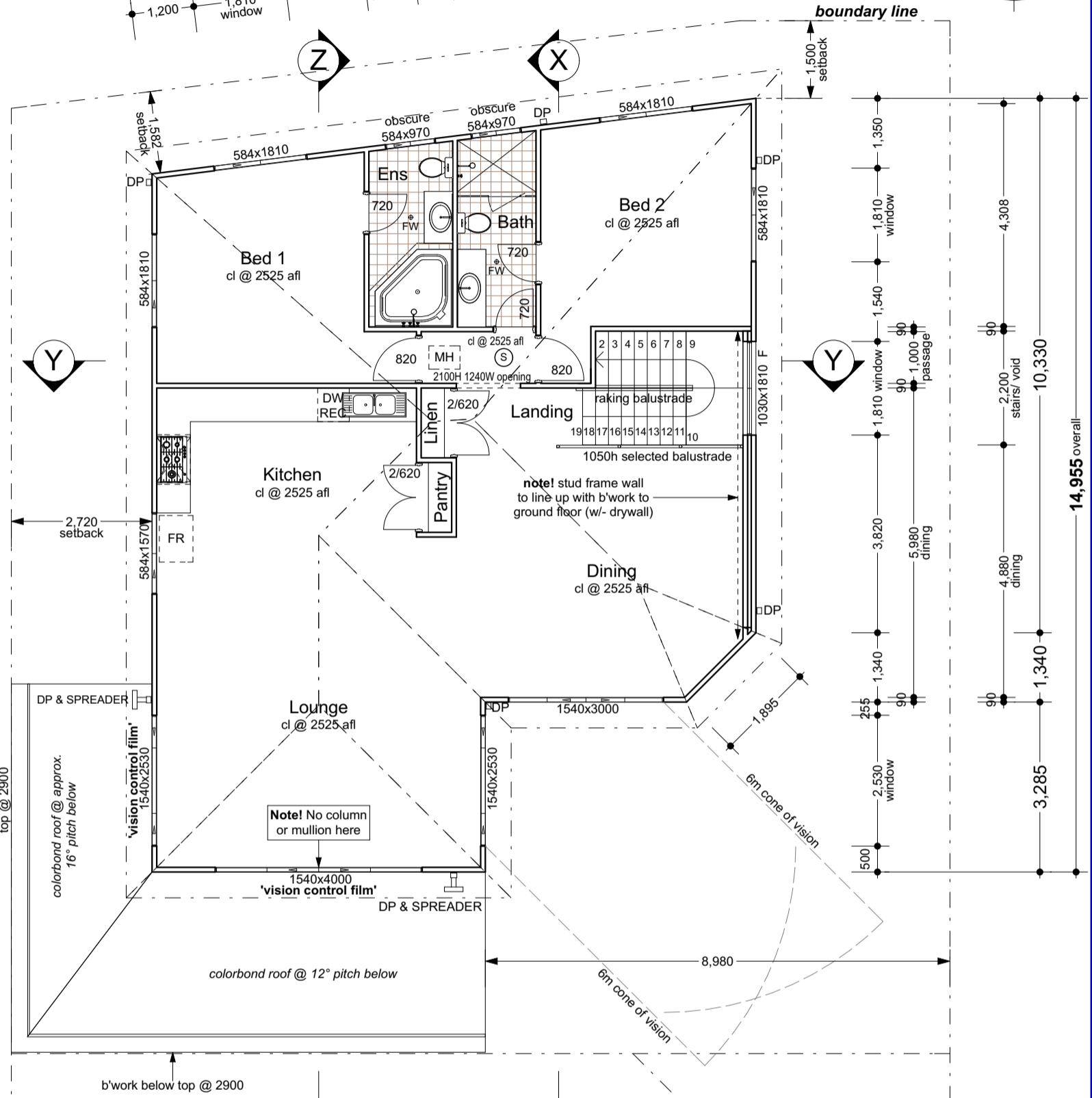
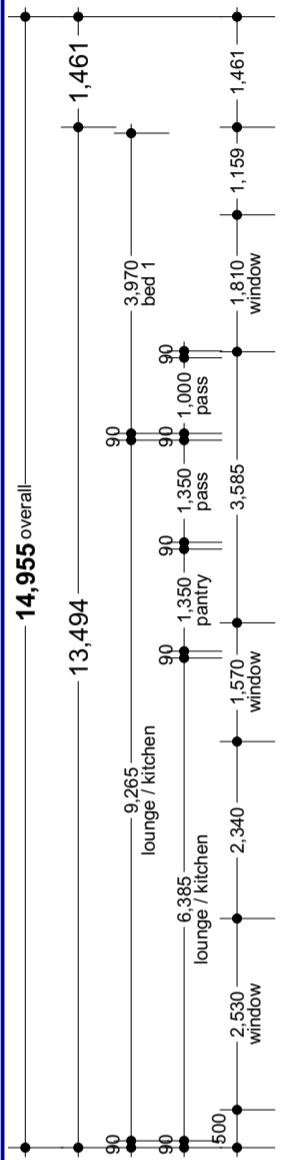
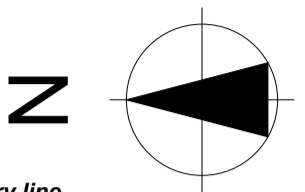
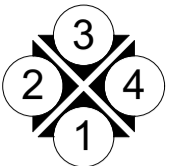
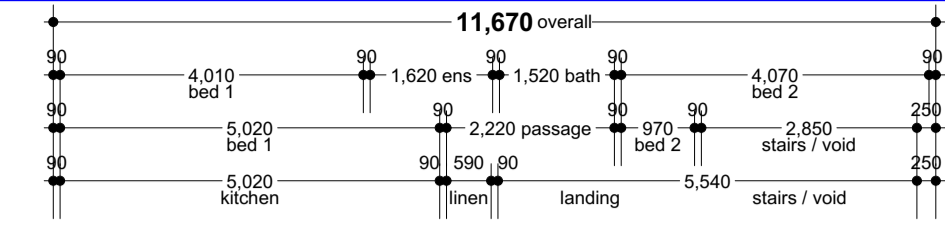


NOTE:

- THESE PLANS ARE NOT FOR CONSTRUCTION PURPOSES UNLESS FULLY CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS
- ALL BEAM THROUGHOUT (TIMBER, STEEL & T-BARS) AT THE STRUCTURAL ENGINEERS DISCRETION. REFER TO ENGINEERS PLANS
- REFER TO ENGINEERS DETAILS FOR STRUCTURAL COLUMN PLACEMENT
- REFER TO ENGINEER'S FOR TIE DOWN DETAILS



UPPER FLOOR PLAN

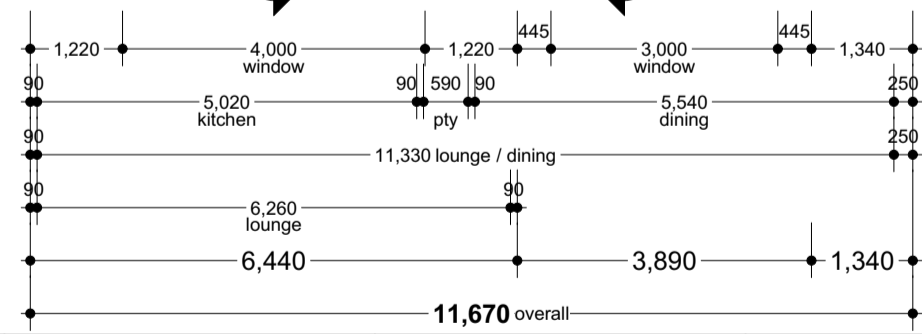
1:100
 (S) DENOTES HARD-WIRED SMOKE DETECTOR

STRUCTURAL COLUMN NOTE:
 • SC = 150 x 100 x 5.0 RHS

GENERAL NOTES:

- LOCATION OF DOWN PIPES IS INDICATIVE ONLY & MAY BE CHANGED AT BUILDERS DISCRETION
- INSULATION AS PER ENERGY REPORT

NOTE!
COASTAL CONDITIONS APPLY. REFER TO ENG'S NOTES & DETAILS



FLOOR AREAS			
FLOOR	LOCATION	AREA	PERIMETER
FIRST FLOOR			
	HOUSE	147.92	51.10
		147.92 m ²	51.10 m
GROUND FLOOR			
	ALFRESCO	74.89	43.51
	GARAGE/ ...	65.22	32.56
	HOUSE	49.62	28.34
		189.73 m ²	104.41 m
		337.65 m ²	155.51 m

SHEET N°	2 OF 7
JOB N°	014
REVISION DATE	D 26.12.2020

ADDRESS:
 LOT 2 #96B
 OCEAN DRIVE
 QUINNS ROCKS
 CITY OF WANNEROO

CLIENT:
 SMART

BUILDER: _____

OWNER: _____

OWNER: _____

OWNER: _____

WITNESS: _____

WITNESS: _____

WITNESS: _____

PLANNING DRAWINGS
 THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.
 DATED:

Sub-contractors to verify all dimensions on site.

REV	VO #	DRN	DATE	CHK
A		MM	18.08.16	MM
B	REDESIGN	MM	05.10.16	MM
C	PLANNING	MM	03.12.2020	MM
D	PLANNING	MM	26.12.2020	MM

Premier Residential
The Way You Want To Live

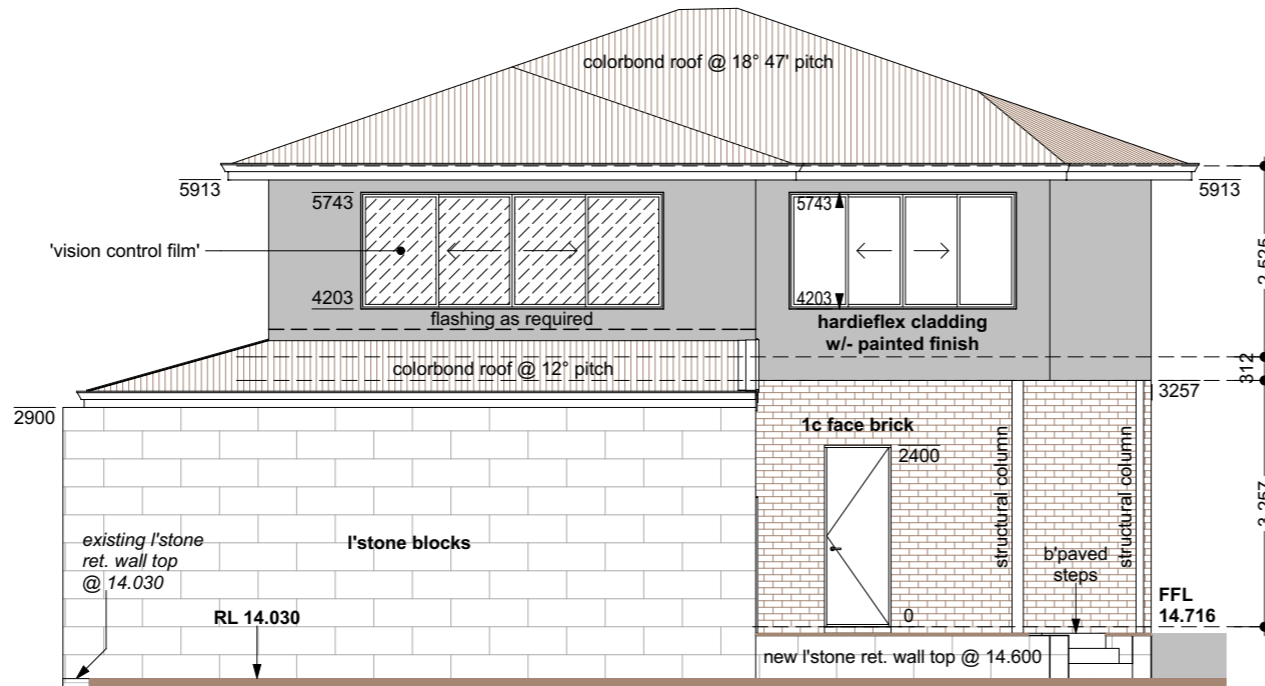
51 Glomach Circuit Kinross WA 6028
 Mobile: 0466 672 189
 Email: premierresidential@gmail.com
 www.facebook.com/Premierresidential

ABN: 44 281 730 821

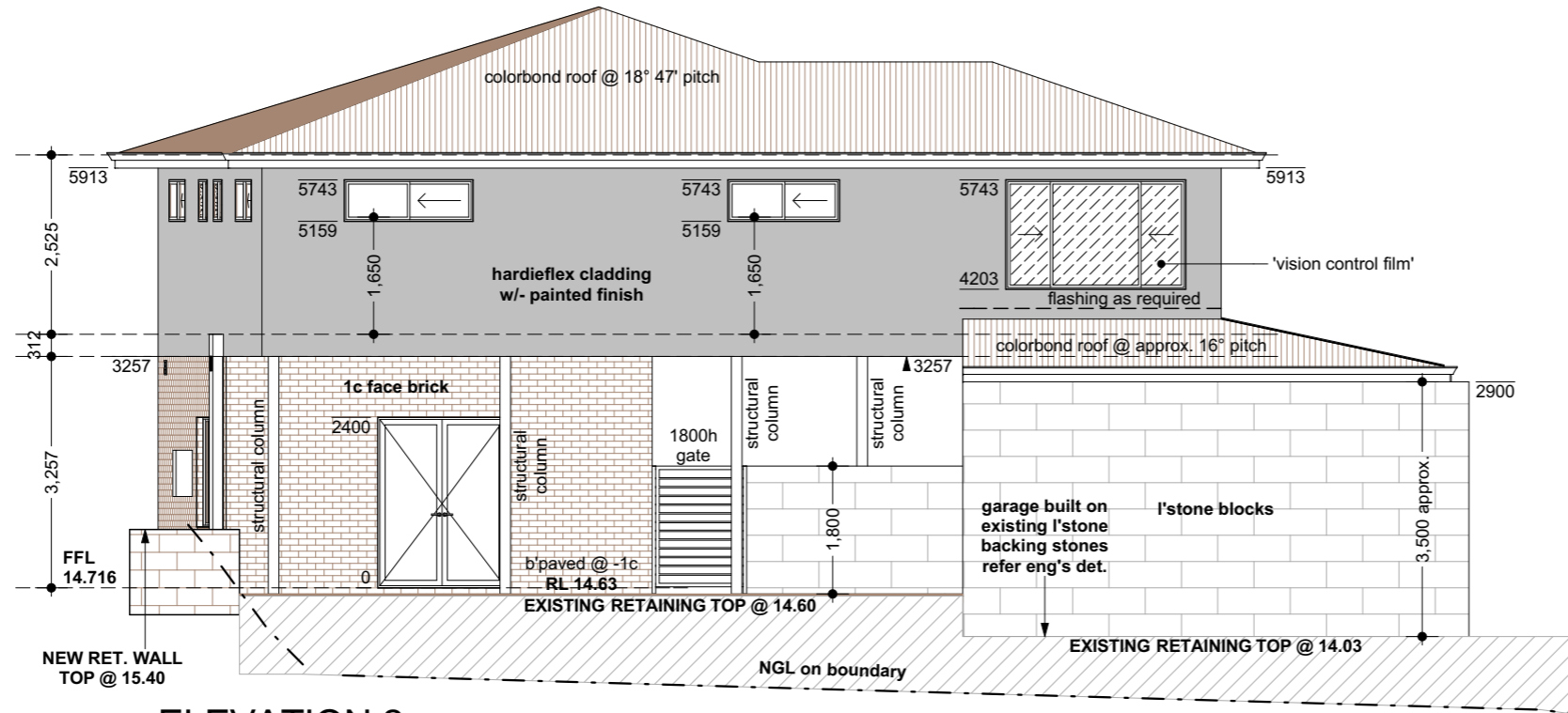
2 STOREY

© COPYRIGHT MODEL N° 90001

NOTE!
COASTAL CONDITIONS
APPLY. REFER TO ENG'S
NOTES & DETAILS



ELEVATION 1
 1:100



ELEVATION 2
 1:100

2 STOREY

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The Way You Want To Live

51 Glomach Circuit Kinross WA 6028
 Mobile: 0466 672 189
 Email: premierresidential@gmail.com
 www.facebook.com/Premierresidential

ABN: 44 281 730 821

REV	VO #	DRN	DATE	CHK
B	REDESIGN	MM	18.08.16	MM
C	PLANNING	MM	05.10.16	MM
D	PLANNING	MM	03.12.2020	MM
		MM	26.12.2020	MM

Sub-contractors to verify all dimensions on site.

PLANNING DRAWINGS

THIS IS ONE OF THE DRAWINGS
 REFERRED TO IN THE CONTRACT.

DATED:...../...../.....

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

CLIENT:

SMART

ADDRESS:

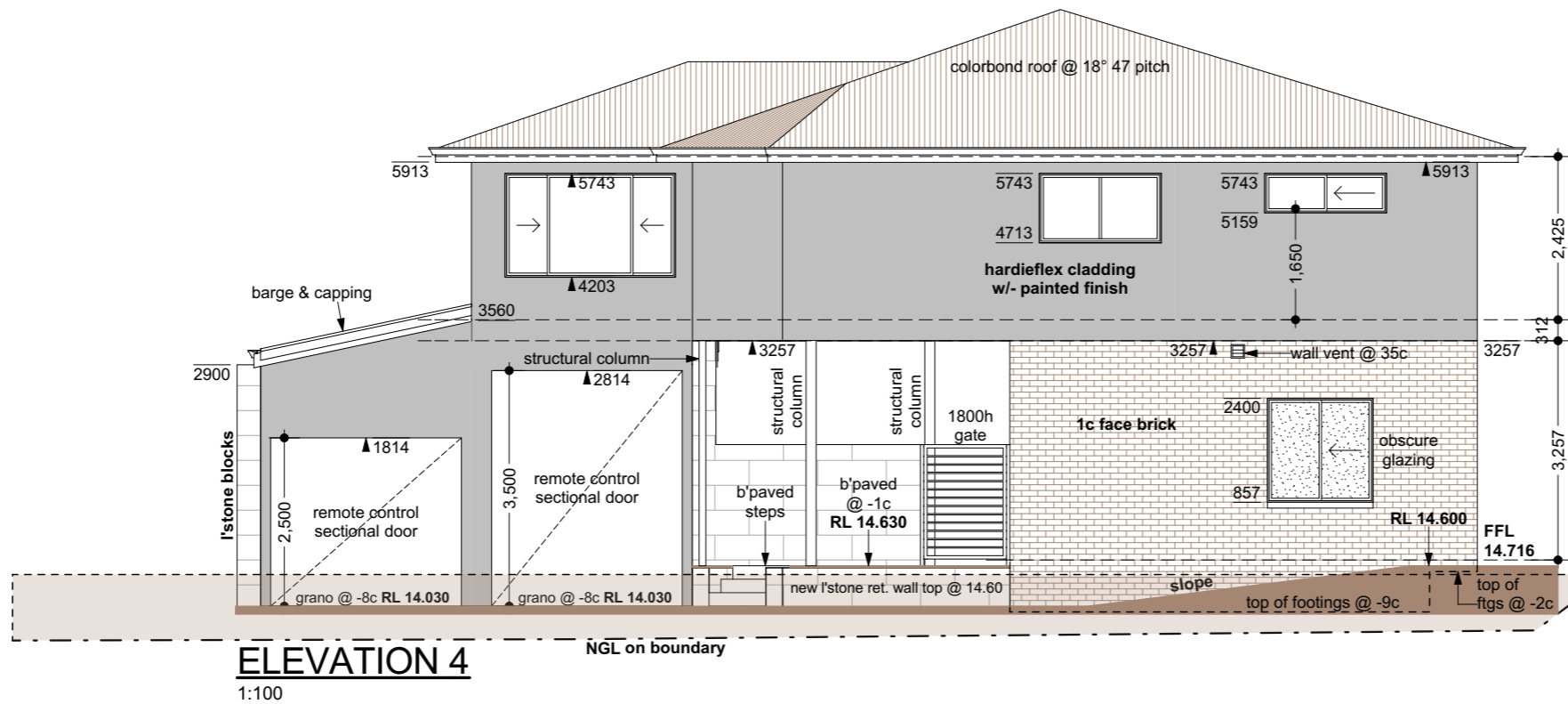
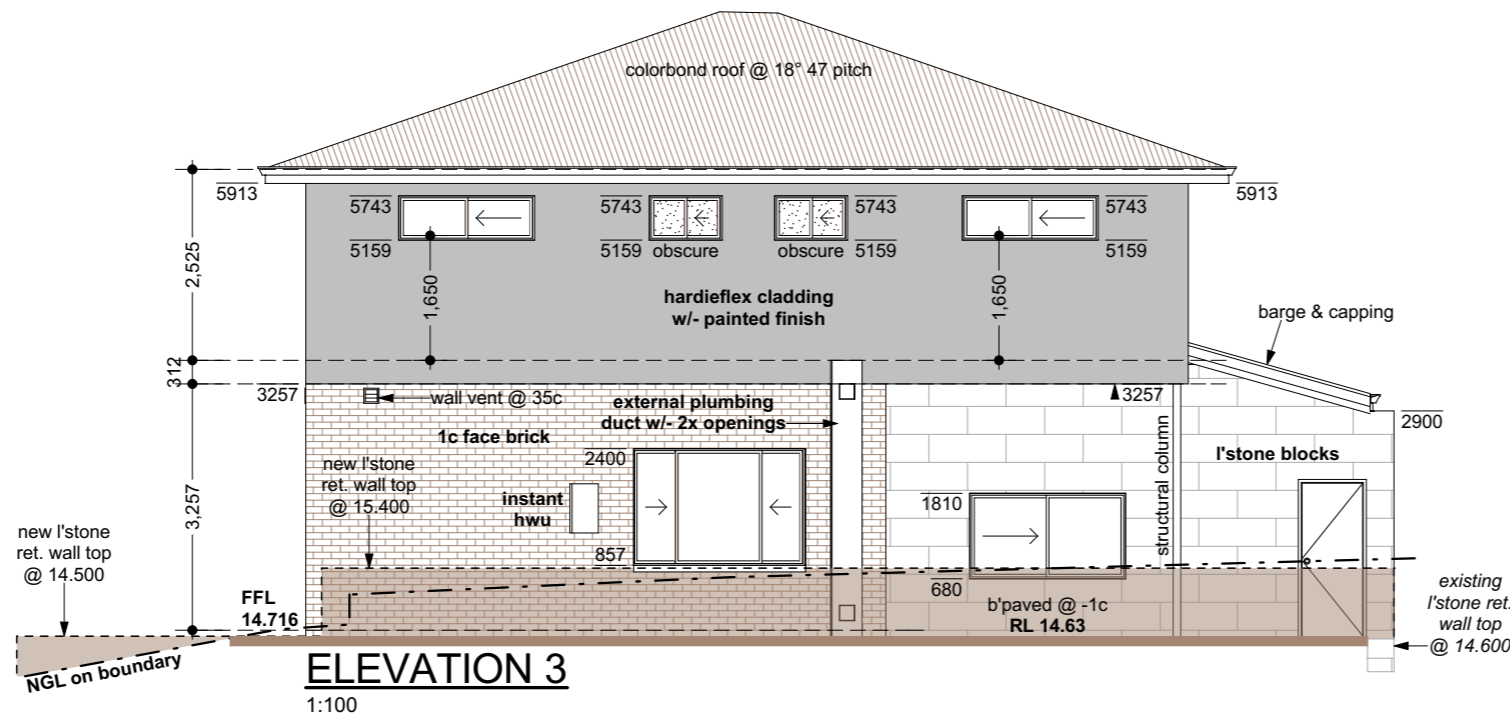
**LOT 2 #96B
 OCEAN DRIVE
 QUINNS ROCKS
 CITY OF WANNEROO**

SHEET N° **3 OF 7**
 + 0 ANC

JOB N° **014**

REVISION DATE
D 26.12.2020

NOTE!
COASTAL CONDITIONS
APPLY. REFER TO ENG'S
NOTES & DETAILS



2 STOREY

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Mobile: 0466 672 189
Email: premierresidential@gmail.com
www.facebook.com/Premierresidential

ABN: 44 281 730 821

REV	VO #	DRN	DATE	CHK
B	REDESIGN	MM	18.08.16	MM
C	PLANNING	MM	05.10.16	MM
D	PLANNING	MM	03.12.2020	MM
		MM	26.12.2020	MM

Sub-contractors to verify all dimensions on site.

PLANNING DRAWINGS

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT.

DATED:...../...../.....

OWNER WITNESS
OWNER WITNESS
BUILDER WITNESS

CLIENT:

SMART

ADDRESS:

LOT 2 #96B
OCEAN DRIVE
QUINNS ROCKS
CITY OF WANNEROO

SHEET N° 4 OF 7
+ 0 ANC

JOB N° 014

REVISION DATE
D 26.12.2020

STD Drawn By: MM 18.08.16

2 STOREY

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90001



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The Way You Want To Live

51 Glomach Circuit Kinross WA 6028
 Mobile: 0466 672 189
 Email: premierresidential@gmail.com
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ABN: 44 281 730 821

REV	VO #	DRN	DATE	CHK
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C	PLANNING	MM	05.10.16	MM
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		MM	26.12.2020	MM

Sub-contractors to verify all dimensions on site.

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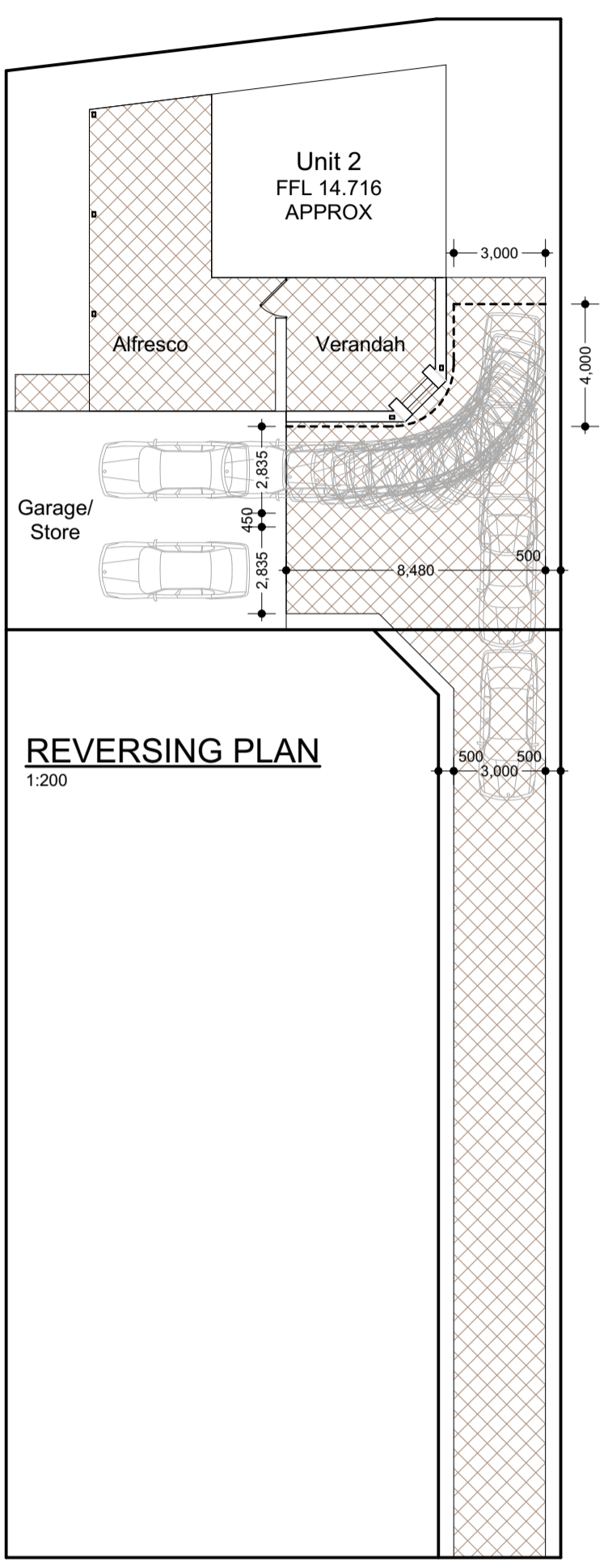
DATED:...../...../.....

OWNER WITNESS
 OWNER WITNESS
 BUILDER WITNESS

CLIENT:
SMART

ADDRESS:
 LOT 2 #96B
 OCEAN DRIVE
 QUINNS ROCKS
 CITY OF WANNEROO

SHEET N° **5** OF 7
 JOB N° 014
 REVISION DATE D 26.12.2020



PLANNING DRAWINGS

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/...../.....

OWNER: WITNESS:

OWNER: WITNESS:

BUILDER: WITNESS:

REV	VO #	DRN	DATE	CHK
B	REDESIGN	MM	18.08.16	MM
C	PLANNING	MM	05.10.16	MM
D	PLANNING	MM	03.12.2020	MM
			26.12.2020	MM

Sub-contractors to verify all dimensions on site.

FLOOR AREAS			
FLOOR	LOCATION	AREA	PERIMETER
FIRST FLOOR	HOUSE	147.92	51.10
		147.92 m ²	51.10 m
GROUND FLOOR	ALFRESCO	74.89	43.51
	GARAGE/...	65.22	32.56
	HOUSE	49.62	28.34
		189.73 m ²	104.41 m
		337.65 m ²	155.51 m

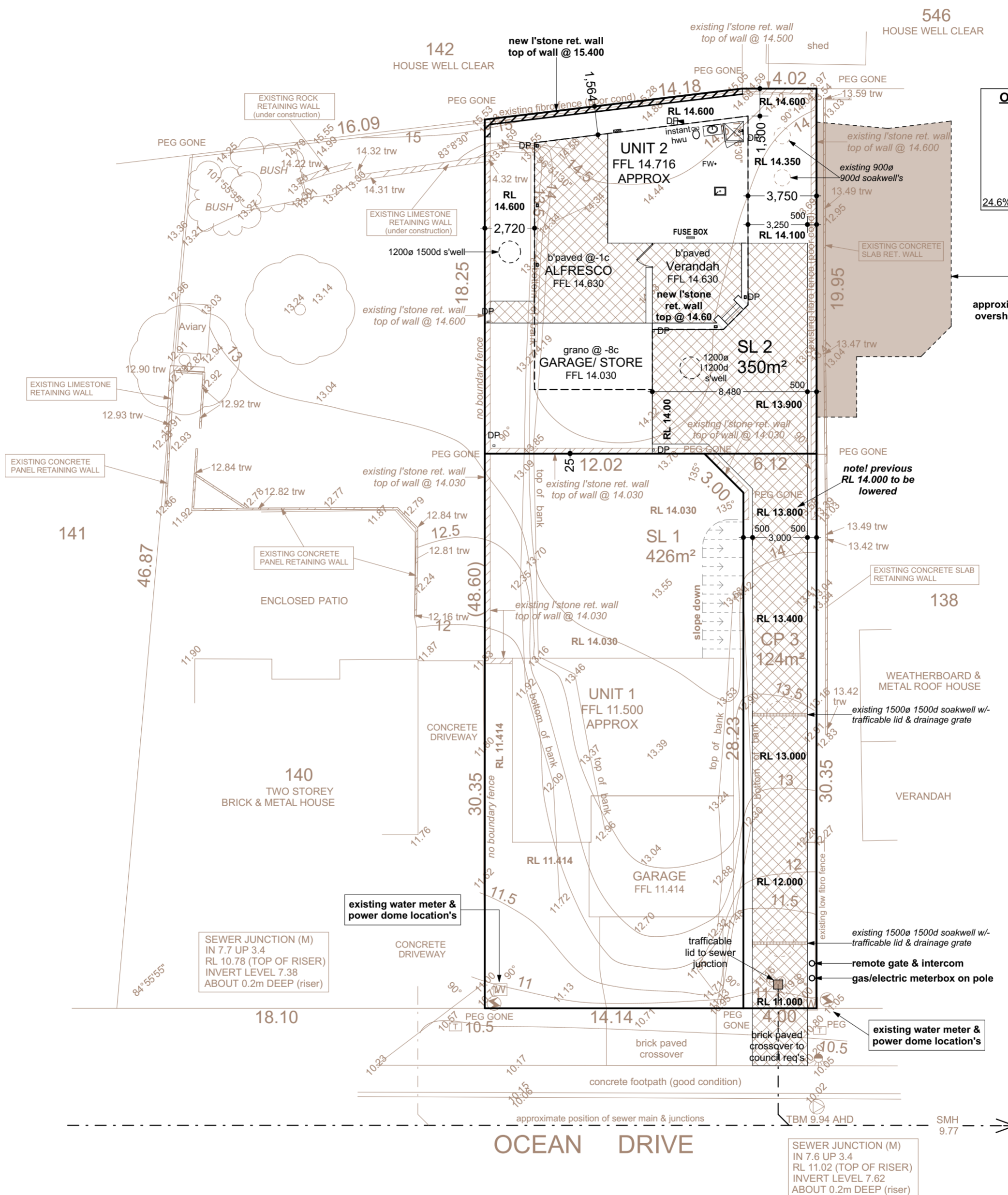
LOT No: 140 & SL 1 & 2

AREA : 857m² & 898m²



LOCATION REF (MSD)
158 - E - 10

Note! refer to sheet 1 "ground floor plan" for stepped footings



Overshadowing Calculations
 Lot 2 (#94A) Area = 350m²
 Common property share = 48.5m²
 Total Area = 398.5m²
 Area of shadow cast on June 21st @ 12pm = 98m²
 24.6% of the adjoining site area (25% allowed)

NOTE!
 COASTAL CONDITIONS APPLY. REFER TO ENG'S NOTES & DETAILS

NOTE:
 • STORMWATER DISPOSAL TO SHIRE REQUIREMENTS

NOTE!
 A2 PLAN

SHEET 5 of 6

SITE PLAN 1:200 at A2

SITE PLAN

1:200

IMPORTANT NOTE:
 LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.
 CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS.
 PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.
 REF NO: 61776 FILE NO: 3395 DATE: 2.9.13 DRAWN: SCB

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES (SEE THIS PLAN FOR DEPTHS TO JUNCTIONS)	
ROAD: BITUMEN	
KERB: MOUNTABLE	
FOOTPATH: CONCRETE (good condition)	
VEGETATION: MEDIUM GRASS & WEEDS	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: OCEAN	
REPEG: REQUIRED	
REPEG TYPE: OLD SURVEY AREA	

All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E PLAN.
 Block located about 300m from the ocean.

TITLE DETAILS
 LOT NOS: 140 & SL 1 & 2 C/T VOL:
 Plan: 7318(2)
 Strata Plan: 58371 FOL:

LEGEND

T.B.M.	STREET LAMP	HYDRANT
POWER DOME	TREE	STOP VALVE
PHONE	POWER POLE	SEWERAGE MANHOLE
Communication Pit	GRATED DRAIN	SEWERAGE MANHOLE
SIDE ENTRY PIT	DRAINAGE MANHOLE	pipe
TREE STUMP	FENCE END	WATER TAP
PILLAR	WATER METER	PRE-LAID WATER PIPE

R. G. LESTER & ASSOCIATES (BUILDER)
 LICENSED LAND & ENGINEERING SURVEYORS
 SHOP 7, NORTH BEACH PLAZA
 1 NORTH BEACH ROAD
 NORTH BEACH, WA 6020
 PH: 9448 5009 - FX: 9203 6722
 admin@lestersurveys.com.au

SIGNED CLIENT / S

WITNESS

SIGNED BUILDER

WITNESS

DATE

CLIENT / S : DAVID SMART

STREET ADDRESS: 96 & 98 OCEAN DRIVE, QUINNS ROCKS.

Local Authority: CITY OF WANNEROO

VARIATIONS (all sheets)	DWN	DATE	CHK.	SHEET No :
				5 of 5

JOB No: 00026

trw - DENOTES TOP OF RETAINING WALL

POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION. THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.



AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE LID LEVELS.



PLANNING DRAWINGS

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/...../.....

OWNER WITNESS

OWNER WITNESS

BUILDER WITNESS

REV	VO #	DRN	DATE	CHK
B	REDESIGN	MM	05.10.16	MM
C	PLANNING	MM	03.12.2020	MM
D	PLANNING	MM	26.12.2020	MM

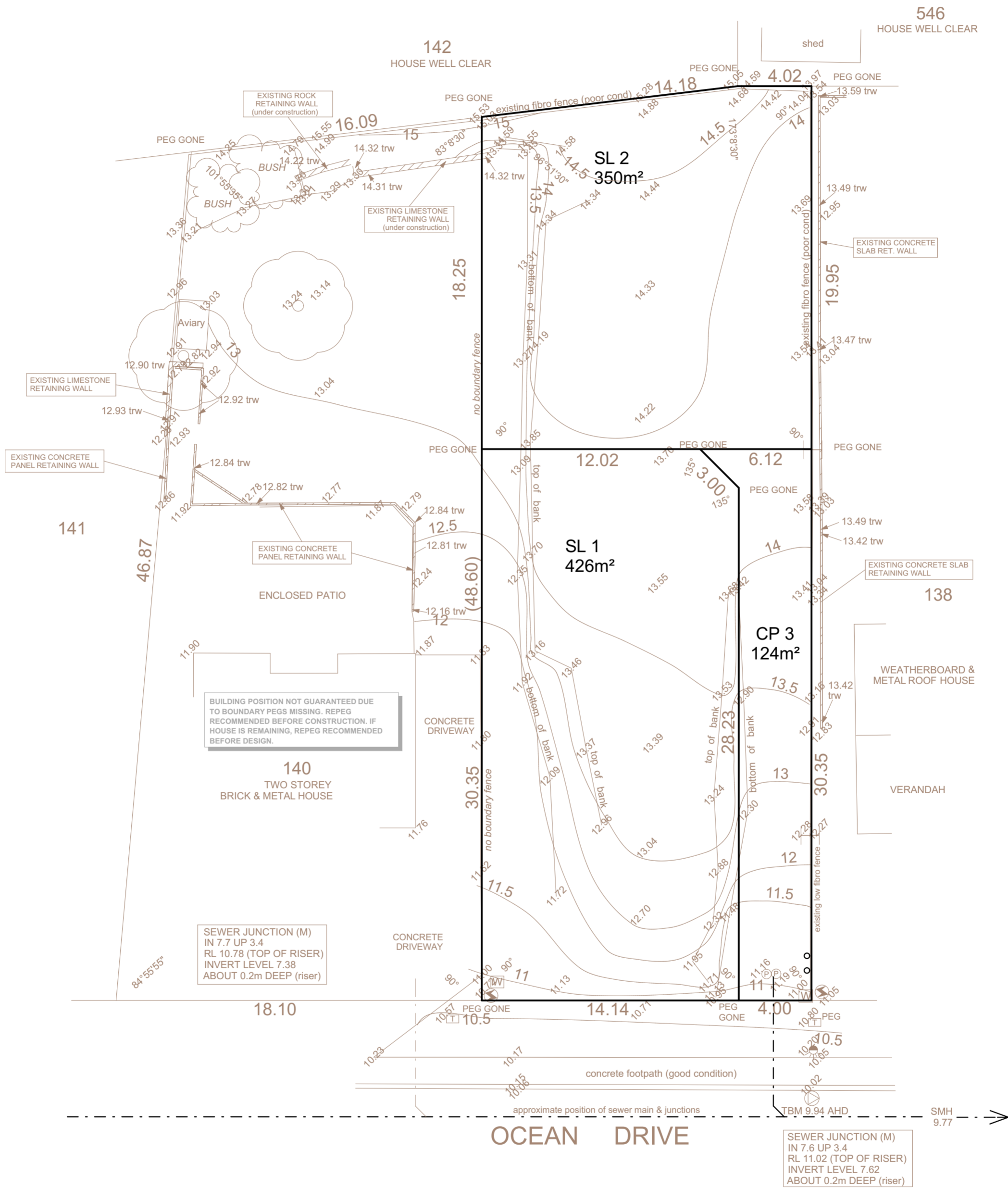
Sub-contractors to verify all dimensions on site.

LOT No: 140 & SL 1 & 2

AREA : 857m² & 898m²



LOCATION REF.(MSD)
158 - E - 10



NOTE!
COASTAL CONDITIONS
APPLY. REFER TO ENG'S
NOTES & DETAILS

NOTE!
A2 PLAN

SHEET 6 of 6

SITE SURVEY

1:200

IMPORTANT NOTE:
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CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS.
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.
REF NO: 61776 FILE NO: 3395 DATE: 2.9.13 DRAWN: SCB

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES (SEE THIS PLAN FOR DEPTHS TO JUNCTIONS)	
ROAD: BITUMEN	
KERB: MOUNTABLE	
FOOTPATH: CONCRETE (good condition)	
VEGETATION: MEDIUM GRASS & WEEDS	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: OCEAN	
REPEG: REQUIRED	
REPEG TYPE: OLD SURVEY AREA	

All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E PLAN.
Block located about 300m from the ocean.

TITLE DETAILS
LOT NOS: 140 & SL 1 & 2 C/T VOL:
Plan: 7318(2)
Strata Plan: 58371 FOL:

LEGEND

T.B.M.	STREET LAMP	HYDRANT
POWER DOME	TREE	STOP VALVE
PHONE	POWER POLE	SEWERAGE MANHOLE
Communication Pit	GRATED DRAIN	SEWERAGE MANHOLE
SIDE ENTRY PIT	DRAINAGE MANHOLE	pipe
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PH: 9448 5009 - FX: 9203 6722
admin@lestersurveys.com.au

SIGNED CLIENT / S

WITNESS

SIGNED BUILDER

WITNESS

DATE

CLIENT / S : DAVID SMART

STREET ADDRESS: 96 & 98 OCEAN DRIVE, QUINNS ROCKS.

Local Authority : CITY OF WANNEROO

VARIATIONS (all sheets)	DWN.	DATE	CHK.	SHEET No :
				5 of 5
				JOB No:
				00026

SITE PLAN 1:200 at A2

trw - DENOTES TOP OF RETAINING WALL

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