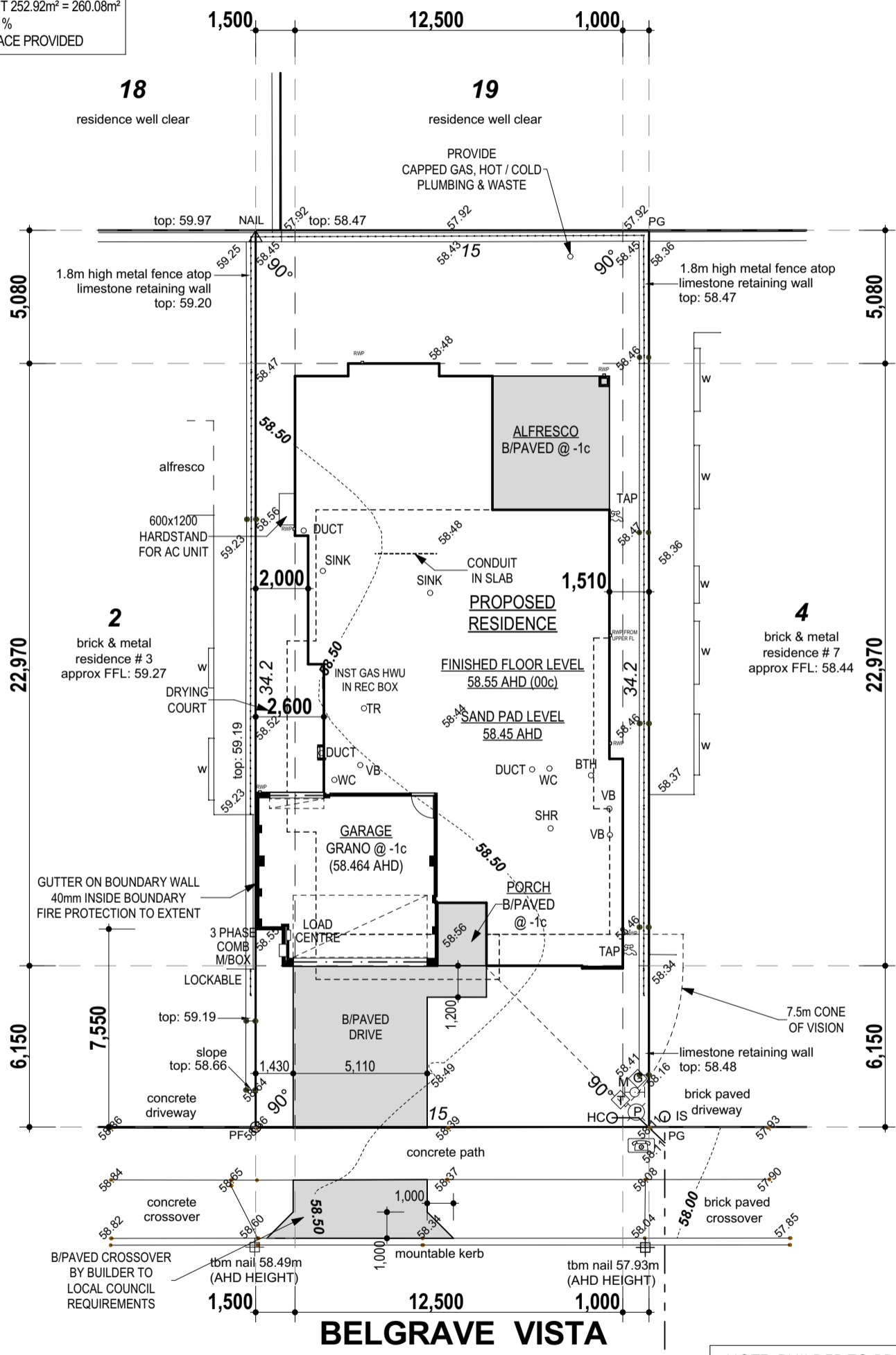
ZONED R20
OPEN SPACE REQUIRED = 50%
 LOT AREA: 513m²
 - TOTAL FOOTPRINT 252.92m² = 260.08m²
 +TOTAL LOT AREA % = 50.69% OPEN SPACE PROVIDED

NOTE: TERMITES TREATMENT WILL BE IN ACCORDANCE WITH THE NCC BCA PART 3.1.3, PART 2.1.1 & PART 1.0.7 USING THE TERMICO TERMITES MANAGEMENT SYSTEM

NOTE: BUILDER TO PROVIDE REFLEX CONDUIT & DRAW WIRE IN TRENCH FOR FUTURE TELSTRA RUN IN BY OWNER

NOTE: BUILDER TO PROVIDE REFLEX CONDUIT & DRAW WIRE IN TRENCH FOR FUTURE TELSTRA RUN IN BY OWNER

POWER	
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CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	EARTH ROD
WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER
SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
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TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
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DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER	GAS VALVE
GAS MARKER	
SURVEY MARKS	
PEG FOUND	PEG GONE
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PEN MARK	NAIL & PLATE
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MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
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WATER: L OVERHEAD POWER: NS U/G POWER: L TELSTRA: L GAS: L SEWER: L	
SERVICE NOTES	
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NOTE: BUILDER TO PROVIDE STORMWATER DISPOSAL TO SOAKWELLS TO SUIT LOCAL AUTHORITIES REQUIREMENTS

SITE PLAN
 1:200

SHI STANNARD HOMES
 VISION SPECIFICATION
 42 Hasler Road, Osborne Park Western Australia 6017
 Telephone (08) 9446 5500
 Facsimile (08) 9446 1825

PROPOSED RESIDENCE FOR
 MR. D NGUYEN & MS. H NGO
 LOT 3 (HSE #5)
 BELGRAVE VISTA, DARCH
 email: enquiries@stannardgroup.com.au
 www.stannardgroup.com.au
 Stannard Group Pty Ltd
 ABN 27 008 828 082 BC 6583

ARIA SPECIAL
 DRAWN GP
 AMENDMENTS AMD-001-00-00-00-000
 VARIATION V0-000-00-00-00-000
 SHEET 10 OF 10
 JOB No 5159
 DATE 22-10-2020

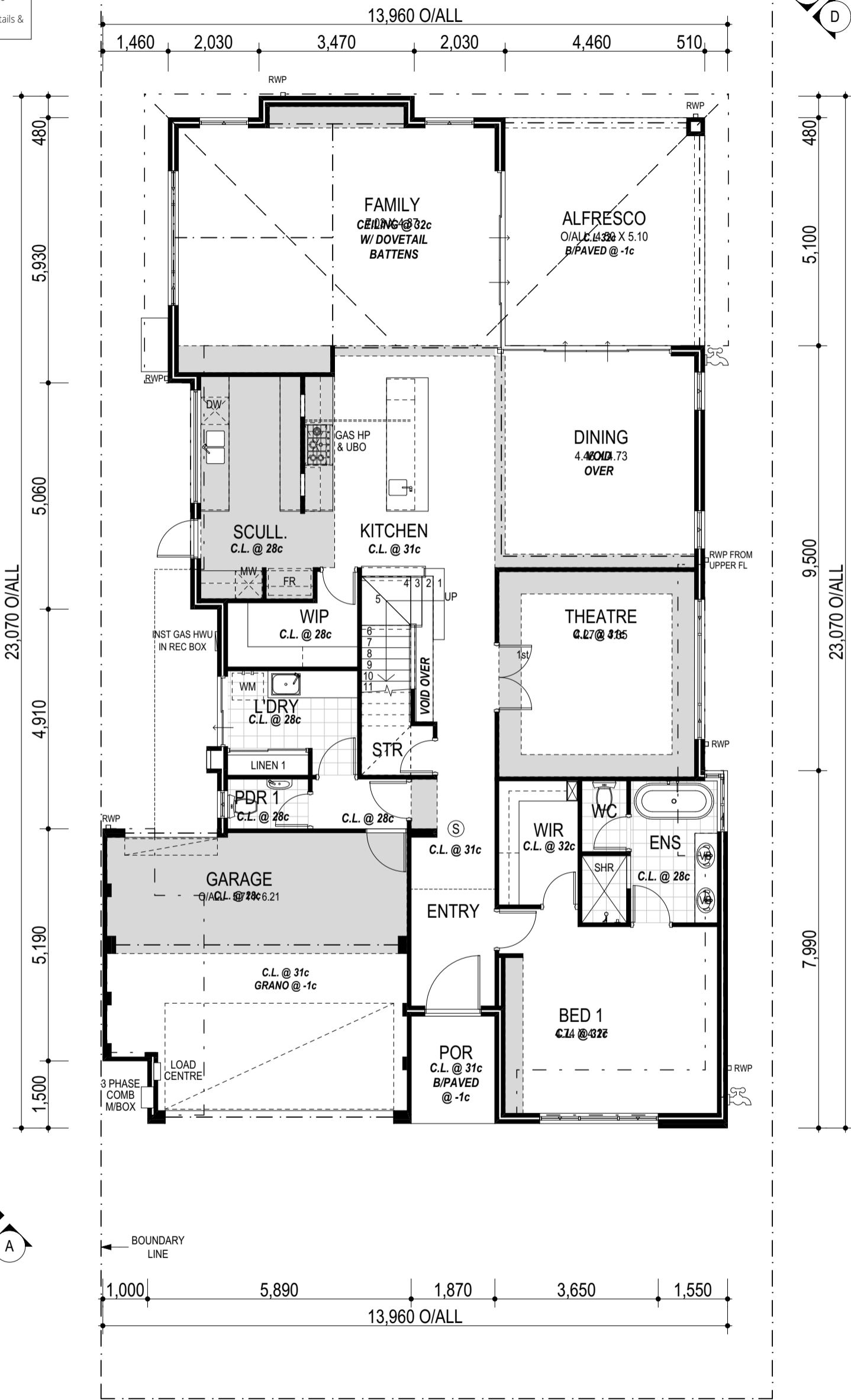
- NOTE:**
1. All plans subject to council/developers approval.
 2. Dimensions are to brick sizes & do not allow for plaster, render or set.
 3. Ceiling height dimensions are approximate & are subject to change due to roof construction & lining thickness.
 4. All dimensions noted on all sheets are approximate & are subject to change during the construction process.
 5. Some floor coverings will require additional preparation by owner after handover.
 6. Final location of downpipes, stormwater system & HWU to be determined on site by builder.
 7. Wall and floor tiles as drawn are indicative representation only of th surface area to be covered.
 8. Notify builders of any discrepancies prior to commencing.
 9. All roof timbers to be as per engineer's details & to comply with AS 1684 & NCC.

ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

Ⓢ DENOTES SMOKE DETECTOR
NOTE: SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC REQUIREMENTS & AS 3786.

WIND CLASSIFICATION N1
TERRAIN CATEGORY TC3
SHIELDING FS
TOPOGRAPHY T0

AREA	
GROUND FL	205.39
GARAGE	43.25
PORTICO	4.49
ALFRESCO	22.75
TOTAL	275.87 m ²
PERIMETER	71.14 m
UPPER FL (INCLUDING VOID & STAIRS)	
BALCONY	14.27
TOTAL	197.35 m ²
PERIMETER	60.58 m
GRAND TOTAL	473.22 m ²



GROUND FLOOR PLAN
1:100

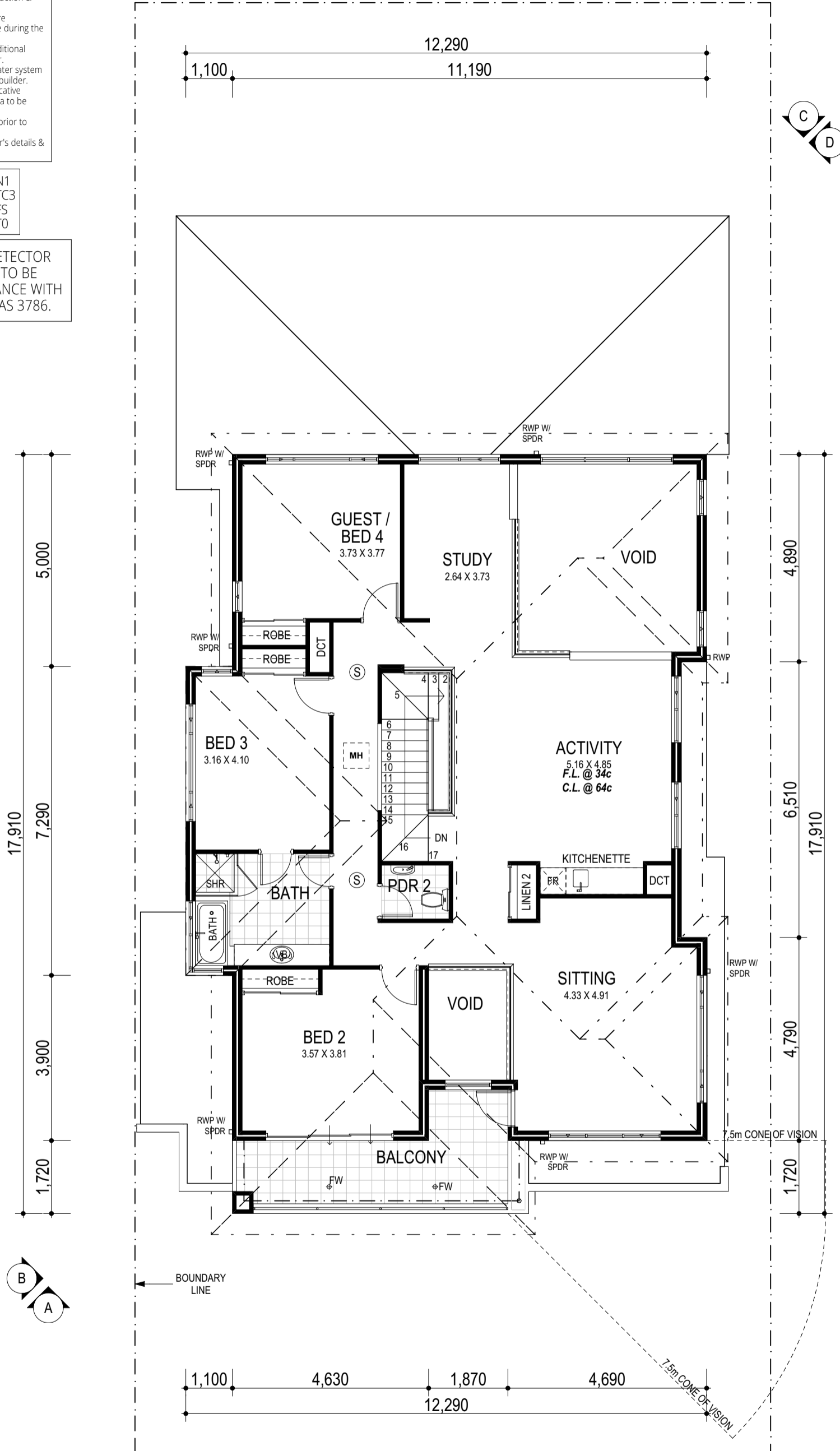
<p>VISION SPECIFICATION</p>	<p>PROPOSED RESIDENCE FOR MR. D NGYUEN & MS. H NGO LOT 3 (HSE #5) BELGRAVE VISTA, DARCH</p>	<p>ARIA SPECIAL</p>			
		<p>DRAWN GP</p>	<p>AMENDMENTS AMD-001-00-00-00-000</p>	<p>VARIATION V0-000-00-00-00-000</p>	<p>SHEET 01 OF 10</p>
<p>42 Hasler Road, Osborne Park Western Australia 6017</p>	<p>Telephone (08) 9446 5500 Facsimile (08) 9446 1825</p>	<p>email: enquiries@stannardgroup.com.au www.stannardgroup.com.au</p>	<p>Stannard Group Pty Ltd ABN 27 008 828 082 BC 6583</p>	<p>DATE 22-10-2020</p>	<p>JOB No 5159</p>

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WIND CLASSIFICATION N1
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 TOPOGRAPHY TO

Ⓢ DENOTES SMOKE DETECTOR
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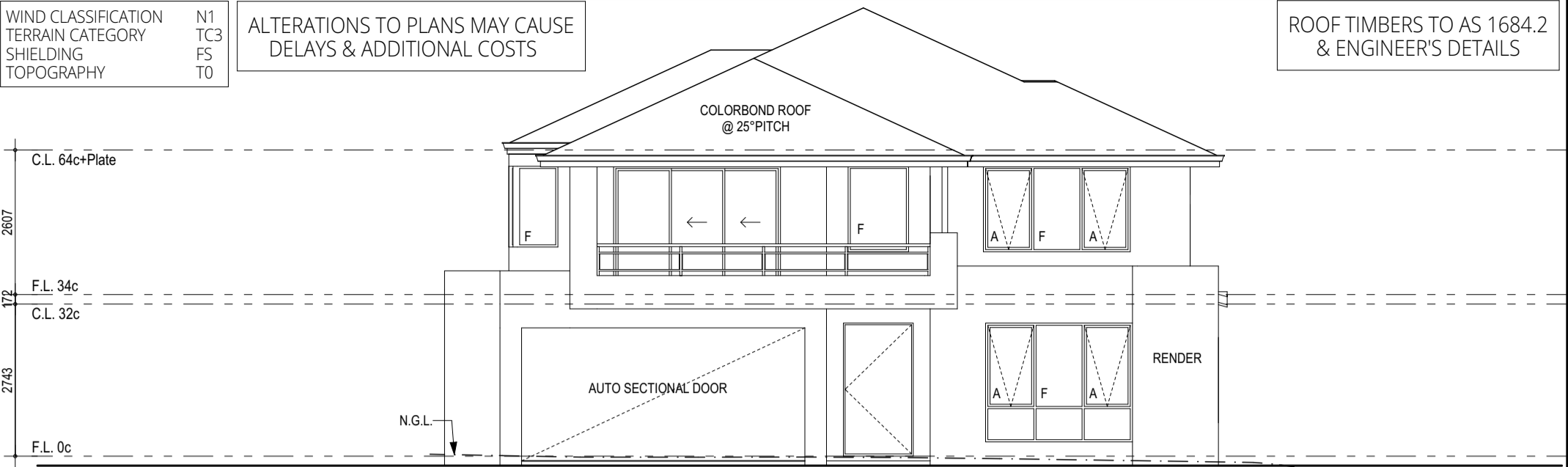
UPPER FLOOR PLAN
 1:100

	PROPOSED RESIDENCE FOR MR. D NGYUEN & MS. H NGO LOT 3 (HSE #5) BELGRAVE VISTA, DARCH	ARIA SPECIAL			
		DRAWN GP	AMENDMENTS AMD-001-00-00-00-000	VARIATION VO-000-00-00-00-000	SHEET 02 OF 10
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 TERRAIN CATEGORY TC3
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 TOPOGRAPHY TO

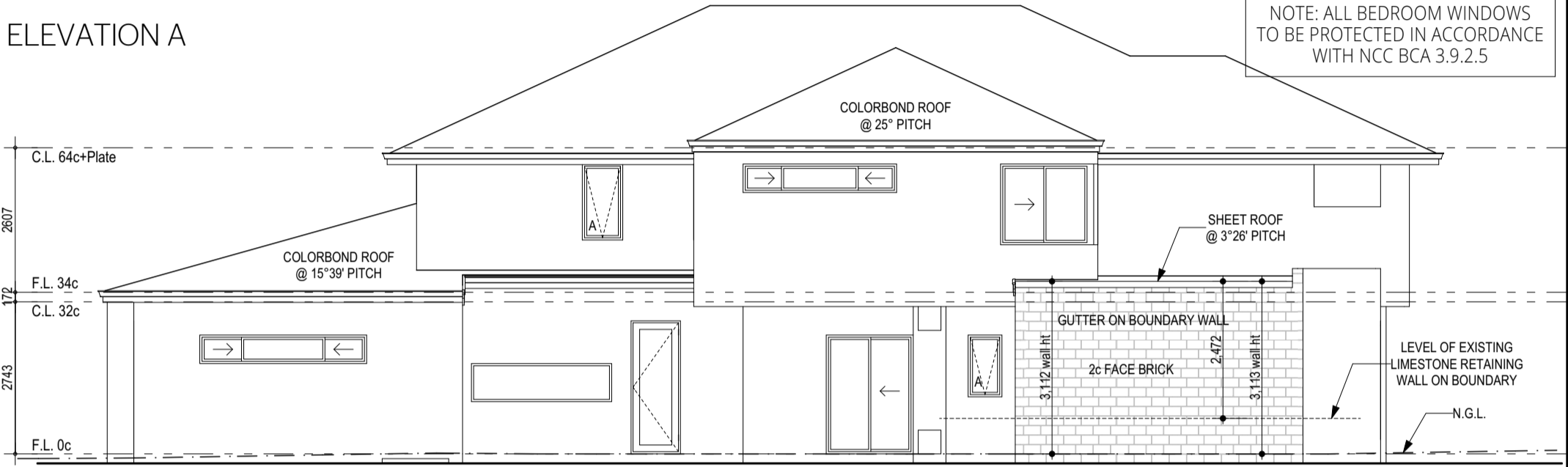
ALTERATIONS TO PLANS MAY CAUSE
 DELAYS & ADDITIONAL COSTS

ROOF TIMBERS TO AS 1684.2
 & ENGINEER'S DETAILS



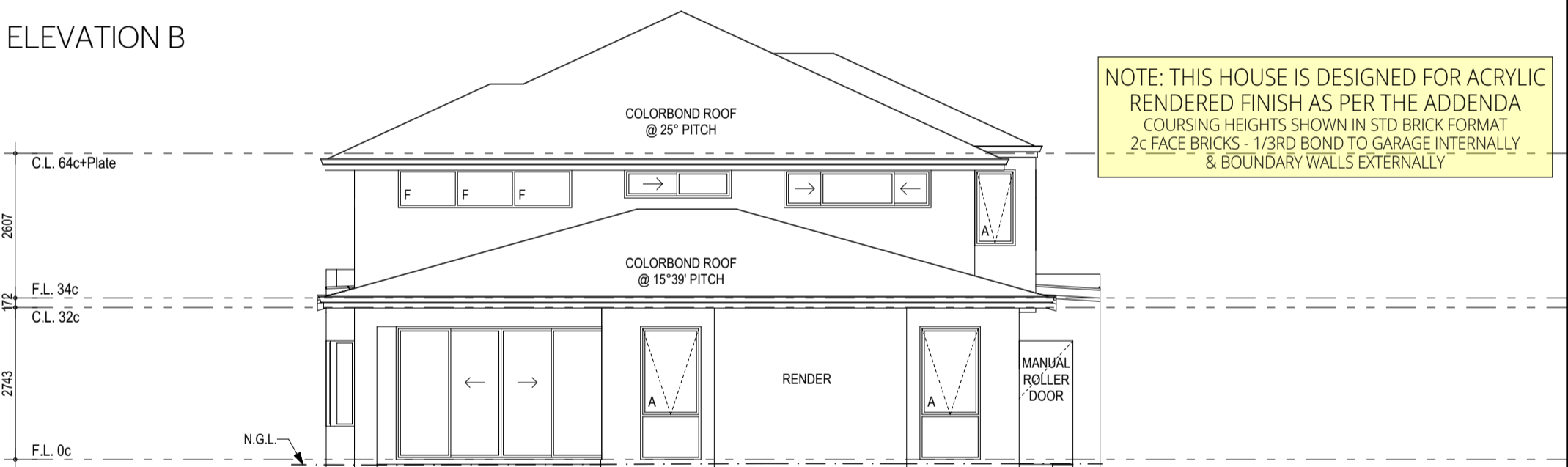
ELEVATION A

NOTE: ALL BEDROOM WINDOWS
 TO BE PROTECTED IN ACCORDANCE
 WITH NCC BCA 3.9.2.5

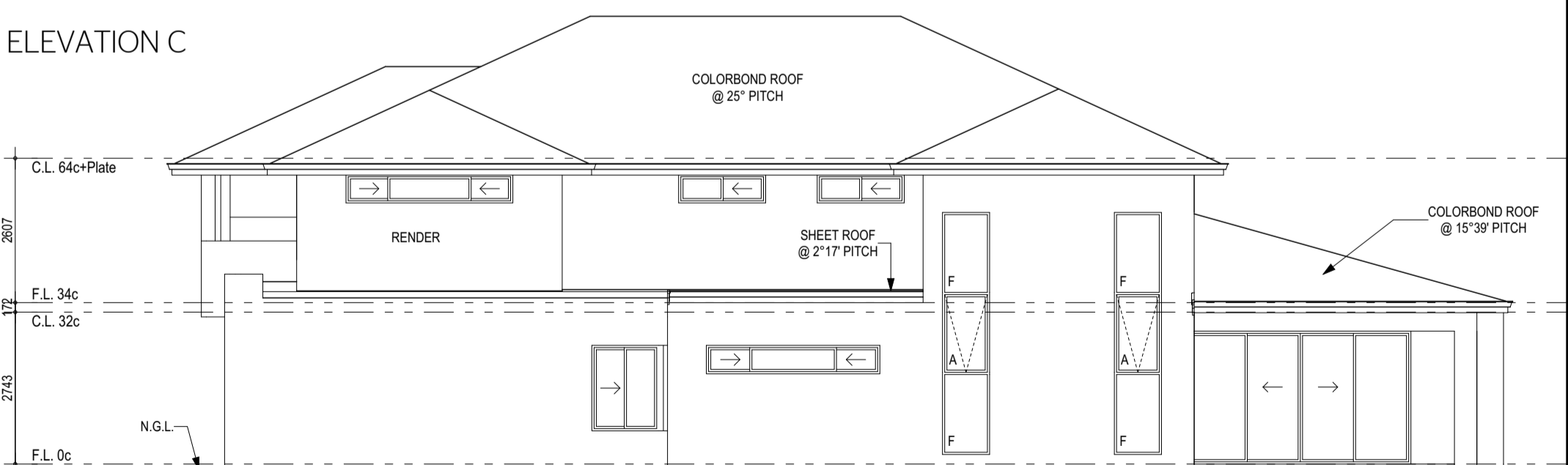


ELEVATION B

NOTE: THIS HOUSE IS DESIGNED FOR ACRYLIC
 RENDERED FINISH AS PER THE ADDENDA
 COURSING HEIGHTS SHOWN IN STD BRICK FORMAT
 2c FACE BRICKS - 1/3RD BOND TO GARAGE INTERNALLY
 & BOUNDARY WALLS EXTERNALLY



ELEVATION C



ELEVATION D

ELEVATIONS
 1:100

SHI STANNARD HOMES
 VISION SPECIFICATION

PROPOSED RESIDENCE FOR
 MR. D NGYUEN & MS. H NGO
 LOT 3 (HSE #5)
 BELGRAVE VISTA, DARCH

ARIA SPECIAL			COPYRIGHT ©
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