

Approx. F.L. At Door 8.47



BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

BEWARE:
Brick & Tile
-Obstructed

BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

NOTE:
Approx. Sewer Clearance Line
(This line is NOT an easement)

Setbacks MUST be confirmed
by Water Corp. before any
design work is undertaken.
This line is NOT definitive.

NOTE: BEWARE: ADVISE TRADES
OF HIDDEN POWER LINES

DISCLAIMER:
HIGH TENSION POWER LINES. CHECK TITLE FOR
EASEMENTS AND WESTERN POWER FOR SET-BACKS.

UNIT 1

UNIT 2

FLOOR AREAS			
Floor	Area	Area	Perimeter
Ground Floor	205.41	72.84	
GARAGE/STORE	38.44	25.20	
ALFRESCO	20.11	20.72	
PORCH	4.01	8.08	
	263.03 m²		

FLOOR AREAS			
Floor	Area	Area	Perimeter
Ground Floor	211.88	70.16	
GARAGE/STORE	39.58	25.38	
ALFRESCO	16.03	17.98	
PORCH	4.83	8.80	
	272.33 m²		

CITY OF WANNEROO
R-CODE NOTE
ZONE - R20/40
SITE COVERAGE
SITE AREA = 459.29m²
REQ. OPEN SPACE = 45%
COVERED AREA = 244.85m² = 53.31%
OPEN SPACE PROVIDED = 214.43m² = 46.69%

PRIMARY STREET SETBACK - N/A
AREA FORWARD OF 4m SETBACK = 6.46m²
COMPENSATING AREA = 88m²

35% OVERSHADOWING - N/A
ADJOINING LOT AREA = ___m²
SHADOW CAST = ___m² ___%

R CODE VARIATION REQ. - N/A

GROUND FLOOR CEILINGS AT 28c THROUGHOUT UNLESS NOTED OTHERWISE

CITY OF WANNEROO
R-CODE NOTE
ZONE - R20/40
SITE COVERAGE
SITE AREA = 459.29m²
REQ. OPEN SPACE = 45%
COVERED AREA = 251.47m² = 54.72%
OPEN SPACE PROVIDED = 208.07m² = 45.28%

PRIMARY STREET SETBACK - N/A
AREA FORWARD OF 4m SETBACK = 88m²
COMPENSATING AREA = 88m²

35% OVERSHADOWING - N/A
ADJOINING LOT AREA = ___m²
SHADOW CAST = ___m² ___%

R CODE VARIATION REQ. - N/A

GROUND FLOOR CEILINGS AT 28c THROUGHOUT UNLESS NOTED OTHERWISE

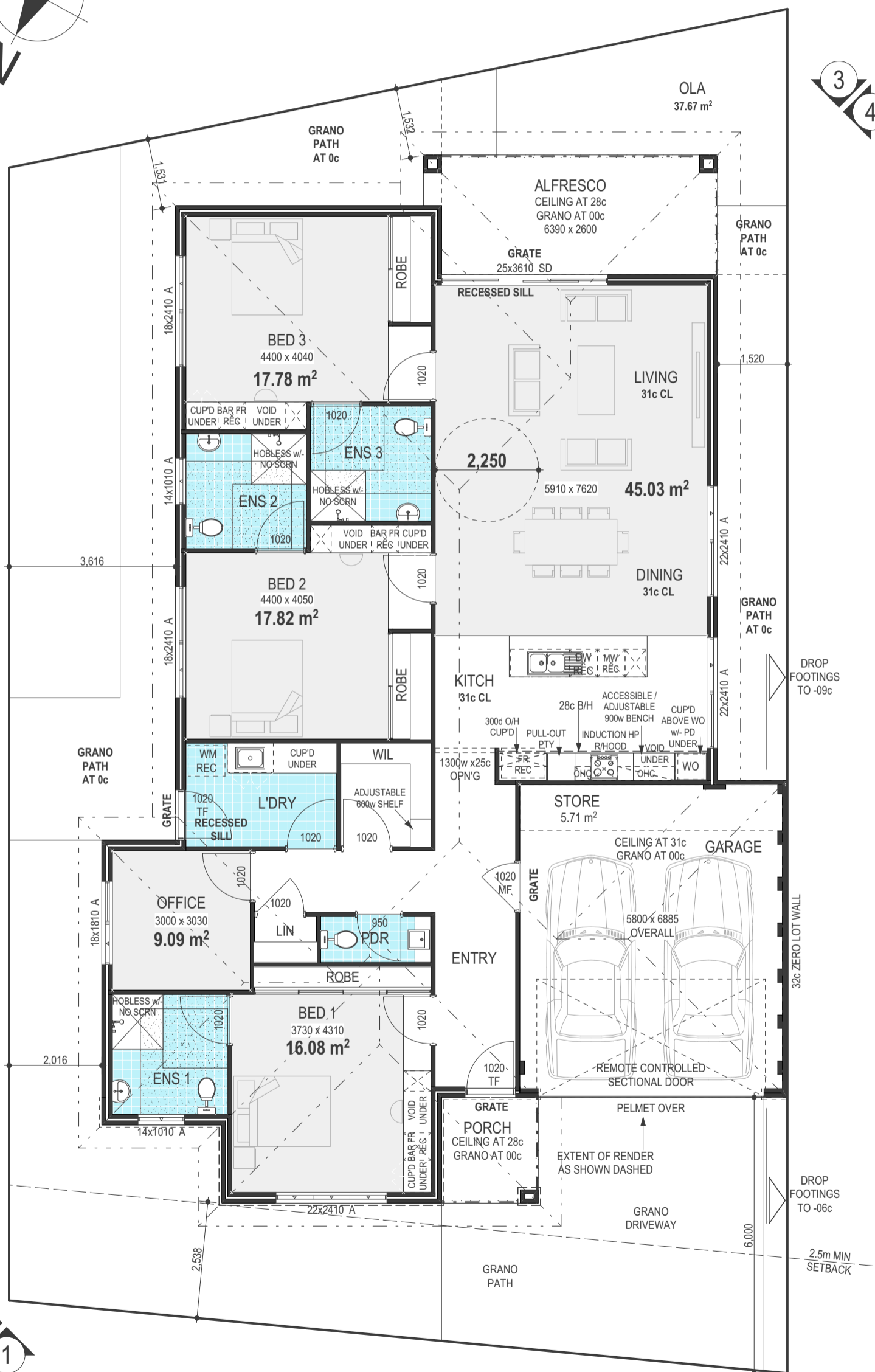
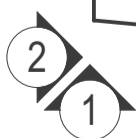
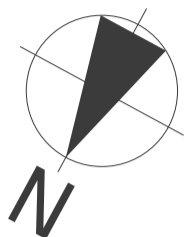
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CLIENT: **PHILLIP KERLE**
ADDRESS: **PROPOSED STRATA LOT 1&2 OF LOT 283 (#85)
FREDERICK STREET, WANNEROO**

REV. VARIATION DWN. DATE
1 CHANGES EST. 18/10/20
ES 19/02/20

JOB No: -
DESIGN AND CONSTRUCTION NOTE
ALL DRAWINGS TO BE REVIEWED AND CHECKED
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SHEET No: **1 OF 5**
ES PRESTIGE DESIGN
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SCALE: 1:100 E:\es\shale\pse\2020\18_085\617.dwg



FLOOR AREAS			
Floor	Area	Area	Perimeter
Ground Floor			
GROUND FLOOR	211.89	70.16	
GARAGE/STORE	39.58	25.38	
ALFRESCO	16.03	17.98	
PORCH	4.83	8.80	
	272.33 m²		

CITY OF WANNEROO

R-CODE NOTE

ZONE - R20/40

SITE COVERAGE
 SITE AREA = 459.54m²
 REQ. OPEN SPACE = 45%
 COVERED AREA = 251.47m² = 54.72%
 OPEN SPACE PROVIDED = 208.07m² = 45.28%

PRIMARY STREET SETBACK - N/A
 AREA FORWARD OF 4m SETBACK = ##m²
 COMPENSATING AREA = ##m²

35% OVERSHADOWING - N/A
 ADJOINING LOT AREA = ##m²
 SHADOW CAST = ##m² %

R CODE VARIATION REQ. - N/A

GROUND FLOOR CEILINGS AT 28c
 THROUGHOUT UNLESS NOTED
 OTHERWISE

GROUND FLOOR PLAN
1:100

UNIT 2

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CLIENT:
PHILLIP KERLE

ADDRESS:
 PROPOSED STRATA LOT 2 OF LOT 283 (#85)
 FREDERICK STREET, WANNEROO

REV.	VARIATION	DRN	DATE
1	CHANGES	ES	28/1/20
		ES	8/9/20

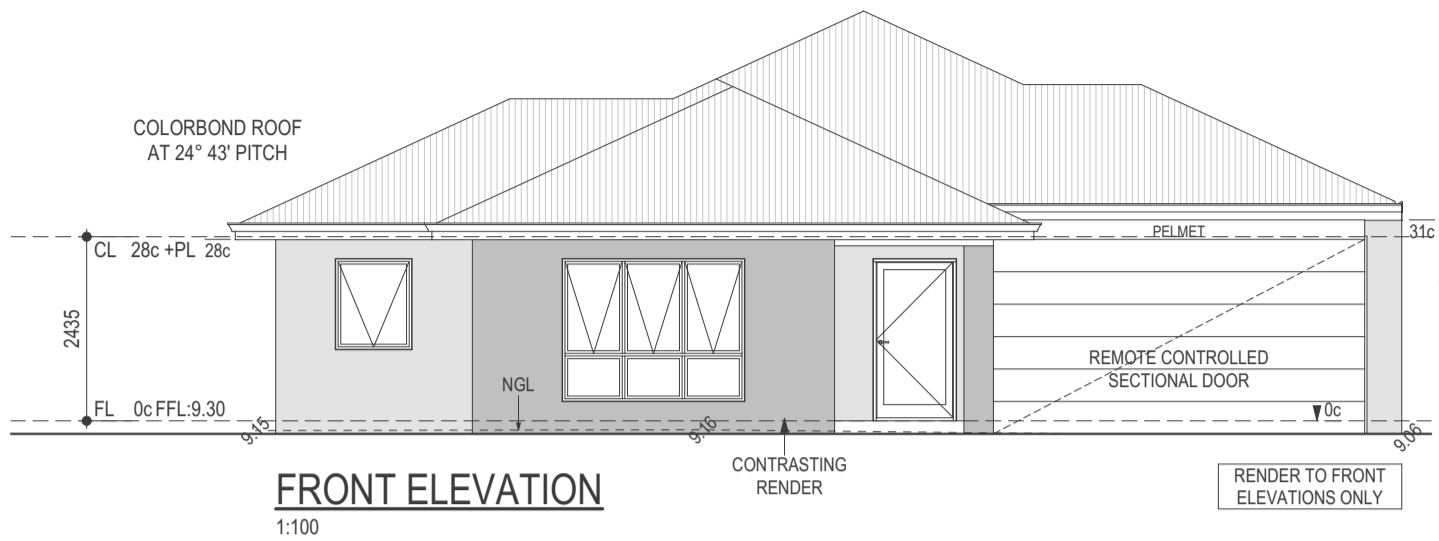
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SHEET No.:
4 OF 5

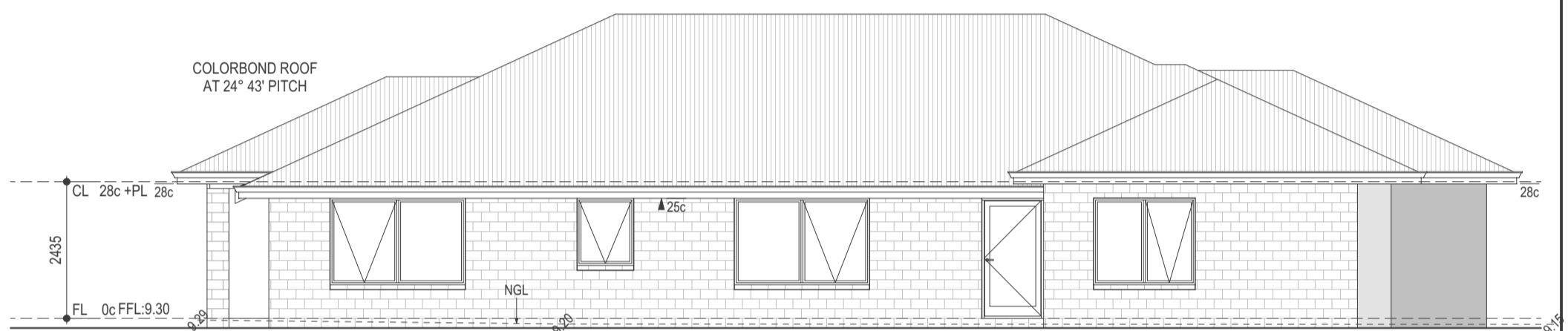
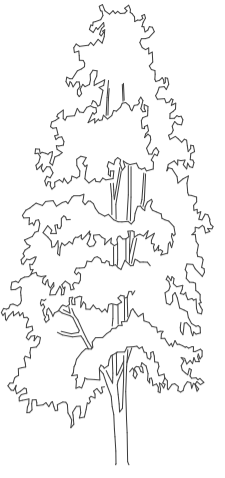
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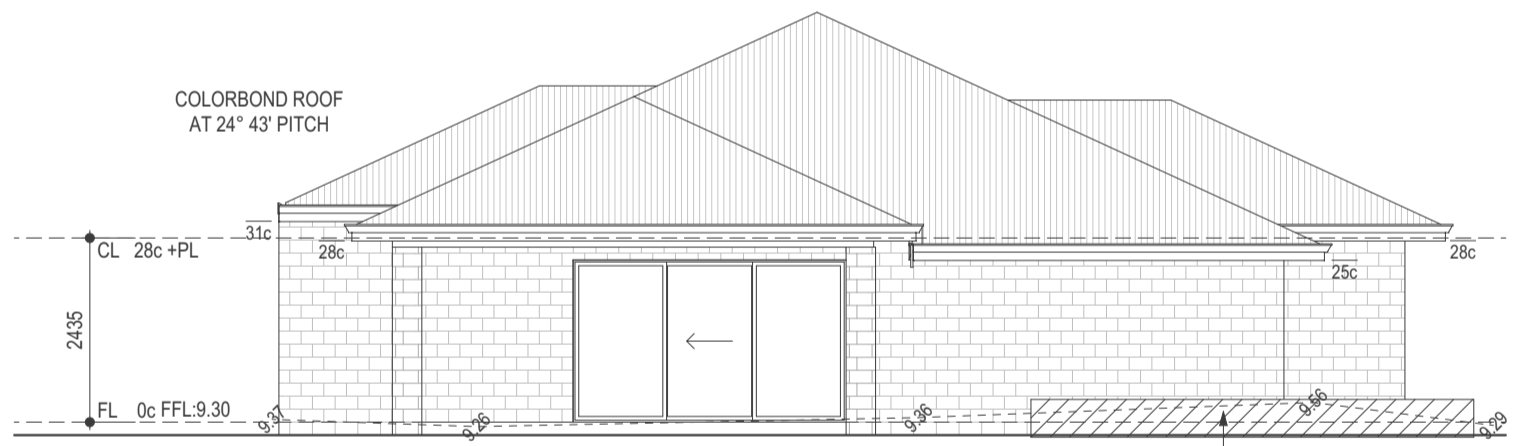
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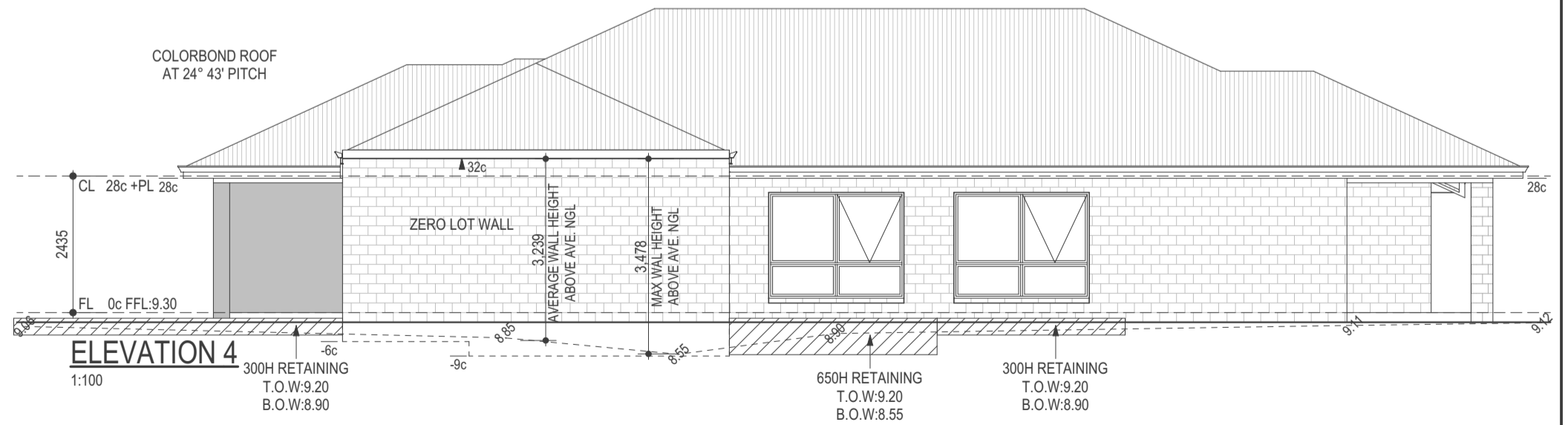
FRONT ELEVATION
1:100



ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100

UNIT 2

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REV.	VARIATION	DRN	DATE
1	CHANGES	ES	28/1/20
		ES	8/9/20

JOB No.:
-
SHEET No.:
5 OF 5
SCALE: 1:100

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