

PAVING SCHEDULE			
Top Surface	ID	TOP SURFACE [m2]	PERIM. [mm]
Floor Finish - B'Paving	Pathway	1.60	5.60
Floor Finish - B'Paving	Porch	3.80	7.80
Floor Finish - B'Paving	Crossover	13.03	17.87
Floor Finish - B'Paving	Alfresco	16.20	16.80
Floor Finish - B'Paving	Driveway	31.26	22.80
		65.89 m <sup>2</sup>	70.87 m

GRANO SCHEDULE			
	ID	TOP SURFACE [m2]	PERIMETER [mm]
Floor Finish - Grano	Garage	39.65	27.86
		39.65 m <sup>2</sup>	27.86 m

SITE COVERAGE	
ZONED	R30
% ALLOWED	55%
SITE AREA	450.00m <sup>2</sup>
SITE COV. AREA	182.16m <sup>2</sup>
<b>SITE COV. = 40.5%</b>	

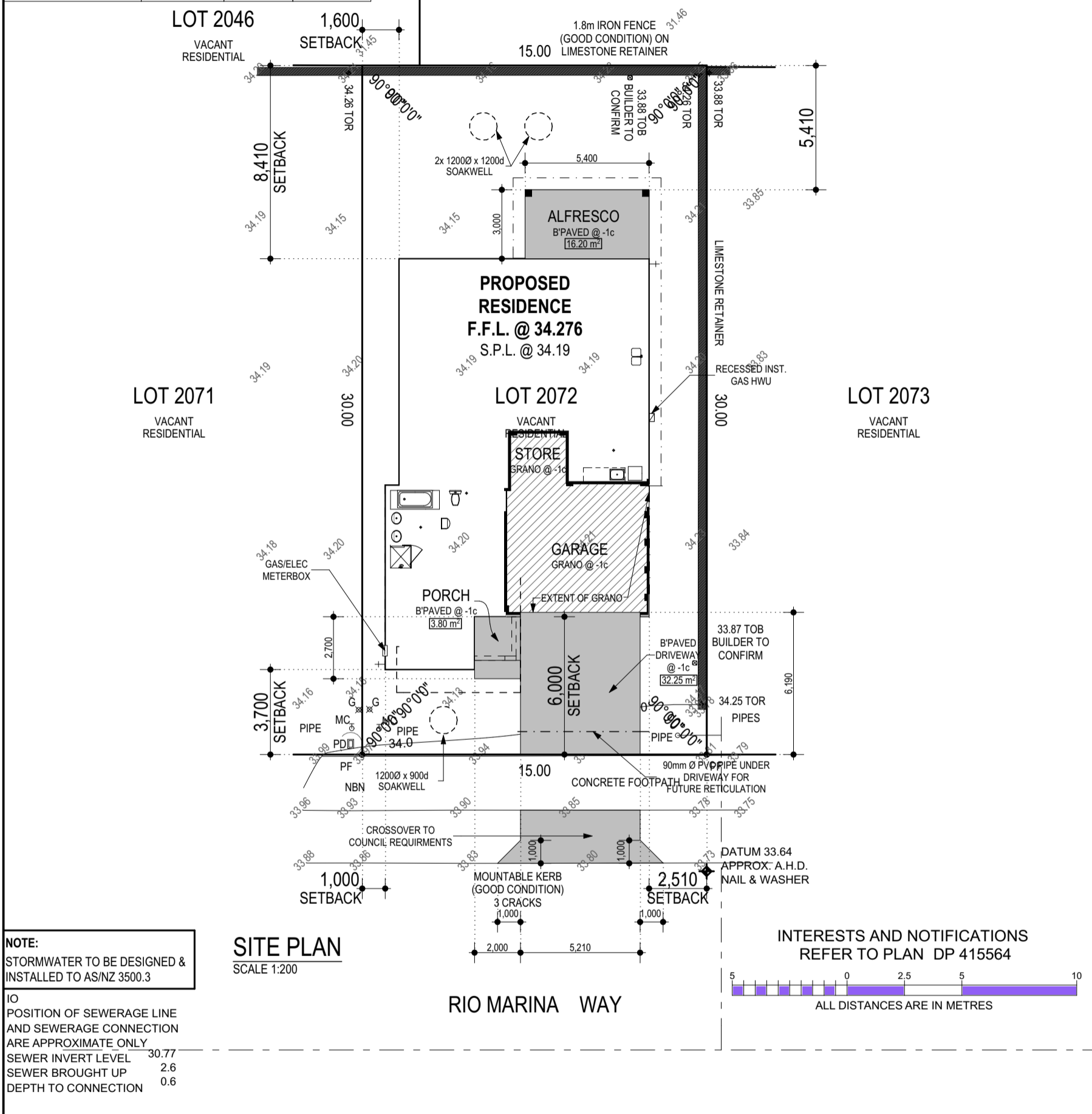
**NOTE: BOUNDARY POSITION AS PER ALIGNMENT**

WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

**LOT 2072**

450 m<sup>2</sup>  
SANDY

COMMON LEGEND	
○ PF	PEG FOUND
○ Pdist	PEG DISTURBED
PG	PEG GONE
◆	DATUM / CONTROL
○ SV	STOP VALVE
○ HY (GROUND)	HYDRANT
○ FP	FLUSH POINT
⊖ TAP	WATER TAP
⊖ MC	METER CONNECTION
○ M	WATER METER
○	DRAINAGE MANHOLE
□	GRATE
□	SIDE ENTRY PIT
○ SEW	SEWER MANHOLE
○ IS	INSPECTION SHAFT
○ IO	INSPECTION OPENING
○ CP	CONSUMER POLE
○ PP	POWER POLE
○ LP	LAMP POST
○ SP	STAY POLE
○ PD	POWER DOME / PILLAR
TEL / NBN	TELSTRA / NBN PIT
□ GAS	GAS METER
× G	GAS LINE MARKER (PT)
99 TOW	TOP OF WALL
99 TOR	TOP OF RETAINER
99 STILL	STILL DEEPER
99 TOB	TOP OF BACKING BLOCK
99 TOF	TOP OF FOOTING
99 BOR	BOTTOM OF RETAINER
99 BOF	BOTTOM OF FENCE FRAME



**NOTE:**  
STORMWATER TO BE DESIGNED & INSTALLED TO AS/NZ 3500.3

IO  
POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY  
SEWER INVERT LEVEL 30.77  
SEWER BROUGHT UP 2.6  
DEPTH TO CONNECTION 0.6

**AUTOMATED SURVEYS PTY LTD**  
LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS  
3 HASLER RD, OSBORNE PARK, WA 6017  
P.O. Box 1862, Osborne Park DC WA 6916  
Telephone (08) 9214 1777  
www.automatedsurveys.com.au

REV.	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED
B					
A	02/07/2020	SITE SURVEY	RDP	ABP	

BUILDER: **NOW LIVING**  
REF.: **93767**

H. Grid: LOCAL  
V. Datum: APPROX.

A.H.D level: 32.95  
Local level: 32.95

A.H.D. value derived from: AE8247

Distance from Datum: 49.25 m

CLIENT:	<b>KUNNIGER / WELMAN</b>		
PROJECT:	<b>LOT 2072 (#48) RIO MARINA WAY, MINDARIE</b>		
AUTHORITY:	<b>CITY OF WANNEROO</b>	UBD MAP:	<b>124 /08 /24</b>
PLAN:	<b>SITE SURVEY</b>	PACKAGE:	<b>B</b>
Scale:	<b>1: 200 @ A3</b>	SHEET:	<b>1 of 1</b>
Approx. 1.14 km FROM COAST LINE	distance: 5.90 km FROM LAKE	DRAWING No.:	<b>232863</b>
		REV.:	<b>A</b>

**TERRACE**

Level 8, 67 Walters Drive, Osborne Park WA 6017  
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Reg. Builder No. 6415 A.B.N. 54 009 063 076  
terracewa.com.au

REVISION	VO #	DRN	DATE	CHK
AMENDS	WD1	ALG	05.08.20	JM
	WD2	MH	14.10.20	MH

Sub-contractors to verify all dimensions on site.

CLIENT: .....

DATE: .....

CLIENT: .....

DATE: .....

BUILDER: .....

DATE: .....

CLIENT: **KUNNIGER WELMAN**

ADDRESS: **LOT 2072 RIO MARINA WAY MINDARIE**

**CUSTOM**

TERRACE SPECS 2c FACEBRICK

MODEL N°

DATE: **14.10.20**

MAP REF.

WIND RATING

COASTAL CATEGORY

ENGINEERS DETAIL

JOB N° **93767**

SHEET N° **10 OF 10**

**GENERAL NOTES:**

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR PLASTER THICKNESS OR CORNER BEADING.
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O'ALL LENGTH AND WIDTH OF DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

**TRADES/ SUPPLIERS/ SUPERVISORS NOTE:**

- FOR TYPICAL TERRACE CONSTRUCTION DETAILS. REFER TO SEPARATE DETAILS DOCUMENT. CONTACT BUILDING SUPERVISOR IF REQUIRED.
- FOR NON-STANDARD TERRACE CONSTRUCTION DETAILS REFER TO DETAIL PLANS.

**BRICKLAYER NOTES:**

- 230w CAVITY BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK

**ROOF PLUMBER NOTES:**

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES

**ROOF INSULATION NOTES:**

- INSULATION TO ALL EXTERNAL BRICK CAVITY WALL.
- R4.0 CEILING INSULATION AS PER ADDENDA.

**ROOF CARPENTER NOTES:**

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

**CEILING FIXER NOTES:**

- CEILING @ 31c TO GROUND FLOOR UNLESS NOTED OTHERWISE.

**FIXING CARPENTER NOTES:**

- 4x450D SHELVES TO WIL & WIP

**N.C.C NOTES:**

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- (S) HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786.

**PLUMBER NOTES:**

- REFLUX VALVE TO SEWER DUE TO HOBLESS SHOWER.

**RENDERER NOTES:**

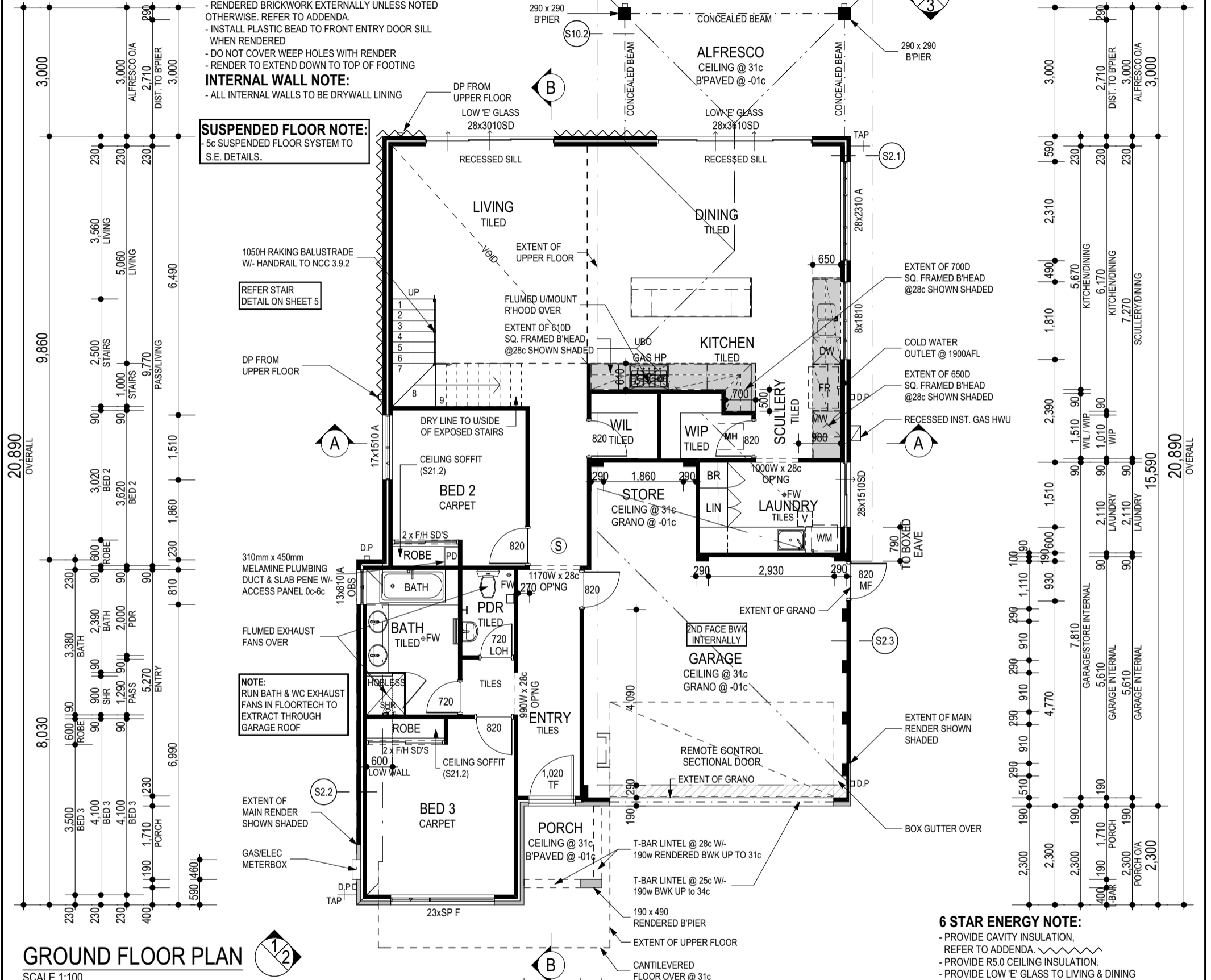
- RENDERED BRICKWORK EXTERNALLY UNLESS NOTED OTHERWISE. REFER TO ADDENDA.
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

**INTERNAL WALL NOTE:**

- ALL INTERNAL WALLS TO BE DRYWALL LINING

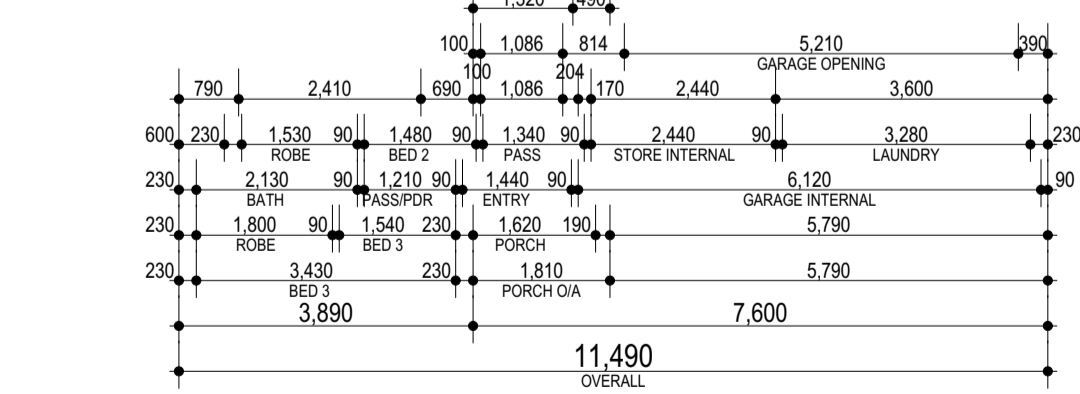
**SUSPENDED FLOOR NOTE:**

- 5c SUSPENDED FLOOR SYSTEM TO S.E. DETAILS.



**GROUND FLOOR PLAN**  
SCALE 1:100

ROOF AREAS GROUND		
ROOF AREA - GROUND [m2 ON THE FLAT]	120.70	
AREAS - GROUND		
	PERIM. (m)	AREA (m2)
HOUSE (GROUND)	63.16	140.83
GARAGE/STORE	28.42	41.34
ALFRESCO	16.80	16.20
PORTICO	7.80	3.80
		202.17 m <sup>2</sup>



**6 STAR ENERGY NOTE:**

- PROVIDE CAVITY INSULATION, REFER TO ADDENDA.
- PROVIDE R5.0 CEILING INSULATION.
- PROVIDE LOW 'E' GLASS TO LIVING & DINING SLIDING DOOR & WINDOWS.

**QUIET HOUSE DESIGN REQUIREMENTS 'PACKAGE A' NOTE:**

- PROVIDE MIN 6mm (MONOLITHIC, TOUGHENED OR LAMINATED) GLASS WITH SEALS TO ALL WINDOWS, EXCLUDING LIVING SLIDING DOOR, DINING SLIDING DOOR & VOID WINDOW & WET AREA WINDOWS.
- FRONT DOOR TO BE MIN. 35mm THICK SOLID CORE TIMBER DOOR WITH FULL PERIMETER ACOUSTIC SEALS. ANY GLAZED INSERTS TO MATCH WINDOW GLAZING REQUIREMENTS.

LEGEND	
230w CAVITY	
2c FACE BWK	
230 CAVITY MAIN RENDER BWK	

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REVISION	VO #	DRN	DATE	CHK
	WD1	ALG	05.08.20	JM
	WD2	MH	14.10.20	MH

Sub-contractors to verify all dimensions on site.

CLIENT: .....  
DATE: .....  
CLIENT: .....  
DATE: .....  
BUILDER: .....  
DATE: .....

CLIENT: KUNNIGER WELMAN  
ADDRESS: LOT 2072 RIO MARINA WAY MINDARIE

CUSTOM	
TERRACE SPECS	2c FACEBRICK
MODEL N°	DATE: 14.10.20
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N° 93767	SHEET N° 1 OF 10

**GENERAL NOTES:**

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
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- FLOOR WASTE, CEILING VENT & MANHOLE LOCATIONS ARE SUBJECT TO CHANGE AT THE BUILDER'S DISCRETION.
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**RENDERER NOTES:**

- RENDERED BRICKWORK EXTERNALLY UNLESS NOTED OTHERWISE. REFER TO ADDENDA.
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED
- DO NOT COVER WEEP HOLES WITH RENDER
- RENDER TO EXTEND DOWN TO TOP OF FOOTING

**SUSPENDED FLOOR NOTE:**

- 5c SUSPENDED FLOOR SYSTEM TO S.E. DETAILS.

**BRICKLAYER NOTES:**

- 230w CAVITY BRICKWORK, THIRD BOND & RENDER FINISH EXTERNALLY AS SHOWN ON FLOOR PLAN & ELEVATIONS.
- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK

**INTERNAL WALL NOTE:**

- ALL INTERNAL WALLS TO BE DRYWALL LINING

**ROOF INSULATION NOTES:**

- INSULATION TO ALL EXTERNAL BRICK CAVITY WALL.
- R4.0 CEILING INSULATION AS PER ADDENDA.

**ROOF PLUMBER NOTES:**

- DOWNPIPES TO BE LOCATED AS PER PLANS BUT MAY BE RELOCATED AT SUPERVISORS DISCRETION.
- GUTTER BRACKETS TO BE INSTALLED @ 1200mm MAX CENTRES

**ROOF CARPENTER NOTES:**

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

**FIXING CARPENTER NOTES:**

- 450D SHELF & RAIL @ 1700 HIGH TO WIR UNLESS OTHERWISE NOTED.

**N.C.C NOTES:**

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2.
- (S) HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786.

**CEILING FIXER NOTES:**

- CEILING @ 63c (28c AFL + PLATE) TO FIRST FLOOR UNLESS NOTED OTHERWISE.

**RESTRICTED OPENING NOTE:**

- RESTRICTED OPENING AS PER NCC 3.9.2.5

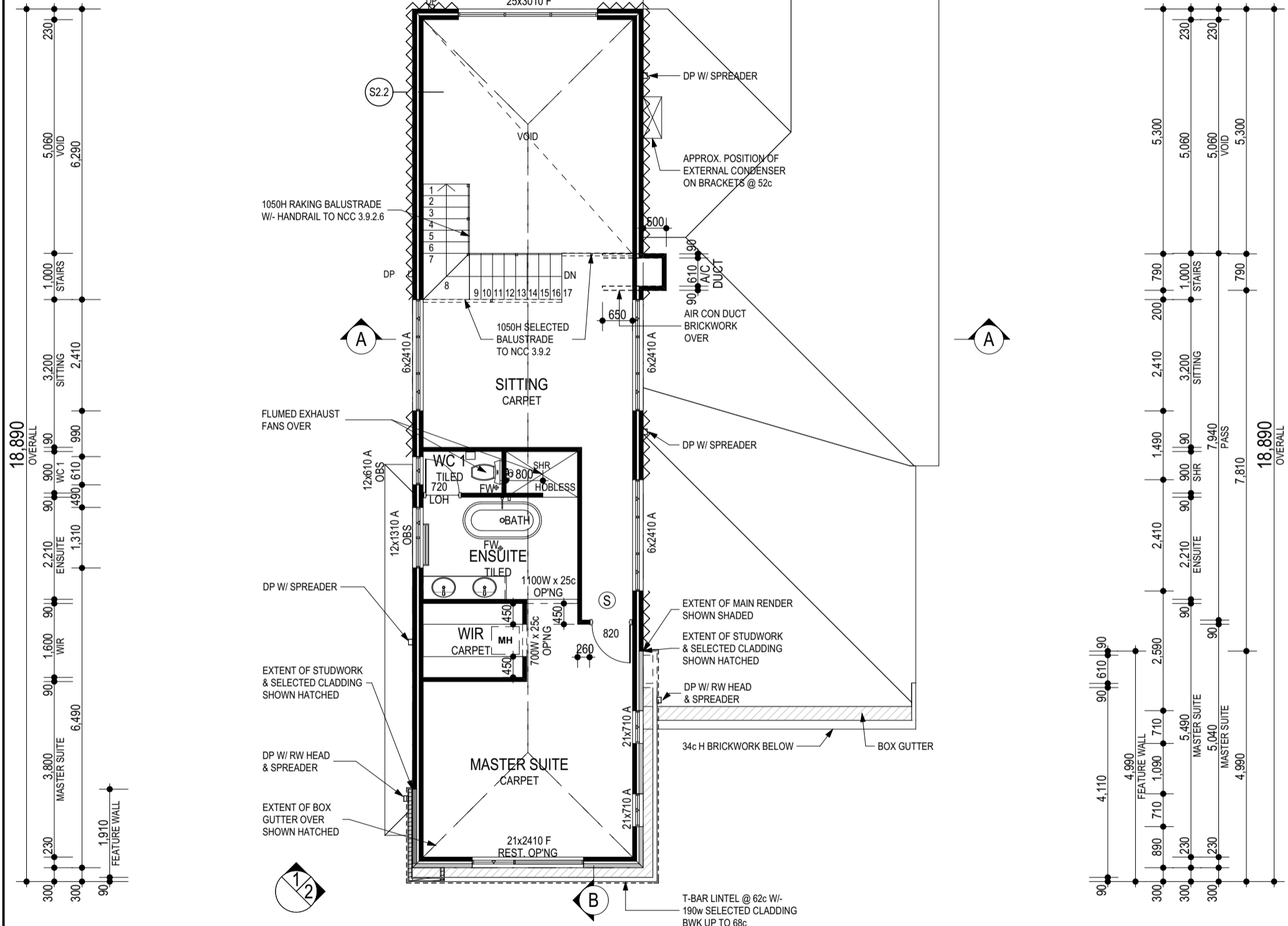
**6 STAR ENERGY NOTE:**

- PROVIDE CAVITY INSULATION, REFER TO ADDENDA.
- PROVIDE R5.0 CEILING INSULATION.
- PROVIDE LOW 'E' GLASS TO LIVING & DINING SLIDING DOOR & WINDOWS.

**QUIET HOUSE DESIGN REQUIREMENTS**

**'PACKAGE A' NOTE:**

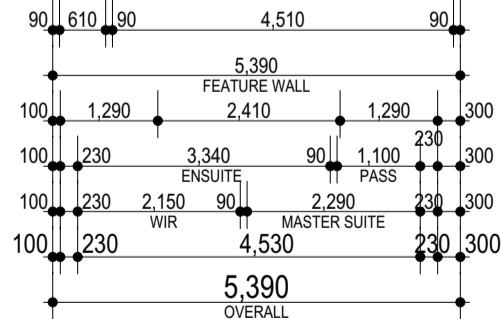
- PROVIDE MIN 6mm (MONOLITHIC, TOUGHENED OR LAMINATED) GLASS WITH SEALS TO ALL WINDOWS, EXCLUDING LIVING SLIDING DOOR, DINING SLIDING DOOR & VOID WINDOW & WET AREA WINDOWS.
- FRONT DOOR TO BE MIN. 35mm THICK SOLID CORE TIMBER DOOR WITH FULL PERIMETER ACOUSTIC SEALS. ANY GLAZED INSERTS TO MATCH WINDOW GLAZING REQUIREMENTS.



**UPPER FLOOR PLAN**

SCALE 1:100

ROOF AREAS FIRST		
ROOF AREA - UPPER [m2 ON THE FLAT]		92.78
AREAS - UPPER		
	PERIM. (m)	AREA (m2)
HOUSE (FIRST)	37.58	66.77
		66.77 m <sup>2</sup>



LEGEND	
230w CAVITY	[Symbol]
2c FACE BWK	[Symbol]
230w CAVITY MAIN RENDER BWK	[Symbol]
90w SELECTED CLADDING	[Symbol]

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REVISION	VO #	DRN	DATE	CHK
	WD1	ALG	05.08.20	JM
AMENDS	WD2	MH	14.10.20	MH

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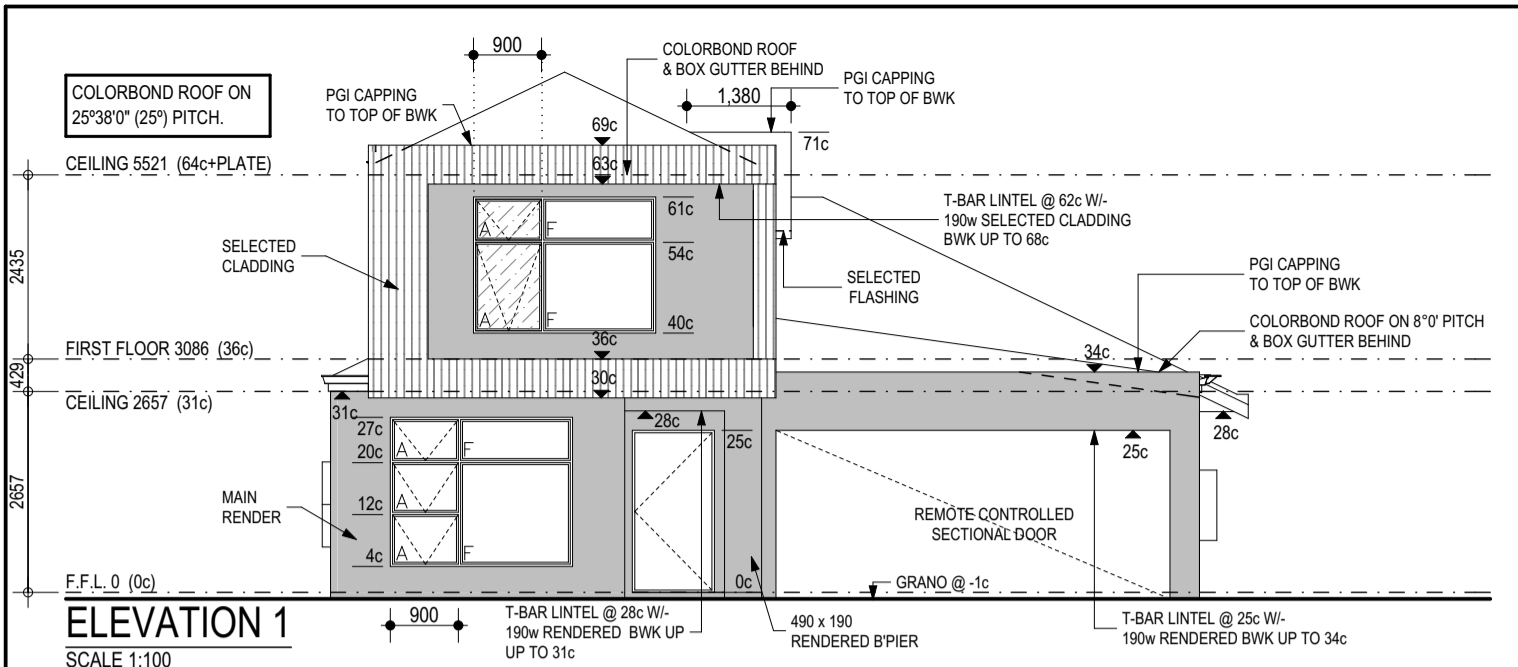
CLIENT: KUNNIGER WELMAN  
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**CUSTOM**

TERRACE SPECS	2c FACEBRICK
MODEL N°	DATE: 14.10.20
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N° 93767	SHEET N° 2 OF 10





**ELEVATION NOTES:**

- CONVENTIONAL ROOF FRAME APPLIES.
- ROOF TIE DOWN/FIXING STRAPS TO COMPLY WITH AS 3700 OR AS 4773 OR AS PER ENGINEER'S DETAIL.
- GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047.
- ALL SUB-CONTRACTORS TO CHECK DIMENSIONS & NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- ALL DIMENSIONS TO BRICKWORK.
- RESTRICTED OPENING AS PER NCC 3.9.2.5

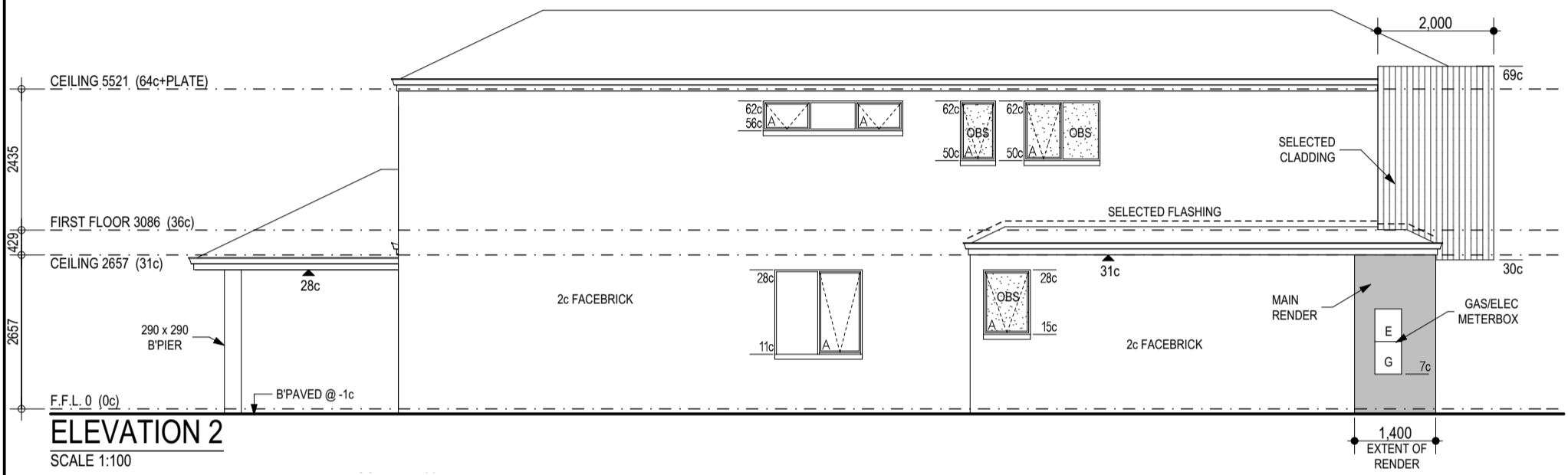
**WINDOW SUPPLIER NOTE:**

- SHADED WINDOWS INDICATE OBSCURE GLAZING.
- GLAZING DESIGNED AND CONSTRUCTED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047

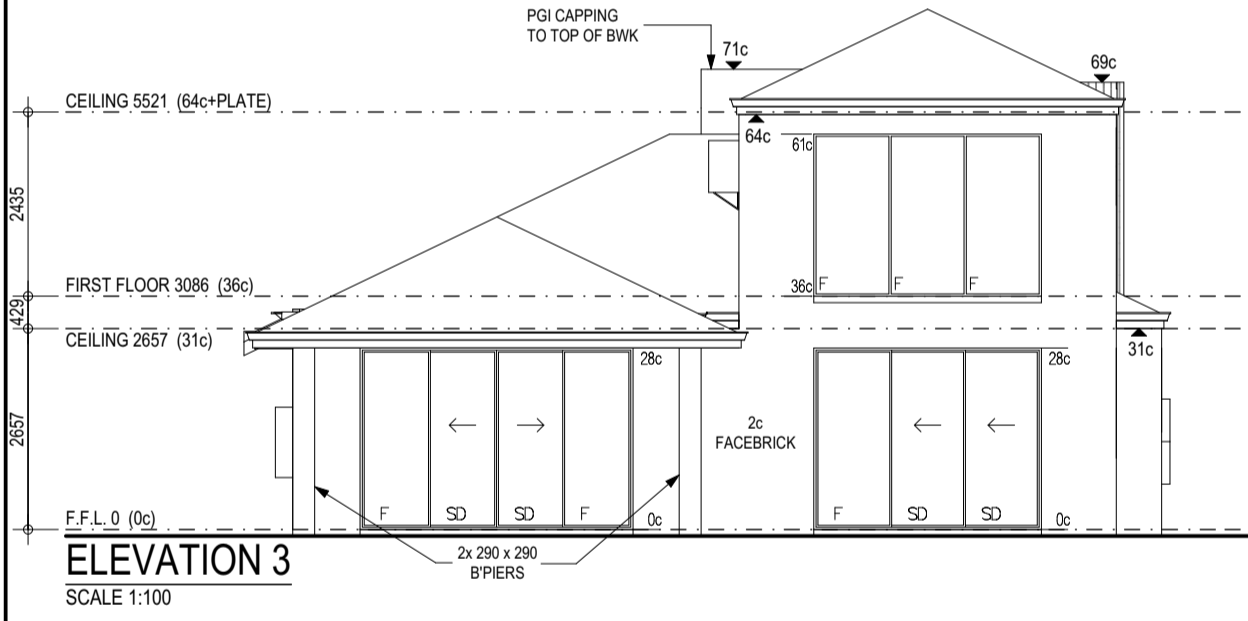
**LEGEND:**

MAIN RENDER:	
SELECTED CLADDING:	
RESTRICTED OPENING: AS PER NCC 3.9.2.5 SHOWN HATCHED	
OBSCURED GLAZING:	

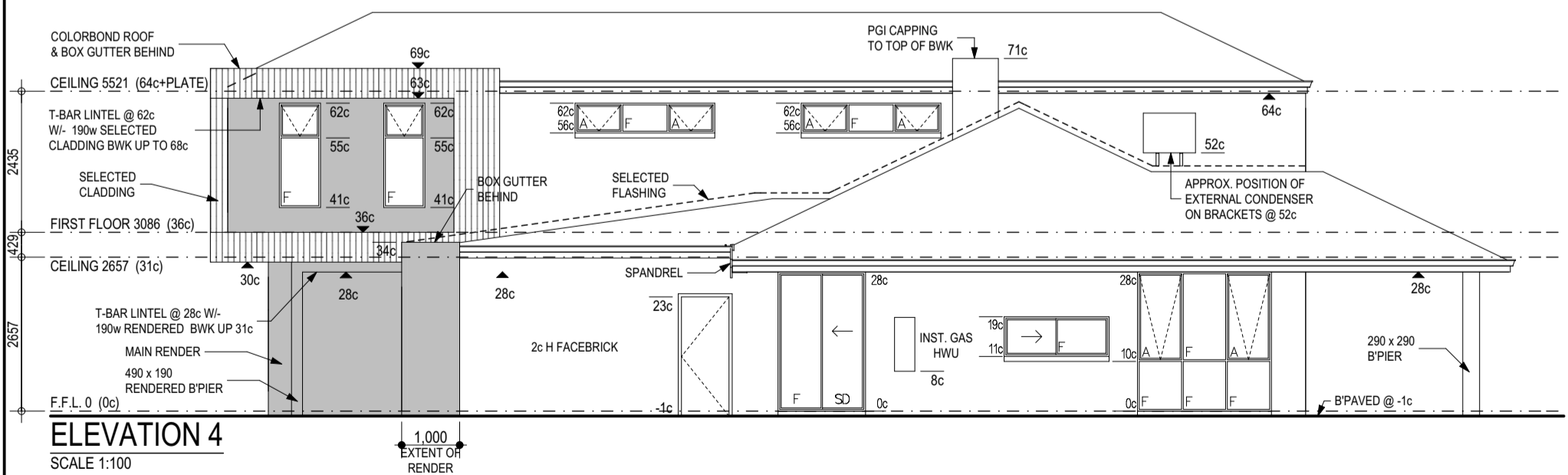
**ELEVATION 1**  
SCALE 1:100



**ELEVATION 2**  
SCALE 1:100



**ELEVATION 3**  
SCALE 1:100



**ELEVATION 4**  
SCALE 1:100

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AMENDS	WD2	MH	14.10.20	MH

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DATE: .....

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BUILDER: .....

DATE: .....

CLIENT:  
**KUNNIGER  
WELMAN**

ADDRESS:  
**LOT 2072  
RIO MARINA WAY  
MINDARIE**

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**CUSTOM**

TERRACE SPECS	2c FACEBRICK
MODEL N°	DATE <b>14.10.20</b>
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N° <b>93767</b>	SHEET N° <b>3 OF 10</b>