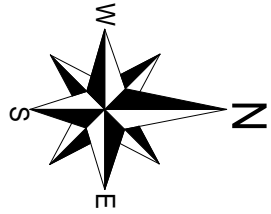


LOT 1058

Latitude-31°37'52.01" Longitude 115°41'2.53"



Soak Well Type	No.	Capacity
SW 1200x1200	3	4.1 m3
Total Capacity		4.1 m3
Roof Area GF		137.6 m2
Paved Area		24.7 m2
Roof Area UF		121.5 m2
Total Area		283.8 m2
Capacity Required (Area x 0.0125)		3.5 m3
Extra Capacity Provided		0.5 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

SITE COVERAGE

ZONED	R30
% ALLOWED	55%
SITE AREA	375.00m ²
SITE COV. AREA	198.45m ²

OPEN SPACE = 47.1%

CONCRETE NOTE:

SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:

STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

SITE CLASSIFICATION : A
FOOTING DETAIL : R. T. ENG.
WIND CATEGORY : N1
CORROSION CLASS : R4

OVERSHADOWING DIAGRAM:

SHADOW CAST ON JUNE 21ST AT 12 PM
NEIGHBOURING LOT 138 SIZE: 375.0m²
OVERSHADOWING: 121.39m² = 32.37%

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

ELECTRICAL NOTE:

3 - PHASE POWER

Location of Services

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE:
RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT

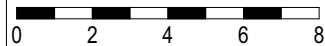
LOT MISCLOSE

0.000m

SOIL DESCRIPTION

Sand
Light Grass Cover

Scale 1:200



Scale 1:200 Date: 13 Aug 20

PREMIUM CARABELLO	
SITE PLAN	
DATE: 2/12/2020	SHEET N°: 02 of 10
REVISION N°: 01	JOB N°: 2008002R

VARIATIONS:	DESCRIPTION:	INT. DATE:
REV. '1'	CONTRACT SILVER	ZL 02.12.2020
REV. '2'		
REV. '3'		
REV. '4'		
REV. '5'		
REV. '6'		
REV. '7'		
REV. '8'		
REV. '9'		

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNER DATE.....

OWNER DATE.....

BUILDER DATE.....

LEGEND	
⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

© Copyright 2011

Ref: 12,349

CLIENT: **HEWIT**

CONTRACT / JOB NO. **2008002R**

MAP REF. **158-04/39**

SITE SURVEY **COASTAL YES**

LOT 1058

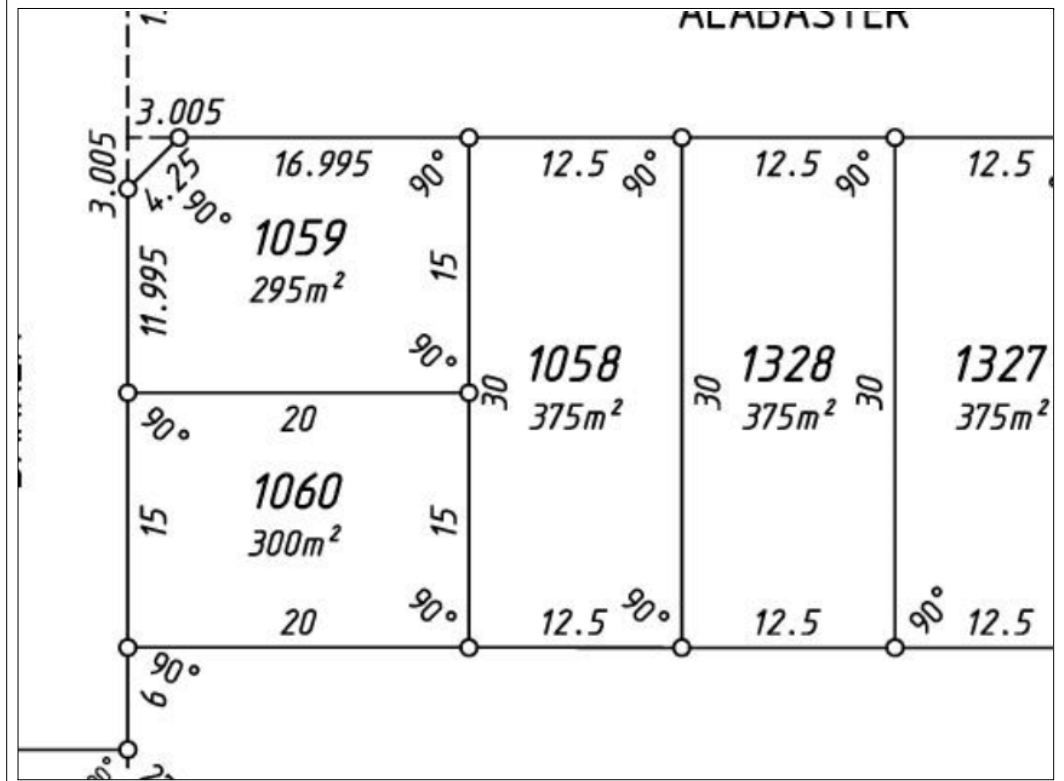
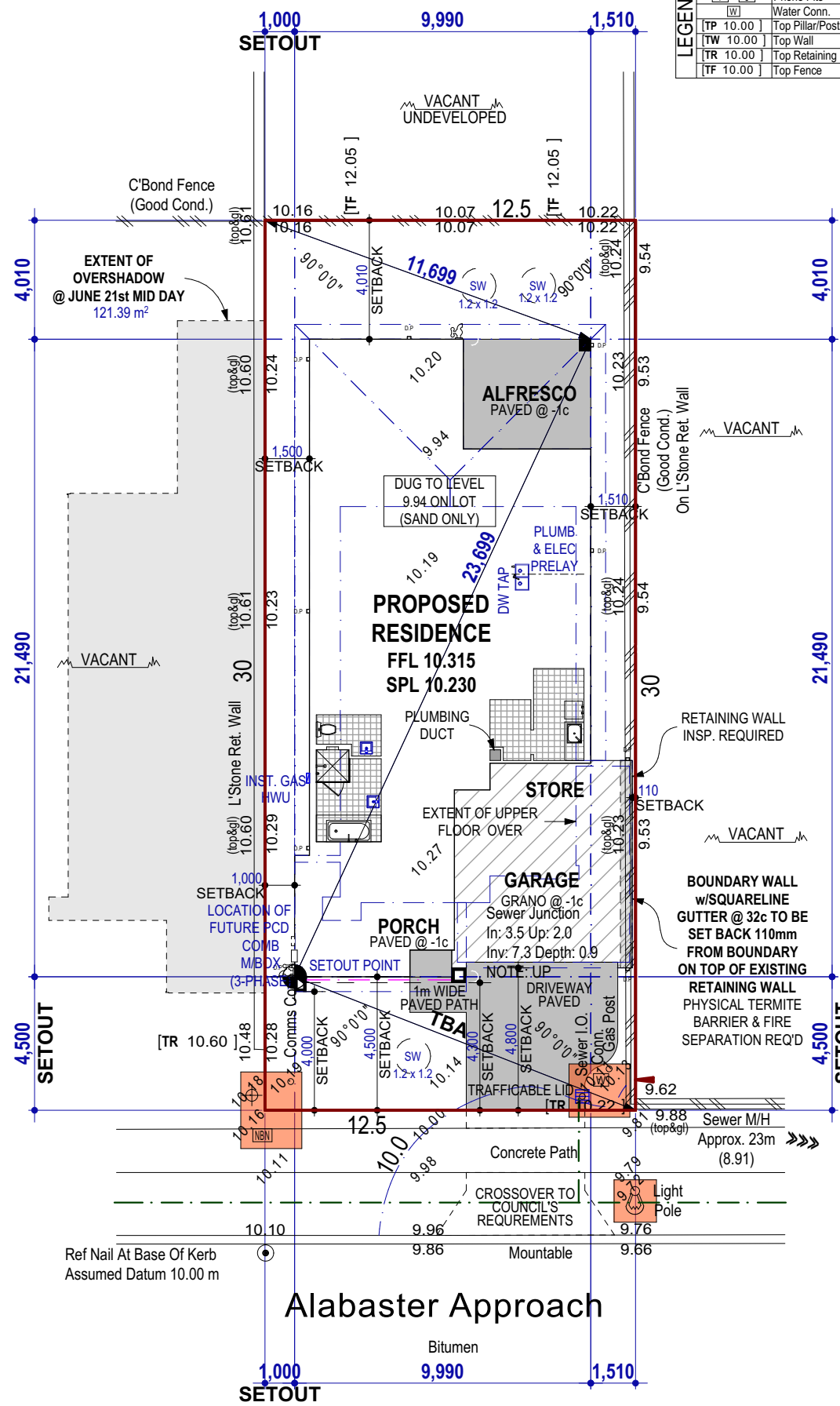
#4 Alabaster Approach

Suburb **Jindalee**

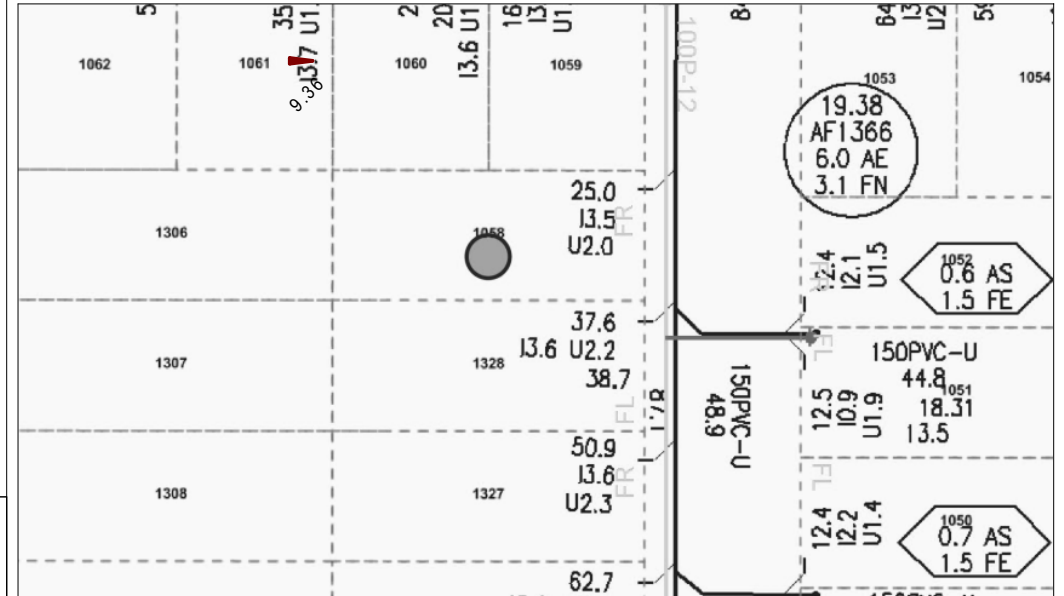
Loc.Auth. **CITY OF WANNEROO**

D.Plan **418366** Volume **2984** Folio **308**

Location **Check Title**



Elec. <input checked="" type="checkbox"/> U/Ground	Water <input type="checkbox"/> Yes	Sewer <input type="checkbox"/> Yes
Gas <input type="checkbox"/> Check Your Lot With Alinta Call 13 13 58	Phone Comms <input type="checkbox"/> Yes	Footpath <input type="checkbox"/> Concrete
Road <input type="checkbox"/> Bitumen	Kerb <input type="checkbox"/> Mountable	Drainage <input type="checkbox"/> Good



COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au
J/No: 477445 Drawn: D. Lancaster

EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING WALLS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2340H (28c) U.N.O

BUILD METHOD:	CFTW
GROUND FLOOR:	Double Brick, Slab on Ground
UPPER FLOOR SLAB:	Concrete on Metal Truss
UPPER FLOOR WALLS:	Timber Wall, 100mm Thermal Clad
ROOF TYPE:	Colorbond
INTERNAL PLASTER:	Premium Wall System

SITE CLASSIFICATION	: A
FOOTING DETAIL	: R. T. ENG.
WIND CATEGORY	: N1
CORROSION CLASS	: R4

CL @ 31c THRU'OUT

ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST. UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS (NO PLASTER)

EXTENT OF RENDER AS MARKED. REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME CUT B/WK DOWN TO SUIT BENCHTOP SELECTION. TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO 550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W

ALL LINENS, BUILT-IN PTYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W

BROOM & CLOAK CUPDS TO HAVE 1X SHELF

ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES

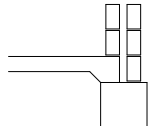
PROVIDE R4.0 INSULATION TO CEILING THRU' OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED "CONSTRUCTION ISSUE" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION

UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:

EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)



TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1.2014

THROUGH THE USE OF TERMITE RESISTANT MATERIALS

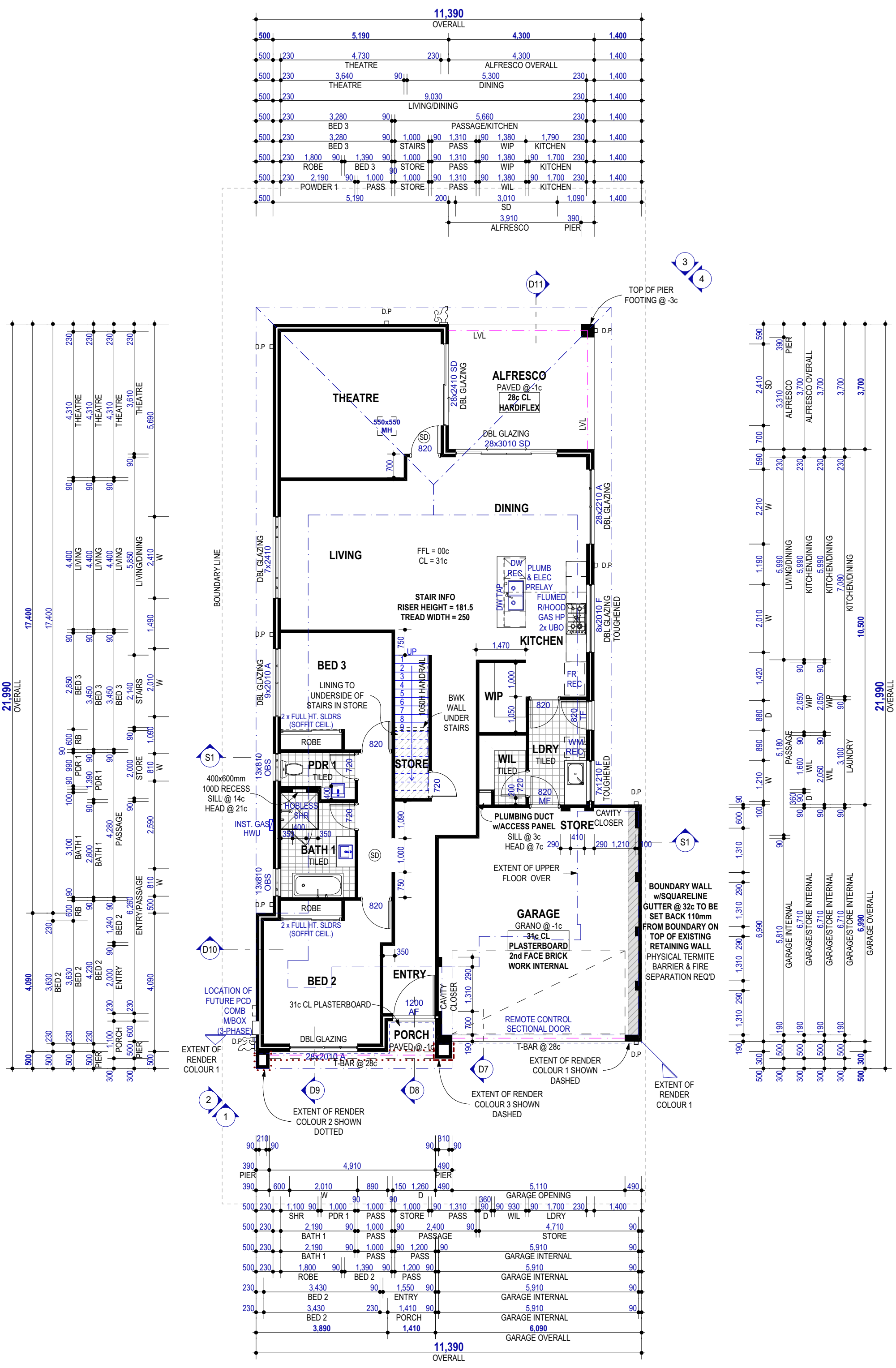
FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:

*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600

*MASONRY IN ACCORDANCE WITH AS3700

*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1.2014

BRICK LAYER NOTES:
 EXTENT OF ACRYLIC RENDER: EXTENT OF RENDER COLOUR 1 TO FRONT ELEVATION GROUND FLOOR, RETURN & UPPER FLOOR (EXCLUDE FRONT ELEVATION).
 RENDER COLOUR 2 TO FRONT LHS PIER & T-BAR GROUND FLOOR + FRONT RHS PIER UPPER FLOOR.
 RENDER COLOUR 3 TO PORCH PIER GROUND FLOOR & FRONT LHS PIER UPPER FLOOR.
 NOMINATED CLADDING TO FRONT ELEVATION UPPER FLOOR.



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT : OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

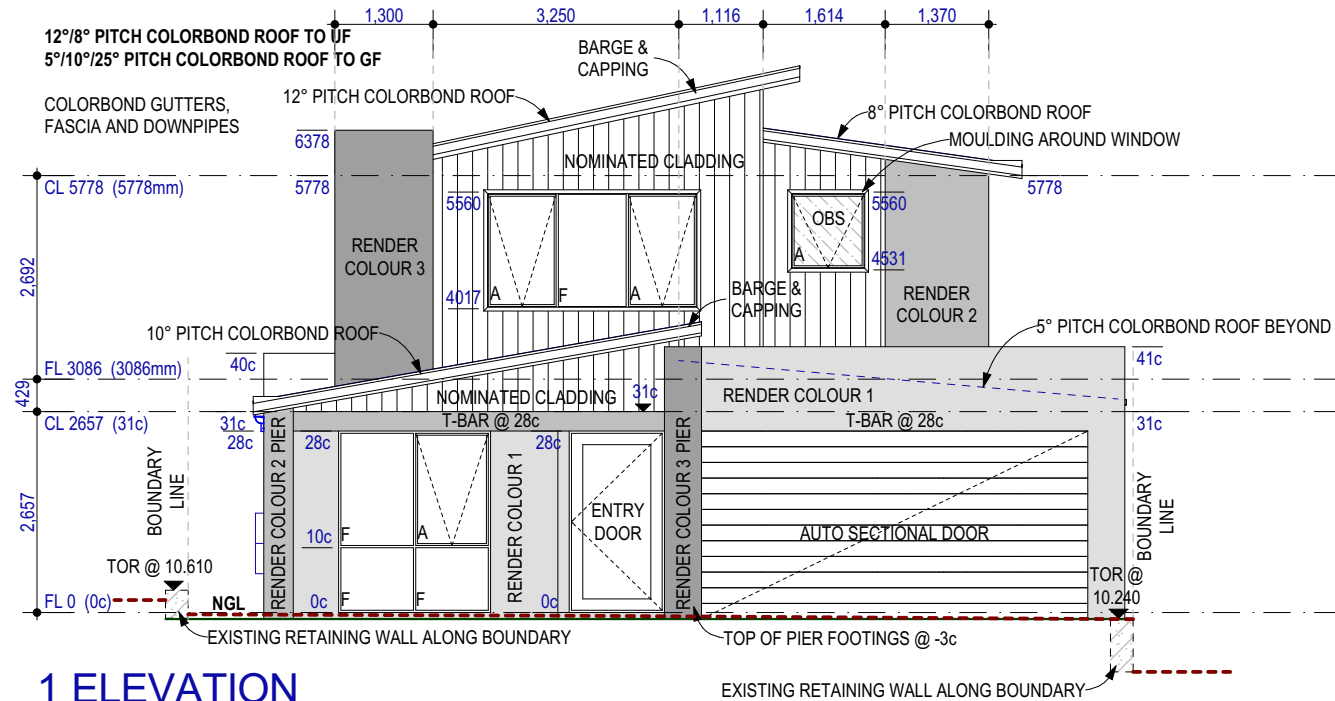
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 BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK, WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:	REV. DESCRIPTION:	INT. DATE:
1	CONTRACT SILVER	02.12.2020

CLIENT: **HEWITT**
 SITE ADDRESS: **LOT 1058 (#4) ALABASTER APPROACH JINDALEE WA 6036**
 SALES: AR DRAWN: ZL CHECKED: CB

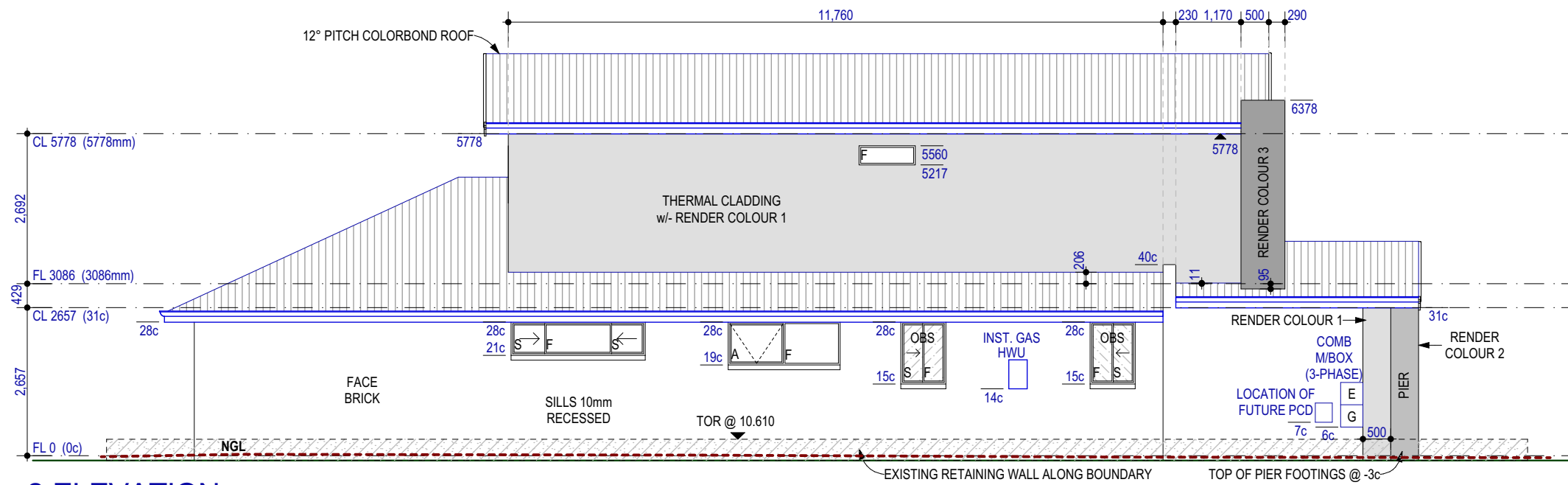
PREMIUM CARABELLO
GROUND FLOOR PLAN (A2)
 DATE: 2/12/2020 SHEET N°: 03 of 10
 SCALE: 1:100, 1:1
 REVISION N°: 01 JOB N°: 2008002R

AREAS		
Name	Area	Perimeter
HOUSE - GROUND	156.880	63.960
HOUSE - UPPER	104.699	45.368
GARAGE/STORE	40.500	26.160
ALFRESCO	15.910	16.000
PORCH	1.796	6.000
TOTAL	319.785 m²	



1 ELEVATION
1:100

BRICK LAYER NOTES:
EXTENT OF ACRYLIC RENDER: EXTENT OF RENDER COLOUR 1 TO FRONT ELEVATION GROUND FLOOR, RETURN & UPPER FLOOR (EXCLUDE FRONT ELEVATION).
 RENDER COLOUR 2 TO FRONT LHS PIER & T-BAR GROUND FLOOR + FRONT RHS PIER UPPER FLOOR.
 RENDER COLOUR 3 TO PORCH PIER GROUND FLOOR & FRONT LHS PIER UPPER FLOOR.
 NOMINATED CLADDING TO FRONT ELEVATION UPPER FLOOR.



2 ELEVATION
1:100

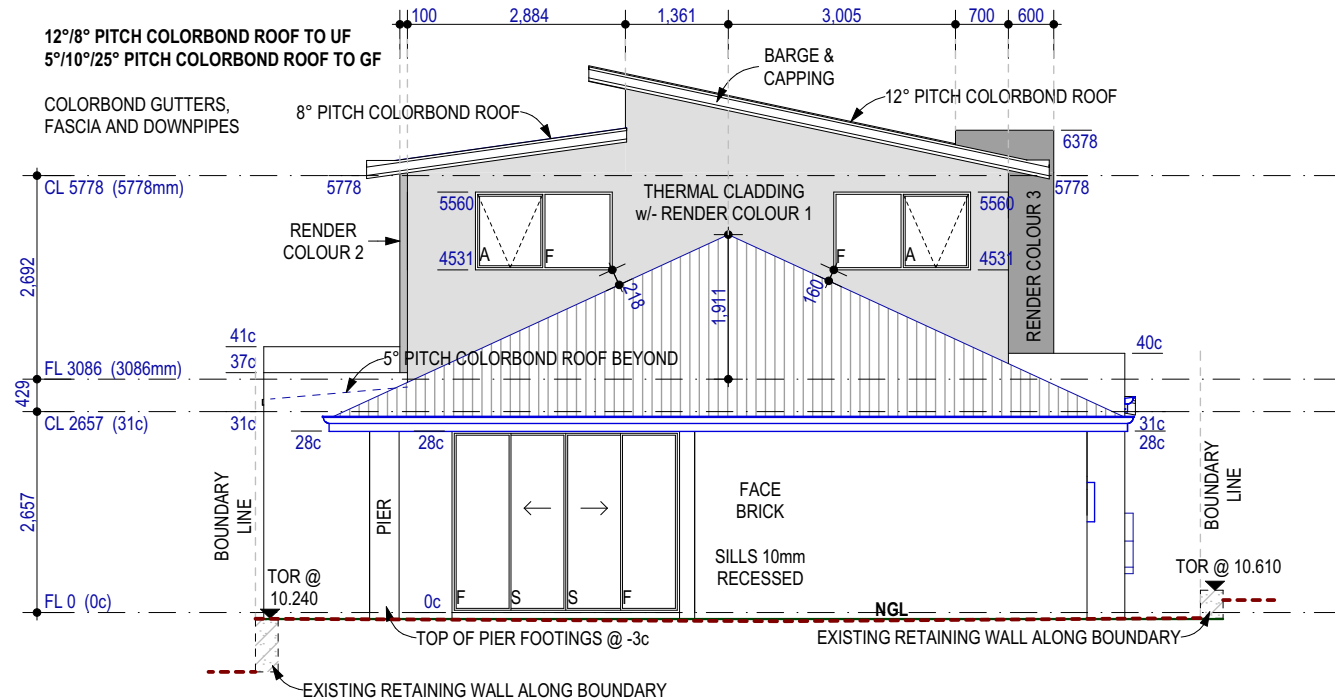
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 OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

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VARIATIONS:	DESCRIPTION:	INT:	DATE:
REV: '1'	CONTRACT SILVER	ZL	02.12.2020
'2'			
'3'			
'4'			
'5'			
'6'			
'7'			
'8'			
'9'			

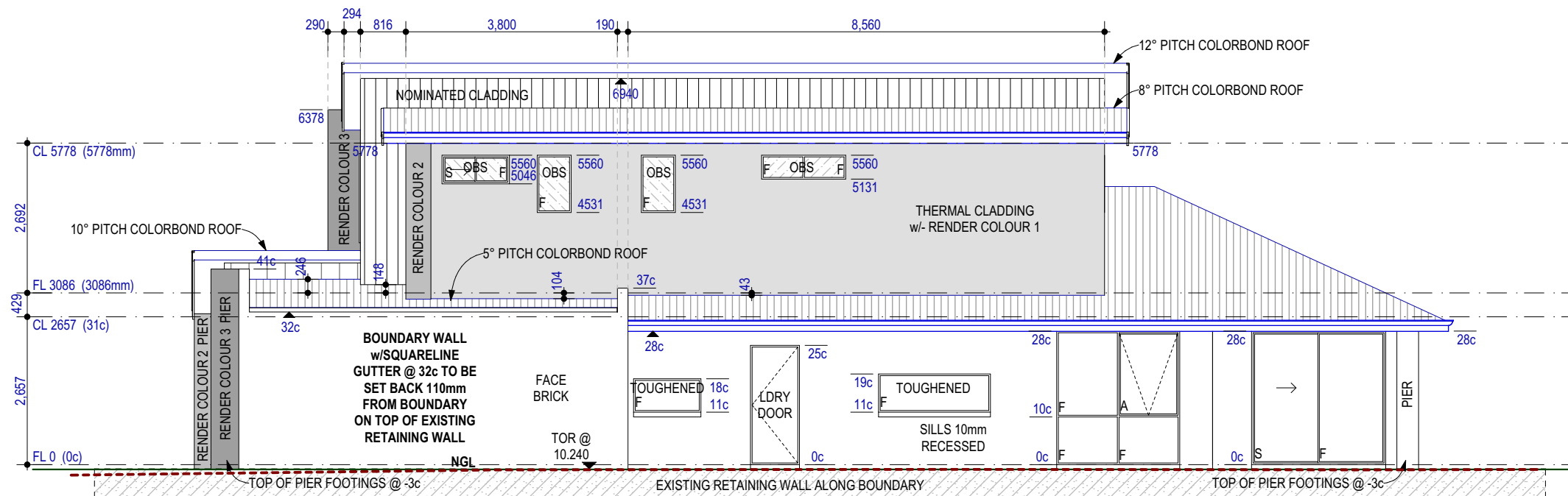
CLIENT: **HEWITT**
 SITE ADDRESS:
LOT 1058 (#4) ALABASTER
APPROACH
JINDALEE WA 6036
 SALES: AR DRAWN: ZL CHECKED: CB

PREMIUM CARABELLO	
ELEVATIONS 01	
DATE: 2/12/2020	SHEET N°: 05 of 10
SCALE: 1:100	JOB N°: 2008002R
REVISION N°: 01	



BRICK LAYER NOTES:
 EXTENT OF ACRYLIC RENDER: EXTENT OF RENDER COLOUR 1 TO FRONT ELEVATION GROUND FLOOR, RETURN & UPPER FLOOR (EXCLUDE FRONT ELEVATION).
 RENDER COLOUR 2 TO FRONT LHS PIER & T-BAR GROUND FLOOR + FRONT RHS PIER UPPER FLOOR.
 RENDER COLOUR 3 TO PORCH PIER GROUND FLOOR & FRONT LHS PIER UPPER FLOOR.
 NOMINATED CLADDING TO FRONT ELEVATION UPPER FLOOR.

3 ELEVATION
1:100



4 ELEVATION
1:100

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

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 OWNERDATE.....
 BUILDERDATE.....

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VARIATIONS:	REV:	DESCRIPTION:	INT:	DATE:
	'1'	CONTRACT SILVER	ZL	02.12.2020
	'2'			
	'3'			
	'4'			
	'5'			
	'6'			
	'7'			
	'8'			
	'9'			

CLIENT: **HEWITT**
 SITE ADDRESS:
LOT 1058 (#4) ALABASTER
APPROACH
JINDALEE WA 6036
 SALES: AR DRAWN: ZL CHECKED: CB

PREMIUM CARABELLO
ELEVATIONS 02
 DATE: 2/12/2020 SHEET N°:
 SCALE: 1:100 06 of 10
 REVISION N°: 01 JOB N°: 2008002R