

**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

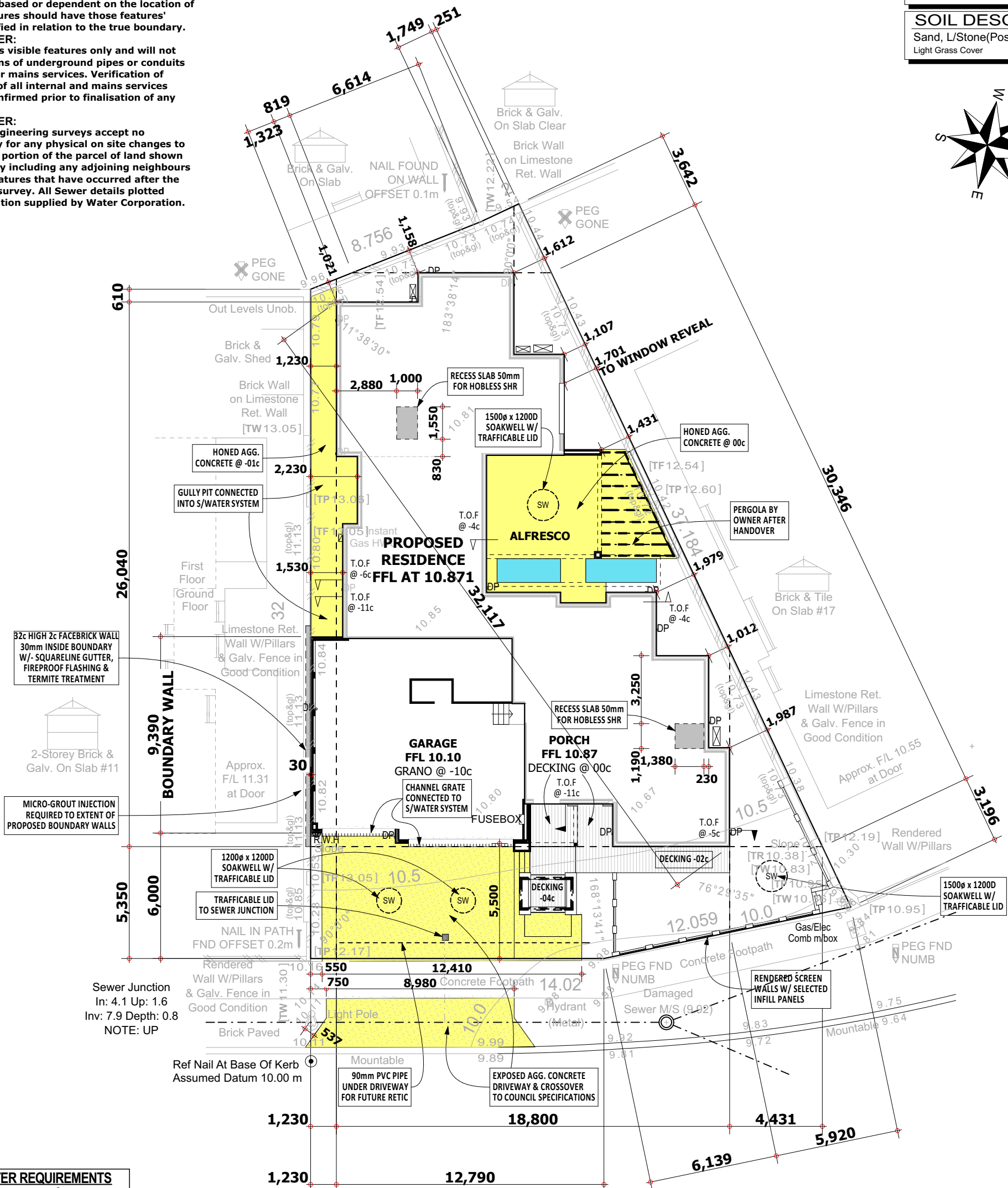
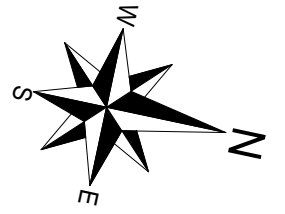
**WIND RATING & COASTAL NOTES:**  
 \*WIND RATING (N??) AS PER AS 4055  
 \*DURABILITY CLASS AS PER AS PER AS 3700  
 R3 - COASTAL CONDITIONS APPLY (100m - 1km FROM BREAKING SURF)

**NOTE:**  
 NOTIFICATION.  
 REFER TO SEC 165 T.P.&D. ACT  
 SEE DOCUMENT J 870335 (U.X.O)

**NOTE:**  
 RESTRICTIVE COVENANT.  
 REFER TO SEC 136D T.L.A.  
 SEE DOCUMENT J 870336

**LOT MISCLOSE**  
 0.000 m

**SOIL DESCRIPTION**  
 Sand, L/Stone(Poss)  
 Light Grass Cover



**STORMWATER REQUIREMENTS**  
 - TOTAL ROOF AREA = 379.83m<sup>2</sup>  
 - DRIVEWAY / PORCH = 53.66m<sup>2</sup>  
 - TOTAL IMPERVIOUS AREAS = 433.49m<sup>2</sup>  
 - 433.49m<sup>2</sup> x RAINFALL (0.015)  
 - TOTAL TO CONTAIN = 6.50m<sup>3</sup>  
 - 1500Ø x 1200D SOAKWELL = 2.10m<sup>3</sup> (x2) = 4.20m<sup>3</sup>  
 - 1200Ø x 1200D SOAKWELL = 1.34m<sup>3</sup> (x2) = 2.68m<sup>3</sup>  
 - TOTAL SOAKWELL CAPACITY = 6.88m<sup>3</sup>

Scale 1:200  
 0 2 4 6 8

Scale 1:200 Date: 17 Sep 19  
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**Seabird Bend**  
 Bitumen

**TARGET HOMES WA**  
 BUILD SMART WITH EXCELLENCE

Target Home Group Pty Ltd T/A Target Homes WA  
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 (A) Suite 1/1 Brewer Street, Perth WA, 6000  
 www.targethomeswa.com.au  
 ABN: 61 609 779 482 Builders Reg #101546

PROPOSED RESIDENCE ADDRESS:  
**15 Seabird Bend**  
**Jindalee**

FOR:  
**Smith**

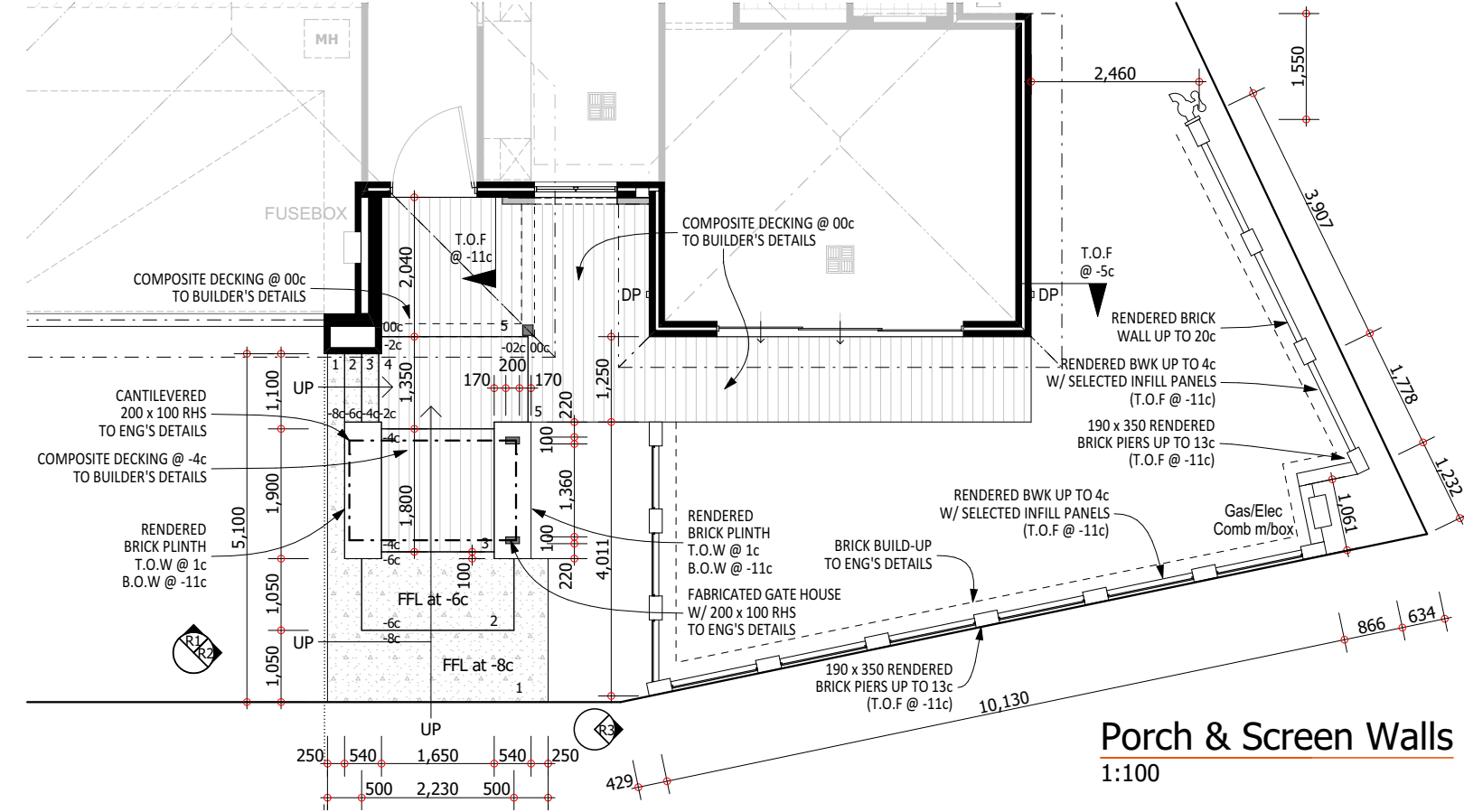
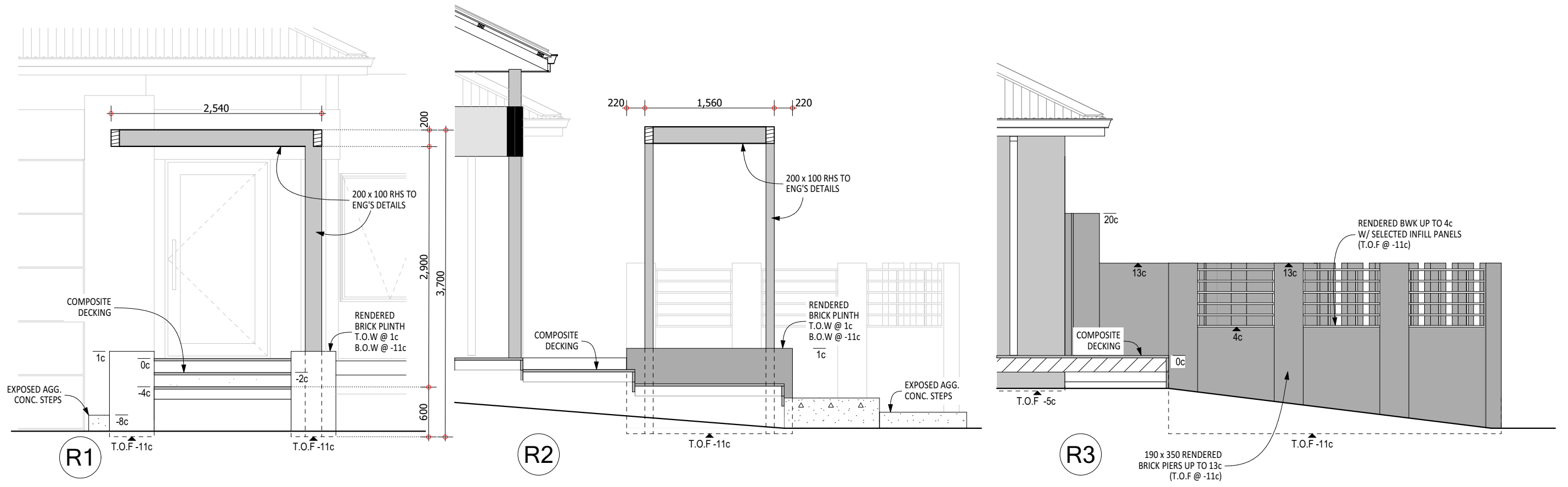
LOCAL AUTHORITY: City of Wanneroo  
 SITE AREA: 630m<sup>2</sup> ZONING: R20 SITE COVER: 52.97%

**AMENDMENTS:**

24.01.20	LC	WORKING DRAWINGS
16.02.20	LC	POWDER 2 RELOCATION
14.03.20	LC	VO1 - PRESTART CHANGES
24.03.20	LC	DETAILS ADDED
21.04.20	HM	SITE DIMS ADDED
15.07.20	LC	VO5, VO7, VO8
19.07.20	LC	VO11
29.08.20	LC	VO12, VO13, VO14, VO15
10.09.20	AC	VO16
08.12.20	RS	AMENDED FRONT BOUNDARY FENCE


**Site Plan**

SHEET: 01 of 16  
 SCALE: 1:200, 1:1, 1:100  
 HBA REF NO:  
**1217**



**Porch & Screen Walls**  
1:100

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LOCAL AUTHORITY: City of Wanneroo

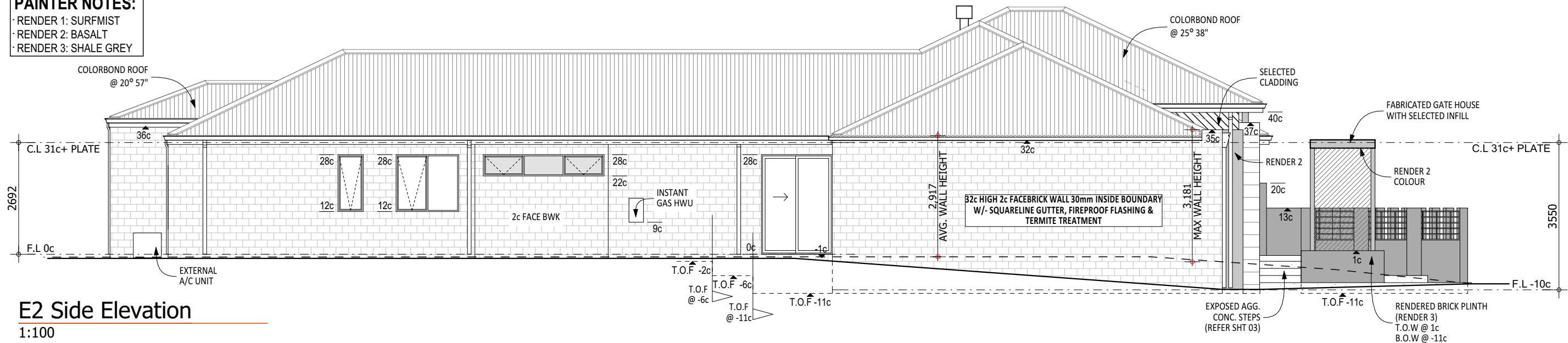
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19.07.20	LC VO11
29.08.20	LC VO12, VO13, VO14, VO15
10.09.20	AC VO16
08.12.20	RS AMENDED FRONT BOUNDARY FENCE

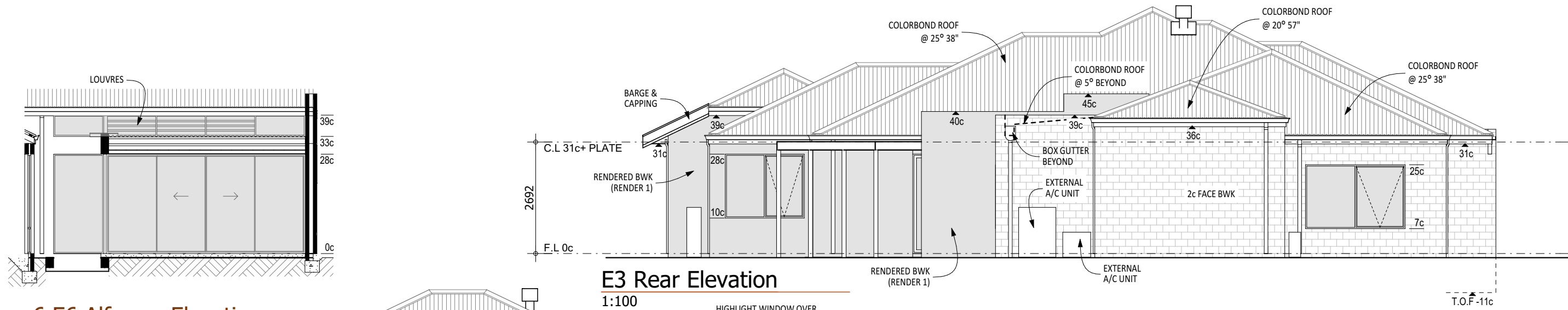
Hardscaping 1
SHEET: 03 of 16
SCALE: 1:100, 1:50
HBA REF NO: <b>1217</b>

**PAINTER NOTES:**

- RENDER 1: SURFMIST
- RENDER 2: BASALT
- RENDER 3: SHALE GREY

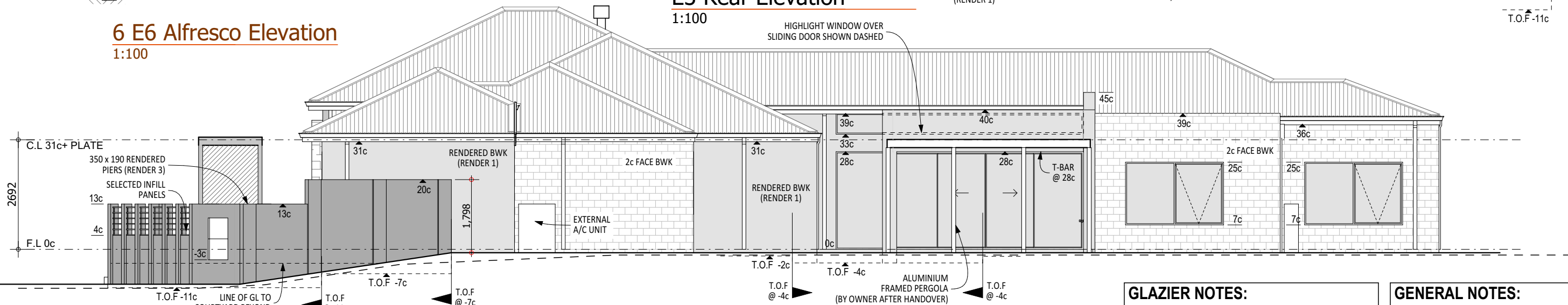


**E2 Side Elevation**  
1:100



**E3 Rear Elevation**  
1:100

**6 E6 Alfresco Elevation**  
1:100



**E4 Side Elevation**  
1:100

**GLAZIER NOTES:**  
 - DOUBLE GLAZING THROUGHOUT  
 - GREY GLAZING TO OUTER GLASS OF OPENINGS TO OFFICE, RETREAT, MASTER SUITE, ENSUITE, PASSAGE, LIVING, DINING, BED 2 & BED 3

**GENERAL NOTES:**  
 - RENDERED BRICKWORK TO FRONT ELEVATION AND ALFRESCO AREA - AS INDICATED ON PLAN  
 - 2c FACE BRICKWORK TO REMAINDER OF RESIDENCE  
 - 31c CEILINGS (+ PLATE) THROUGHOUT U.N.O  
 - MULTIPLE ROOF PITCHES - REFER ROOF PLAN  
 - ANTICON 50 THROUGHOUT

**WIND RATING & COASTAL NOTES:**  
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 FOR:  
**Smith**  
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15.07.20	LC	V05, V07, V08
19.07.20	LC	V011
29.08.20	LC	V012, V013, V014, V015
10.09.20	AC	V016
08.12.20	RS	AMENDED FRONT BOUNDARY FENCE

**Elevations 2**  
 SHEET: 07 of 16  
 SCALE: 1:100  
 HBA REF NO:  
**1217**



**PAINTER NOTES:**

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- RENDER 2: BASALT
- RENDER 3: SHALE GREY

**GENERAL NOTES:**

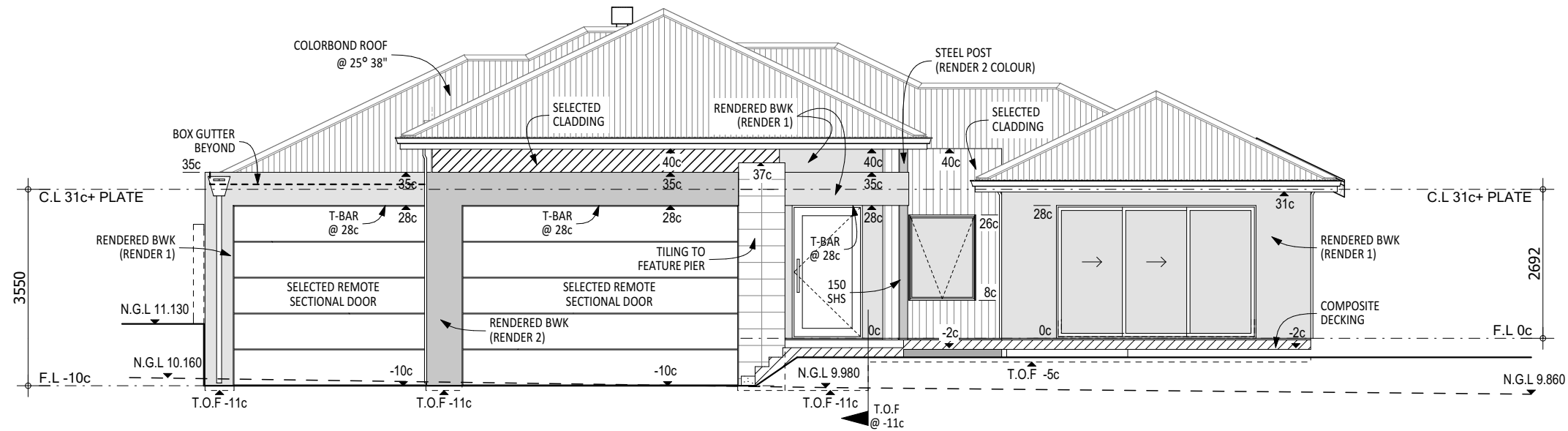
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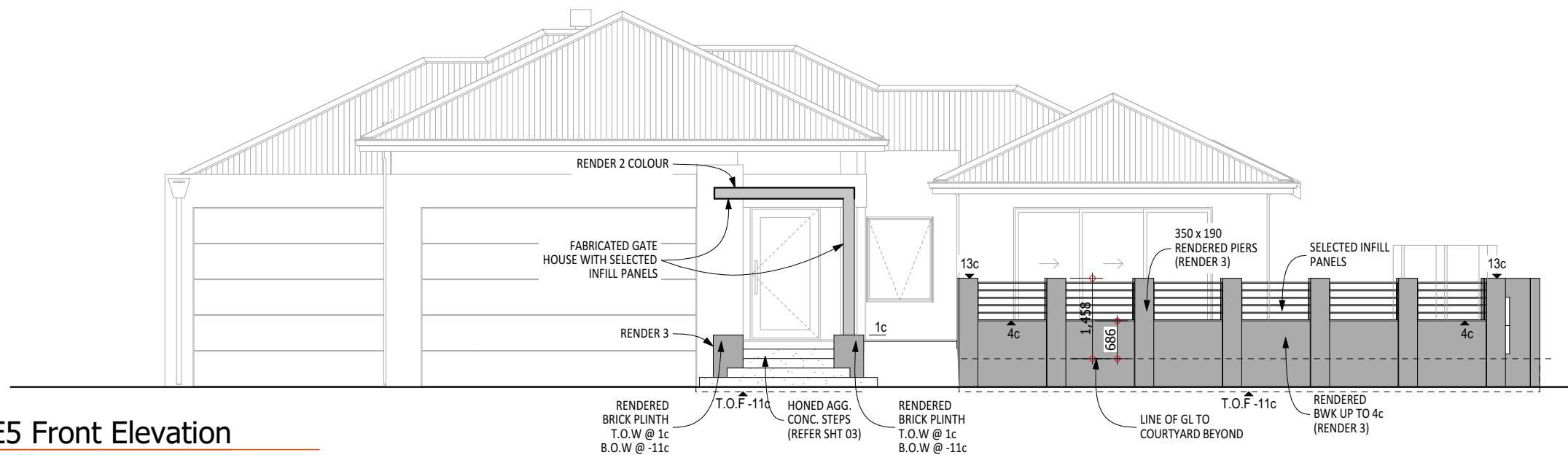
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**E1 Front Elevation**

1:100



**E5 Front Elevation**

1:100

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10.09.20	AC	VO16
08.12.20	RS	AMENDED FRONT BOUNDARY FENCE

**Elevations 1**

SHEET: 06 of 16

SCALE: 1:100

HBA REF NO:  
**1217**