



**AMENDMENT NO. 5
TO THE
BANKSIA GROVE
DISTRICT CENTRE ACTIVITY PLAN NO. 65**

Title: Banksia Grove District Centre Activity Plan No. 65
Amendment No. 5

Prepared for: District Grove Development Nominees

CLE Reference: 981Rep678A

Date: 19 November 2020

Status: Final

Review date: 19 November 2020

Prepared by: CLE Town Planning + Design

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Part One Implementation

Record of Amendments made to the Banksia Grove District Centre Activity Plan No. 65

| Amendment No. | Description of Amendment | Finally Endorsed Council | Finally Endorsed WAPC |
|---------------|--|--------------------------|-----------------------|
| 1 | Include 'Drive-Through Food Outlet' as an (A) land use within the Retail Core Precinct Precinct. | 21 March 2014 | 16 May 2014 |
| 2 | <ol style="list-style-type: none"> 1. Inserting the text into Part 1, Clause 8.1 of the Structure Plan regarding precinct boundaries. 2. Inserting Clause 12.1.2 regarding the inclusion of Two storey elements, Awnings, glazing along the Main Street. 3. Replacing the first paragraph under clause 16 of the Part 1 implementation provisions. 4. Modified text into clause 16.0 relating to interim development and requirement for residential development. 5. Inclusion of additional provisions associated with larger floorspace tenancies along Main Street. 6. Inclusion of community purpose site Plan 1. 7. Updating Part 1 text in line with WAPC guidelines. | | 29 July 2016 |

| | | | |
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| 3 | <ol style="list-style-type: none"> 1. Deleting the Residential Mixed-Use Precinct and introducing a Residential Precinct and associated land use permissibility. Replacing the Interface Mixed-Use and Employment Mixed-Use Precincts with a consolidated Mixed-Use Business Precinct to Business Precinct. 2. Modifying the spatial configuration of the Retail Core Precinct, the Residential and Mixed-Use Precincts. 3. Introducing building typologies and associated development 4. Introducing densities of RMD-R60 for single residential development in the Residential Precinct, R80 in the Mixed-Use Precinct and R100 for the portion of Retail Core Precinct. 5. Deleting the Zoning Plan (Plan 2) form Part 1. 6. Realignment of Jewel Way and relocation of drainage/POS. | | |
| 4 | <ol style="list-style-type: none"> 1. Include a 'Drive-Through Food Outlet' as a (A) land use within the Business Precinct, where vehicular access is via an internal road (ie not via Joondalup Drive or Pinjar Road). 2. Modify 'Plan 1: Structure Plan' to: <ol style="list-style-type: none"> a. Change the southern-most vehicle access from Pinjar Road to left-in, left-out only, to an intersection which accommodates full vehicle movements; and b. Change the southern-most vehicle access from Joondalup Drive from left-in, left-out only, to an intersection which accommodates left-in, left-out and right-in vehicle movement. | 24 July 2018 | 21 March 2019 |

| | | | |
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| 5 | <ol style="list-style-type: none"> 1. Amending Plan 1 'Structure Plan' to remove the 'Mixed Use Building Typology' from a portion of part Lot 9202 Flynn Drive bound by Joseph Banks Boulevard, Honeybee Parade and Kalimba Road. 2. Amending Plan 1 'Structure Plan' to modify two storey building height locations within the 'Mixed Use Precinct'. 3. Amending Plan 1 'Structure Plan' to include 'Mixed Use Building Typology – Retail Core Precinct' and 'Mixed Use Building Typology – Mixed Use Precinct'. 4. Amending 15.0 'Local Development Plans' of Part 1 Implementation to include local development plan requirements for the 'Mixed Use Building Typology – Retail Core Precinct' and 'Mixed Use Building Typology – Mixed Use Precinct'. 5. Amending 15.0 'Local Development Plans' of Part 1 Implementation to include local development plan requirements for single houses and grouped dwellings within the Mixed Use Precinct. 6. Modify Appendix 1 to include 'Mixed Use – Mixed Use Building Typologies'. 7. Insert Appendix 2 to include 'Retail Core Precinct – Mixed Use Building Typology'. | | |
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AMENDMENT NO. 5
TO
BANKSIA GROVE DISTRICT CENTRE ACTIVITY PLAN NO. 65

The City of Wanneroo, pursuant to Part 4 of the Planning and Development (Local Planning Schemes) Regulations 2015, hereby amends the above Structure Plan by:

- 1) Amending Plan 1 'Structure Plan' to remove the 'Mixed Use Building Typology' from a portion of part Lot 9202 Flynn Drive bound by Joseph Banks Boulevard, Honeybee Parade and Kalimba Road.
- 2) Amending Plan 1 'Structure Plan' to modify two storey building height locations within the 'Mixed Use Precinct'.
- 3) Amending Plan 1 'Structure Plan' to include 'Mixed Use Building Typology – Retail Core Precinct' and 'Mixed Use Building Typology – Mixed Use Precinct'.
- 4) Amending 15.0 'Local Development Plans' of Part 1 Implementation to include local development plan requirements for the 'Mixed Use Building Typology – Retail Core Precinct' and 'Mixed Use Building Typology – Mixed Use Precinct'.
- 5) Amending 15.0 'Local Development Plans' of Part 1 Implementation to include local development plan requirements for single houses and grouped dwellings within the Mixed Use Precinct.
- 6) Modify Appendix 1 to include 'Mixed Use Precinct – Mixed Use Building Typology'.
- 7) Insert Appendix 2 to include 'Retail Core Precinct – Mixed Use Building Typology'.

This amendment to the Banksia Grove District Centre Activity Plan No. 65 amends the text contained in Part One Implementation relevant to Clause 15.0 Local Development Plans.

15.0 Local Development Plans

iii. Sites designated as 'Mixed-Use Building Typology – Mixed Use Precinct' on Plan 1, to address the following:

- (i) Built form generally in accordance with the Mixed-Use Building Typologies indicated in Appendix 1 including:
 - i. A minimum two-storey building height;
 - ii. A minimum ground floor floor-to-ceiling height of 3.0 metres;
 - iii. Glazing of a ground floor habitable room adjacent to the street that promotes visual engagement with the street; and
 - iv. Uniform fencing of an appropriate height and character (where required).

iv. Sites designated as 'Mixed-Use Building Typology – Retail Core Precinct' on Plan 1, to address the following:

- (i) Built form generally in accordance with the Mixed-Use Building Typologies indicated in Appendix 2 including:
 - i. A minimum two-storey building height;
 - ii. A minimum ground floor floor-to-ceiling height of 3.5 meters;
 - iii. Street setbacks;
 - iv. Side boundary setbacks;
 - v. Awnings; and
 - vi. Glazing.

v. R-Code variations for single houses and grouped dwellings within the Mixed Use Precinct:

- (i) Street setbacks;
- (ii) Fencing;
- (iii) Side boundary setbacks
- (iv) Open space;
- (v) Outdoor living areas;
- (vi) Garage setbacks;
- (vii) Car parking;
- (viii) Overshadowing;
- (ix) Visual privacy; and
- (x) Public open space interface.



IT IS CERTIFIED THAT AMENDMENT NO.5 TO THE BANKSIA GROVE DISTRICT CENTRE
ACTIVITY PLAN NO. 65

WAS APPROVED BY RESOLUTION OF THE
WESTERN AUSTRALIAN PLANNING COMMISSION ON:

.....Date






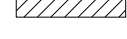
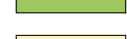
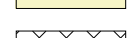
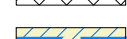

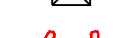




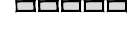

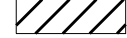

Signed for and on behalf of the Western Australian Planning Commission:

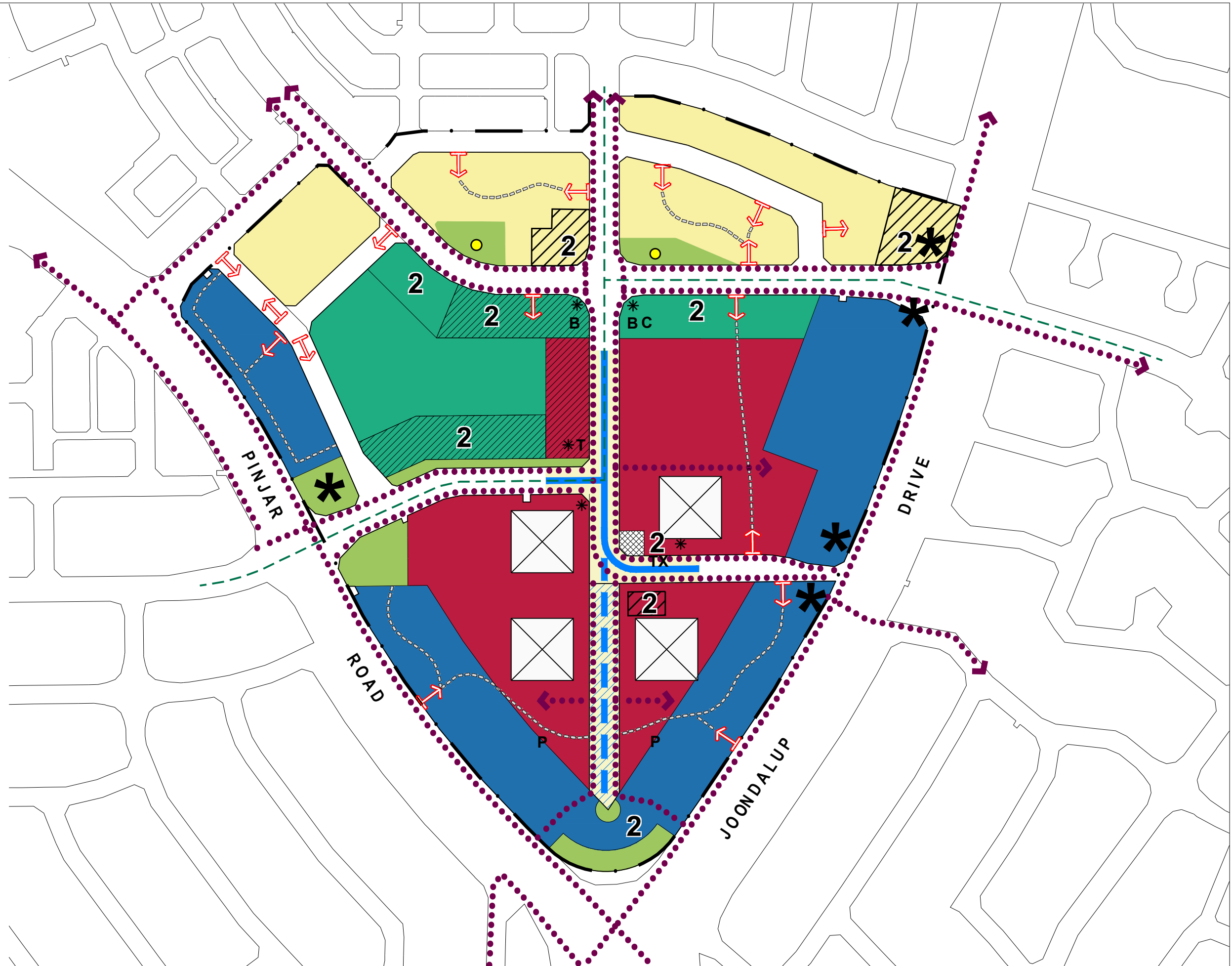
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an officer of the Commission duly authorised by the Commission pursuant to section 16 of the *Planning
and Development Act 2005* for that purpose.



LEGEND

-  District Structure Plan Boundary
-  Retail Core
-  Residential Precinct
-  Business Precinct
-  Mixed Use Precinct
-  Mixed Use Building Typology
-  Park/Stormwater Management
-  (Main Street)
-  Town Square
-  Extension of Main Street (as either a vehicular or pedestrian street)
-  Large Format Retail Element (sleeved from main street view)
-  Principal Entry Point To Off-street Parking
-  Primary Landmark Element
-  Secondary Landmark Element
-  Principal Pedestrian Routes
-  Internal Vehicle Connectivity
- P** Principal Parking Areas/
Future Potential Decked Parking
- C** Community Purpose Location
- T** Preferred Tavern Location
- B** Bus Stop Locations
- TX** Taxi Rank
-  Indicative Bus Routes
- 2** Min. 2 Storey Elements
-  Mandatory Upper Floor Residential Component
-  POS Unrestricted from Drainage



Part Two

Explanatory Report

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The Banksia Grove District Centre Activity Centre Plan No.65 (ACP 65) was adopted by the Western Australian Planning Commission (WAPC) on the 7 October 2010.

Since adoption, ACP 65 has served as the key planning instrument guiding subdivision and development of the Banksia Grove District Centre, which includes a range of existing and emerging residential, retail and commercial precincts.

1.1 Purpose

The purpose of Amendment 5 is to refine the current provisions of the ACP 65 to reflect development to date and anticipated trends in built form. The key modifications will:

- Identify Joseph Banks Boulevard and Jewel Way as the priority interface locations for 'Mixed-Use Building Typology' and two storey building height;
- Separate and identify 'Mixed Use Building Typology' Local Development Plan requirements for the 'Retail Core Precinct' and 'Mixed Use' Precincts with updated built form requirements; and
- Include R-Code variations in Local Development Plans for single and grouped dwellings which are consistent with the R60 requirements of the City of Wanneroo LPP 4.19 Medium Density Housing Standards (R-MD).

It is anticipated that by amending ACP 65 as proposed will stimulate development of the Mixed Use Precinct including permitted residential development. Residential development is currently hampered by development requirements contained within the 'Mixed Use Building Typology' Local Development Plan (LDP) requirements of Clause 15.0 of ACP 65, which require all development to include adaptable built form requirements. LDP requirements for development of single houses within the Mixed Use Precinct are excessive in respect to the location of adaptable housing requirement and built form expectations associated with minimum ground floor floor-to-ceiling heights.

ACP 65 is proposed to be amended to refine the area requiring Mixed Use Building Typology as appropriate to surrounding development and built form development requirements accordingly, whilst maintaining adaptability for the possible future conversion to non-residential uses.

R-Code variations for single houses and grouped dwelling within the Mixed Use Precinct are also proposed to ensure consistency with the WAPC's Planning Bulletin 112/2016 Medium-density single house development standards – Development Zones and the City of Wanneroo LPP 4.19 Medium Density Housing (LPP 4.19). R-Code variations are required via an LDP to enable the development of permitted single houses due to the underlying R80 density coding which is not covered by LPP 4.19.

This amendment report provides justification to support each amendment.

1.2 Site Description and Context

The land subject to this amendment consists of a portion of Lot 9202 (No.1K) Flynn Drive, Banksia Grove, refer Figure 1 – Amendment Area. The land is bound by Joseph Banks Boulevard, Ghost Gum Boulevard, Jewel Way, Honeybee Parade and Kalimba Road (the subject site).

The land is generally bound by the following:

- Woolworths shopping centre (east);
- Drainage reserve (south);

- Aldi and Coles shopping centres (south);
- Medical Centre (south);
- Large format retail (Salvos) and fuel station (west); and
- Single/two storey R60 residential development (north).

The site is cleared and is unimproved.



Figure 1: Site Plan

Source: Nearmap

2.0 Planning Framework

2.1 Metropolitan Region Scheme

The Banksia Grove District Centre is zoned 'Urban' in accordance with the Metropolitan Region Scheme (MRS), refer Figure 2. Amendment 5 is consistent with the MRS.

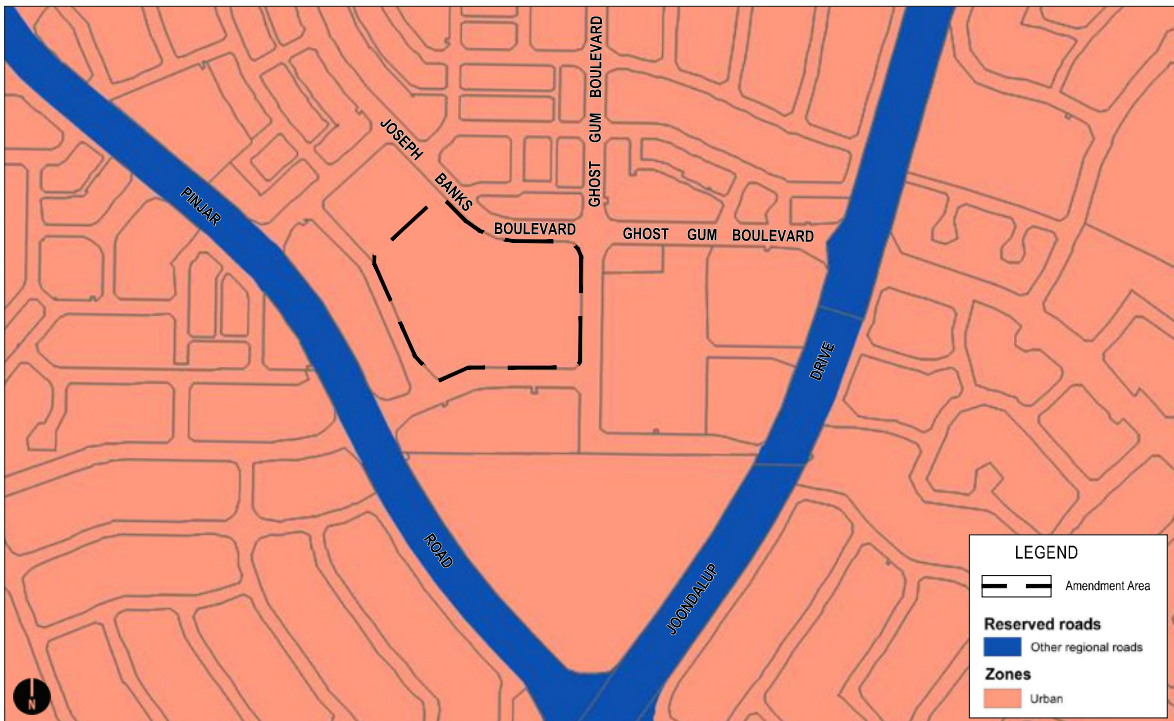


Figure 2: Metropolitan Region Scheme

Source: WAPC

2.2 City of Wanneroo District Planning Scheme No.2

The subject site is zoned 'Urban Development' under the City of Wanneroo District Planning Scheme No.2 (DPS 2), refer Figure 3. The provisions of the 'Urban Development' zone of DPS 2 require the preparation of a Structure Plan as a precursor to subdivision or development.

The Scheme states:

“3.14.3 Subject to Clause 27 of the deemed provisions, no subdivision (including strata or survey strata subdivision) or other development should be commenced or carried out in an Urban Development Zone until a Structure Plan has been prepared and adopted under the provisions of Part 4 of the deemed provisions.

The adoption of ACP 65 in October 2010 satisfied the requirement of clause 3.14.3 as stated above. As development of the site is subject to the requirements of a structure plan, an amendment is required to facilitate the development outcome.

Amendment 5 is consistent with DPS 2.

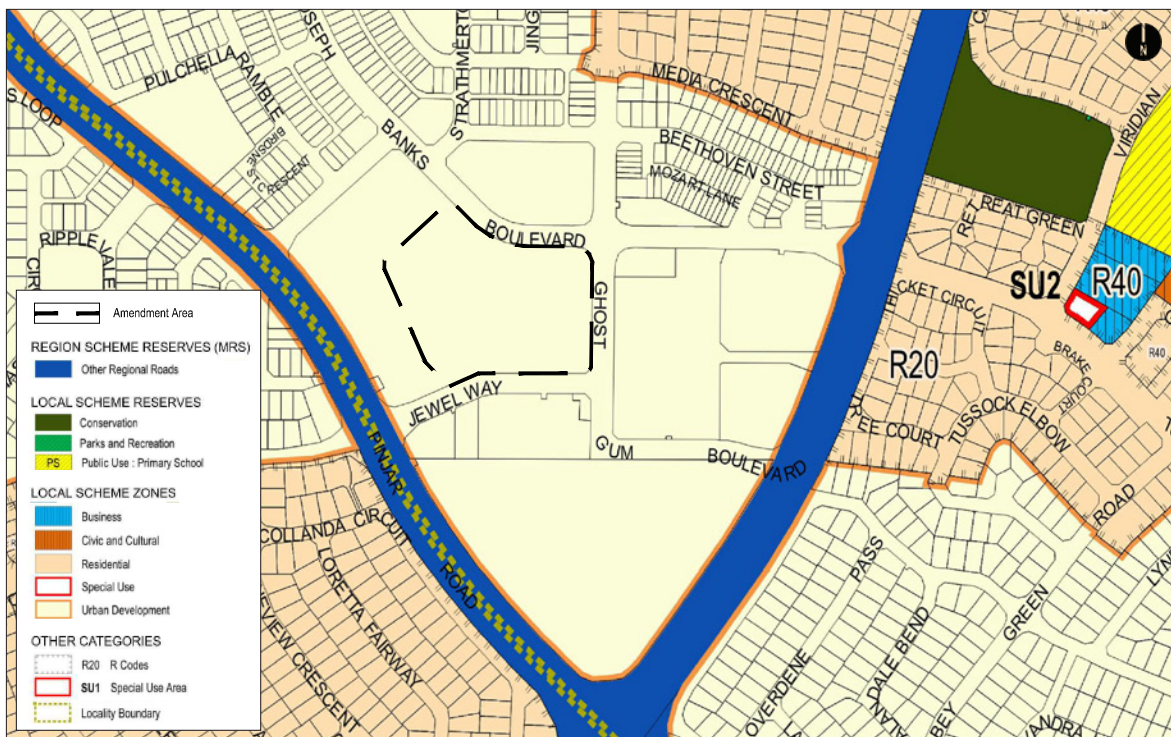


Figure 3: District Planning Scheme No.2

Source: WAPC

2.3 Banksia Grove District Centre Activity Plan No. 65

The Banksia Grove Activity Plan No. 65 (ACP 65) was adopted by the Western Australian Planning Commission in October 2010 and provides the framework for subdivision and development within the District Centre. ACP has been amended on four previous occasions, with Amendment 3 being most relevant to the context of this amendment. This is discussed further within part 2.4 of this report.

The area subject to this amendment is characterised by the following as relevant to the amendment, refer figures 4 and 5:

- Retail Core Precinct with a residential density coding of R100 abutting a portion of Ghost Gum Boulevard;
- Mixed Use Precinct with a residential coding of R80 covering the remaining area;
- Single House is a permitted ('P') land use within the 'Mixed Use Precinct' of ASP 65;
- A frame of Mixed Use Building Typology of approximately 35m to 40m in width fronts Joseph Banks Boulevard, Ghost Gum Boulevard, Jewel Way, Honeybee Parade and Kalimba Road. The mixed use building typology covers both the Retail Core Precinct and Mixed Use Precinct; and
- Local Development Plan requirements for the delivery of adaptable building provisions.

The key aspect of ACP 65 relevant to this amendment is the location and built requirements associated with the Mixed Use Building Typology. Clause 15 'Local Development Plans' of ACP 65 sets out the requirements for the preparation of local development plan for sites designated as 'Mixed-Use Building Typology' as follows:

- (i) Built form, setbacks, height and scale, in accordance with the Mixed-Use Building Typologies indicated in Attachment 1;
- (ii) A minimum of two-storey height;
- (iii) Building treatments on the ground floor that promote visual engagement from the street;
- (iv) A minimum ground-to-floor ceiling height of 3.5m; and
- (v) Subtle definition of public/private interface; where fencing is required, this shall be uniform and of an appropriate height and character.

Most notably, the local development plan requirements of Clause 15.0 require permitted single houses within the Mixed Use Precinct to incorporate adaptable built form specifications to accommodate the possible future transition of land uses to non-residential. The minimum 'ground to floor ceiling height' of 3.5m applies to facilitate this, and applies to both the Mixed Use Precinct and Retail Core Precinct via the Mixed Use Building Typology.



Figure 4: Endorsed Plan 1: Structure Plan

Source: ACP 65

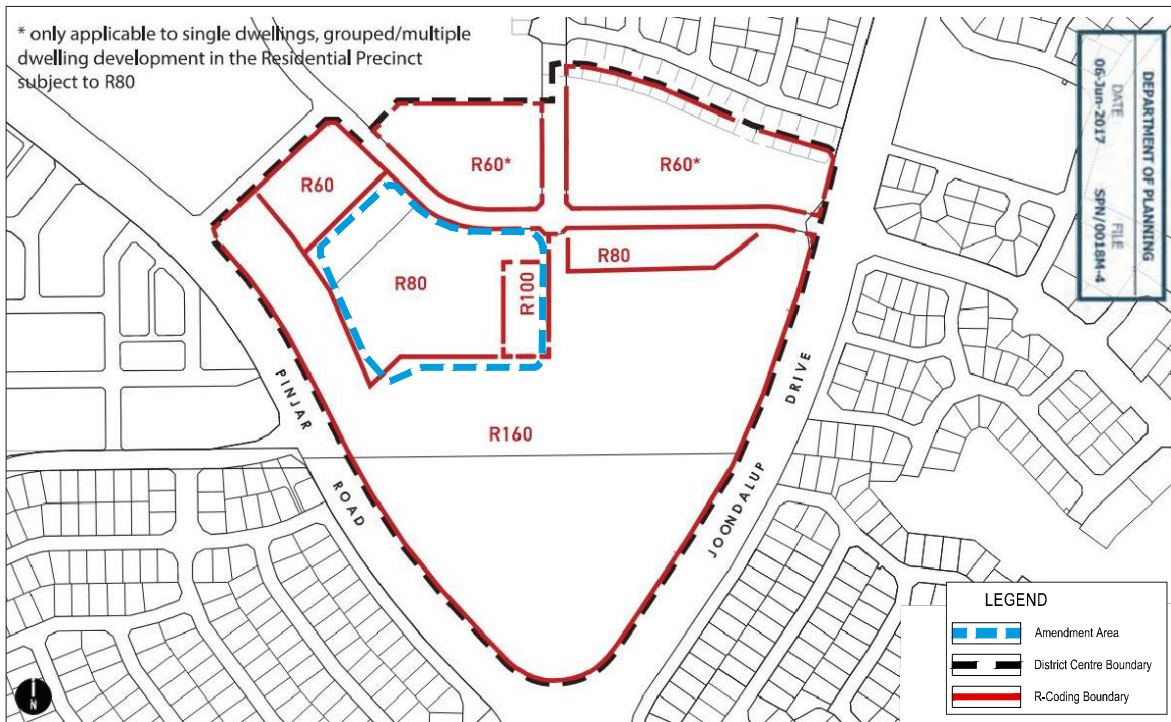


Figure 5: Endorsed Plan 3: R-Code Plan

Source: ACP 65

The following land use definitions are provided in ACP 65 for the Retail Core Precinct and the Mixed Use Precinct:

Retail Core Precinct

“A range of retail, recreational, civic and commercial activity within the Retail Core Precinct, concentrated around the Main Street and Town Square.”

Mixed Use Precinct

“To provide a mixture of residential with complementary lower impact commercial and business uses, in a primarily residential-scale environment. As a transition zone between the Residential Precinct and Retail Core Precinct, development should provide for continuity of activity along streets by encouraging a variety of active uses at the street level which are compatible with residential and other non-active uses on upper levels (Refer to indicative building typologies in Attachment 1).”

Importantly, the land use definitions of ACP 65 clearly identify differences between the Mixed Use Precinct and Retail Core Precincts by reference to the Mixed Use Precinct being a transitional primarily residential scale environment.

This amendment seeks to refine the location and intent of the ‘Mixed Use Building Typology’ for both the Mixed Use Precinct and Retail Core Precinct more appropriately in the context of the established permitted land uses and land use definitions of ACP 65.

3.1 Mixed-Use Building Typology Locations

Amendment 5 proposes to refine the application of the ‘Mixed Use Building Typology’ over the Mixed Use Precinct and require appropriate residential scale adaptable housing provisions in strategic locations that respond to the established context of the District Centre.

The location of the Mixed Use Building Typology has been reduced adjacent to Joseph Banks Boulevard, Honeybee Parade and Kalimba Road, and maintained adjacent to a portion of Jewel Way and Joseph Banks Boulevard. The areas in which Mixed Use Building Typology have been retained are centrally located within the District centre, adjoining areas of Retail Core Precinct which form key connections to established commercial development and provides a suitable transition between precincts. These locations provide the greatest opportunity for future non-residential land uses.

Mixed Use Building Typology within the Mixed Use Precinct is maintained in proximity to the Ghost Gum Boulevard main street and active pedestrian and vehicle routes identified as Principal Pedestrian Routes on Plan 1 of ACP 65. These locations interface with an established two storey residential frontage to the north of Joseph Banks Boulevard and commercial frontage to the south of Jewel Way and are critical to the transition of land uses and built form within the District Centre.

Locations which are subject to the removal of the Mixed Use Building Typology are located on the western portion of Joseph Banks Boulevard, Kalimba Road and Honeybee Parade. The western portion of Joseph Banks Boulevard is separated from Ghost Gum Boulevard and interfaces with public open space and single storey residential to the north. Development to the north of Kalimba Road includes single storey residential dwellings. West of Honeybee Parade includes an approved large format retail development and fuel station which includes a servicing and deliveries yard. These locations are situated further from the core of the District Centre, are located on lower order roads which are more suitable for residential transition.

Further to the above, it is noted that continuation of building height on Joseph Banks Boulevard is important to the established scale of development along this road. While the western portion of Mixed Use Building Typology is proposed to be removed from Joseph Banks Boulevard, two storey building height has been maintained on Plan 1 to consolidate the northern interface between Ghost Gum Boulevard and Porrecta Link. This will result in a consistent link of two storey terrace homes facing north.

An indicative subdivision concept plan is included as Attachment 1 to this report and demonstrates one possible subdivision response that incorporates the refinements to the Mixed Use Building Typology proposed as part of this amendment.

3.2 Local Development Plans

The Mixed Use Building Typology requirements of ACP 65 Clause 15 Local Development Plans are proposed to be separated to reflect specific design objectives for the Mixed Use Precinct and the Retail Core Precinct. The Mixed Use Building Typology currently combines requirements for each of these precincts which are not appropriate considering the substantially different land use objectives. ACP 65 LDP requirements for the Mixed Use Building typology are as follows:

- iii. *Sites designated as 'Mixed-Use Building Typology' on Plan 1, to address the following:*
- (vi) *Built form, setbacks, height and scale, in accordance with the Mixed-Use Building Typologies indicated in Appendix 1;*
- (vii) *A minimum of two-storey height;*
- (viii) *Building treatments on the ground floor that promote visual engagement from the street;*
- (ix) *A minimum ground-to-floor ceiling height of 3.5 metres; and*
- (x) *Subtle definition of public/private interface; where fencing is required, this shall be uniform and of an appropriate height and character.*

LDP requirements for the delivery of permitted single and grouped dwellings within the Mixed Use Precinct are proposed to be modified to ensure that anticipated and likely built form can be delivered.

Each of these amendments is discussed in detail below.

3.2.1 Mixed Use Building Typology – Mixed Use Precinct

The Mixed Use Building Typology – Mixed Use Precinct LDP provisions are proposed as follows:

- iii. Built form generally in accordance with the Mixed-Use Building Typologies indicated in Appendix 1 including:
 - (i) A minimum two-storey building height;
 - (ii) A minimum ground floor floor-to-ceiling height of 3.0m;
 - (iii) Glazing of a ground floor habitable room adjacent to the street that promotes visual engagement with the street; and
 - (iv) Uniform fencing of an appropriate height and character (where required).

LDP provisions are amended to clearly define the original intent of the existing LDP provisions such as 'visual engagement with the street' and 'subtle definition of public/private interface', which are generally ambiguous. The primary purpose of this amendment is however to reduce the ground floor floor-to-ceiling height from 3.5m to 3m, which provides more appropriately for a residential scale building and maintains the ability for adaptable reuse of the buildings in the future.

The National Construction Code of Australia provides minimum floor-to-ceiling heights for a range of non-residential land uses. These may range subject to the use of a specific room however is typically 2.4m for the range of permitted and discretionary uses currently listed in ACP 65 for the Mixed Use Precinct. The proposed floor to ceiling height is therefore reduced from 3.5 to 3m as part of this amendment as this is considered to provide adequate roof space in the event a future non-residential conversion was proposed.

The 3m floor-to-ceiling provides a minimum of 600mm for a suspended ceiling to accommodate essential servicing for non-residential uses. The future conversion of residential dwellings within the Mixed Use Building Typology is therefore not restricted by the reduction in floor to ceiling height. The reduction to 3m will ensure that the dwellings are of a residential rather than commercial scale, consistent with the intent of the precinct. Importantly, this will also substantially reduce unnecessary costs to provide over height ceiling spaces that are not needed.

Attachment 1 of Part One Implementation has been updated to reflect reference to the Mixed Use Building Typology – Mixed Use Precinct as identified above.

3.2.2 Mixed Use Building Typology – Retail Core Precinct

The Mixed Use Building Typology – Retail Core Precinct LDP provisions are proposed as follows:

- iv. Built form generally in accordance with the Mixed-Use Building Typologies indicated in Appendix 2 including:
- (v) A minimum two-storey building height;
- (vi) A minimum ground floor floor-to-ceiling height of 3.5m;
- (vii) Street setbacks;
- (viii) Side boundary setbacks;
- (ix) Awnings; and
- (x) Glazing.

LDP provisions are amended more clearly to define the original intent of existing LDP provisions such as ‘visual engagement with the street’ and ‘subtle definition of public/private interface’, which are generally ambiguous. The LDP provisions also incorporate the general development requirements contained within Part 11 Building Design of ASP 65 and collectively provide further guidance for the development of appropriate and relevant built form requirements in LDP’s.

Attachment 2 of Part One Implementation has been updated to reflect reference to the Mixed Use Building Typology – Mixed Use Precinct as identified above.

3.2.3 Single Houses and Grouped Dwellings

The R80 requirements of the R-Codes do not facilitate the built form expected within the amendment area, which is expected to be generally consistent with the R60 R-MD provisions of the City of Wanneroo Local Planning Policy 4.19. It is therefore proposed to include LDP enabling provisions within ACP 65 for the preparation of Local Development Plan provision to address the expected built form.

Desired R-Code variations are required for the following items, which will enable generally rear loaded terrace style development generally consistent with the requirements of the R-MD Codes:

- Street setbacks;
- Fencing;
- Side boundary setbacks
- Open space;
- Outdoor living areas;
- Garage setbacks
- Car parking;
- Overshadowing;
- Visual privacy; and
- Public open space interface.

The subdivision concept plan included as Attachment 1 demonstrates one possible way that the amendment area could be developed and includes a range of 6m wide and 7.5m wide rear loaded lots. This is generally consistent with the prevailing context of development within the District Centre and facilitates a range of single and two storeys built form outcomes that require R-Code variations listed above.

Public open space interface has also been included to ensure appropriate interface provisions are provided where lots abut public open space.

Both to support, as well as to inform the amendment, a report has been prepared by Shrapnel Urban Planning. The report provides background into the previous amendments made to the ACP 65, justification for the proposed minor amendments to the building typology requirements as well as a broad understanding of the evolution of the District Centre from its inception to date.

Some of the key findings of the report are as follows:

- The evolution of the District Centre since 2009 has resulted in the need to review the provisions stipulated against the mixed use precinct to ensure that these continue to be relevant to the context; and
- A refinement to the District Centre provisions as proposed will:
 - Support and accelerate residential development in appropriate locations benefiting both residents of the area as well as retail and other business within the Retail Core Precinct.
 - Focus and reinforce the location of the commercial component along frontages of Ghost Gum Boulevard and Jewel Way.
 - Define land use more appropriately.

4.0

Supporting Report

Shrapnel Urban Planning

4.1 Previous Amendments to ACP 65

As described previously in this report, ACP 65 has been subject to four previous amendments. Most notable to this amendment is Amendment 3 in which the initial proposal was to introduce a Residential zoning over a large portion of the area shown as Mixed Use. The WAPC determined at this time, that the Mixed Use was more appropriate in this location rather than the proposed Residential, however did acknowledge that the majority of the precinct was likely to be development for residential purposes. At this time, the WAPC also endorsed the application of a 'Mixed Use Building Typology' requirement for land around the periphery of the precinct requiring, amongst other provisions, two-storey development and a 3.5m ground to floor ceiling height.

4.2 Centre Development to Date

The report prepared by Shrapnel Urban Planning provides the findings of a review of the existing and anticipated future development of the District Centre. The assessment indicates that there is approximately 14,670sqm of existing shop/retail in the district centre at present. The current planned retail floor space estimate of 20,000sqm therefore remains a feasible target.

A review and comparison between population forecasts indicates that 20,000sqm retail floorspace potential for Banksia Grove District Centre remains the appropriate figure, as the centre continues to complete its first generation of development. It is clear that the proposed amendment will not adversely affect the potential of the centre to reach this development potential, and in fact, benefit the centre by accelerating its rate of development.

4.3 Key Concluding Statements

As concluded by the Shrapnel Urban Planning Report, the purpose of the Amendment 5 is simply a refinement of the current provisions, in line with the intent of the previous Amendment 3 to encourage more rapid and appropriate development within the north-east quadrant of the District Centre.

The purpose of a mixed use precinct is to facilitate and encourage development of various compatible commercial and non-residential uses, as well as residential uses in order to create an interesting and sustainable urban environment. There is however, the ability in the mixed use precinct to develop predominantly residential uses. It is therefore possible that the operation of market forces will favour residential development only, with the precinct. This is the most likely scenario in the short, medium and longer terms. The proposed amendment will not adversely affect but rather enhance the development of the District Centre.

It is important to note that there are significant benefits resulting from residential development within or immediately adjacent to activity centres. Such benefits include greater opportunities for home based business and an increased residential catchment within proximity, resulting in a more economically viable centre.

5.0 Conclusion

This amendment provides for the modification of the Mixed Use Building Typology currently applied to ACP 65 and associated LDP provisions within the Mixed Use Precinct and Retail Core Precinct. This facilitates the appropriate and intended development of land within the Mixed Use Precinct of the District Centre.

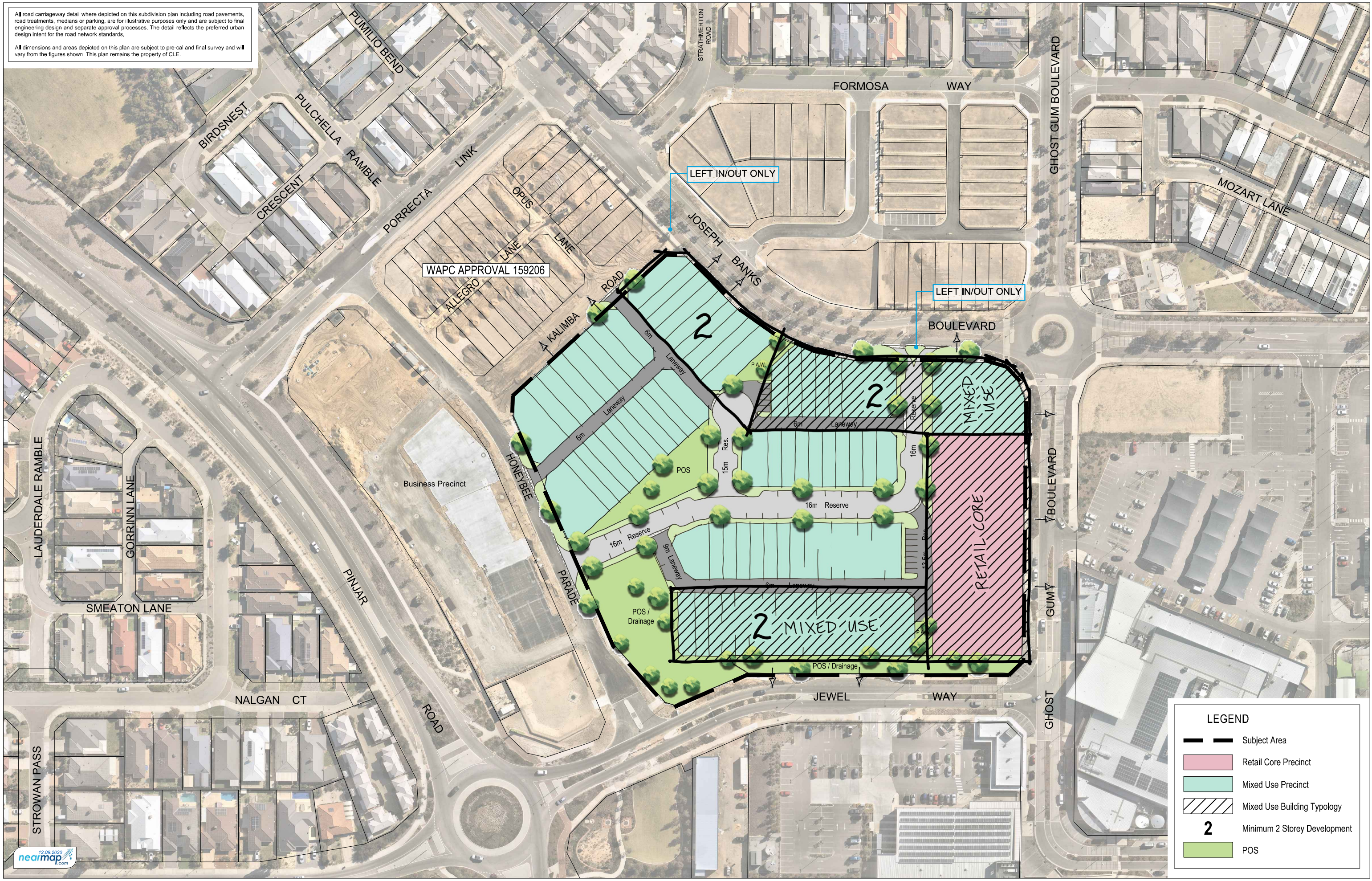
The amendment simplifies LDP requirements including reducing the ground floor floor-to-ceiling height of the Mixed Use Typology – Mixed Use Precinct appropriately to 3.0m, R-Code variations via LDP's also forms part of the proposal to facilitate the delivery of varying forms and scale of residential development.

The formal support of the City of Wanneroo and Western Australian Planning commission is now sought for Amendment 5 to ACP 65. It is requested that the amendment is processed under Clause 29 of Schedule 2, Part 4 of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

Attachment 1
Concept Plan

All road carriageway detail where depicted on this subdivision plan including road pavements, road treatments, medians or parking, are for illustrative purposes only and are subject to final engineering design and separate approval processes. The detail reflects the preferred urban design intent for the road network standards.

All dimensions and areas depicted on this plan are subject to pre-cal and final survey and will vary from the figures shown. This plan remains the property of CLE.



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