

SITE SETOUT
SCALE 1:200

TERRACE

Level 8, 67 Walters Drive, Osborne Park WA 6017
Tel: (08) 6461 5340
P.O. Box 131 Mt. Hawthorn WA 6915
Reg. Builder No. 6415 A.B.N. 54 009 063 076
terracewa.com.au

| REVISION | VO # | DRN | DATE | CHK |
|----------|------|-------|----------|-----|
| | WD1 | VN-JO | 19.11.20 | |
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Sub-contractors to verify all dimensions on site.

CLIENT:
DATE:
CLIENT:
DATE:
BUILDER:
DATE:

CLIENT:
AHUMADA

ADDRESS:
**LOT 545
TURNSTONE STREET
ALKIMOS**

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CUSTOM

2c FACEBRICK

| | |
|-------------------------------|--------------------------------|
| MODEL N° 14989 | DATE 19.11.20 |
| MAP REF. 84 /05 /52 | WIND RATING N2 |
| COASTAL CATEGORY R3 | ENGINEERS DETAIL D10 |
| JOB N° 94556 | SHEET N° 10 OF 11 |

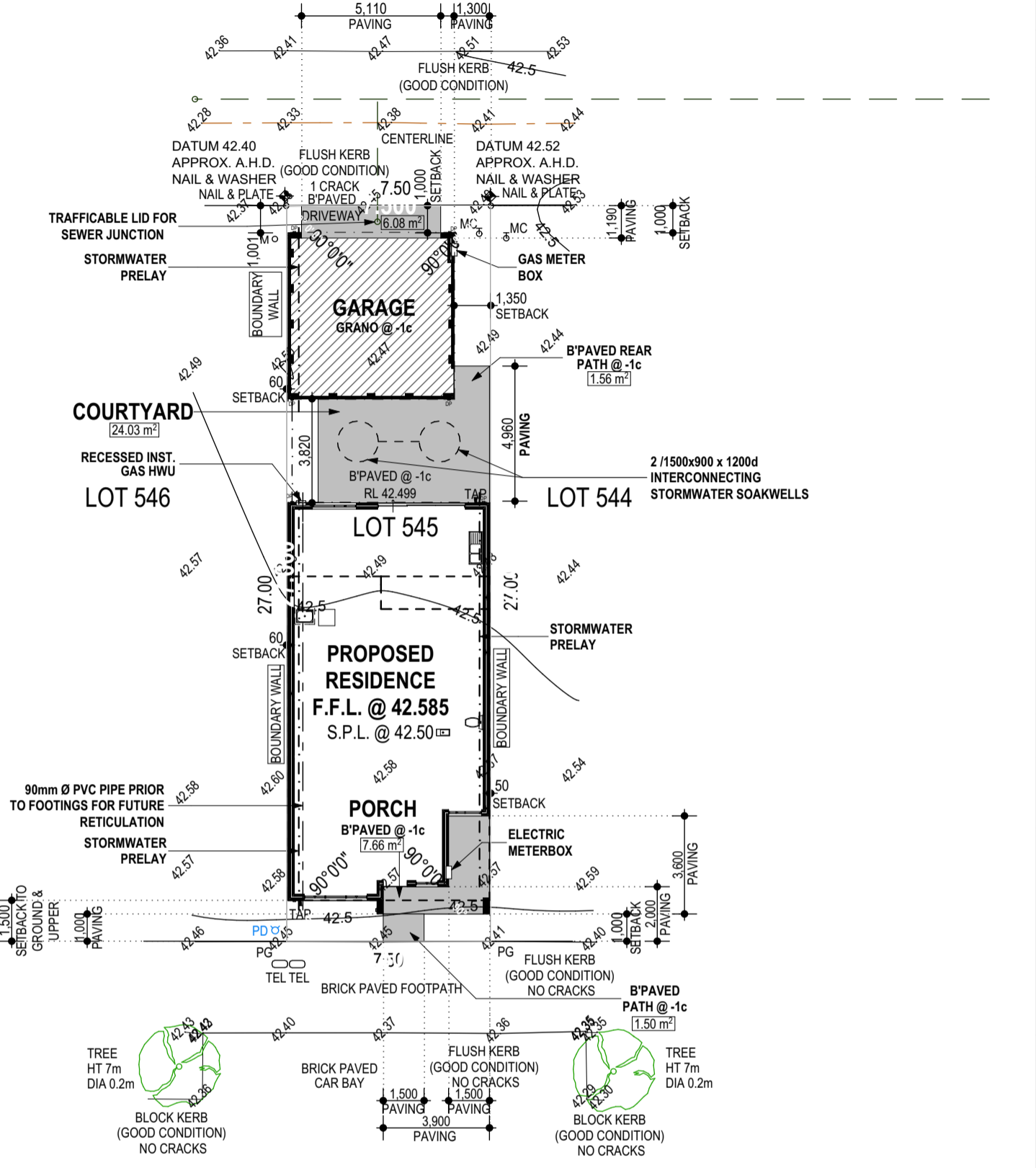
| SITE COVERAGE | |
|---|----------------------|
| ZONED | LOT TYPE A |
| % ALLOWED | 75% |
| SITE AREA | 202.00m ² |
| SITE COV. AREA | 139.06m ² |
| SITE COV. =68.8% | |
| NOTE: ALL STORMWATER TO BE CONNECTED TO SOAKWELL. STORMWATER TO COMPLY WITH AS3500, BC 3.1.3 & LG REQUIREMENTS. | |
| NOTES: ALL BOUNDARY FENCING BY OTHERS. | |
| NOTES: FRONT LANDSCAPING BY OTHERS. | |

| GRANO SCHEDULE | | | |
|----------------------|--------|----------------------|----------------|
| | ID | TOP SURFACE [m2] | PERIMETER [mm] |
| Floor Finish - Grano | Garage | 33.94 | 25.60 |
| | | 33.94 m ² | 25.60 m |

| PAVING SCHEDULE | | | |
|-------------------------|------------------|----------------------|----------------|
| | ID | TOP SURFACE [m2] | PERIMETER [mm] |
| Floor Finish - B'Paving | Front Path | 1.50 | 5.00 |
| Floor Finish - B'Paving | Driveway | 6.08 | 12.60 |
| Floor Finish - B'Paving | Porch | 7.66 | 15.00 |
| Floor Finish - B'Paving | Courtyard + Path | 25.59 | 22.62 |
| | | 40.83 m ² | 55.22 m |

LOT 545
202 m²
SANDY

| COMMON LEGEND | |
|---------------|-----------------------|
| ○ PF | PEG FOUND |
| ○ Pdist | PEG DISTURBED |
| PG | PEG GONE |
| ◆ | DATUM / CONTROL |
| ○ SV | STOP VALVE |
| ○ HY (GROUND) | HYDRANT |
| ○ FP | FLUSH POINT |
| ⊗ TAP | WATER TAP |
| ⊗ MC | METER CONNECTION |
| ○ M | WATER METER |
| ○ | DRAINAGE MANHOLE |
| □ | GRATE |
| □ | SIDE ENTRY PIT |
| ○ SEW | SEWER MANHOLE |
| ○ IS | INSPECTION SHAFT |
| ○ IO | INSPECTION OPENING |
| ○ CP | CONSUMER POLE |
| ○ PP | POWER POLE |
| ○ LP | LAMP POST |
| ○ SP | STAY POLE |
| ○ PD | POWER DOME / PILLAR |
| TEL / NBN | TELSTRA / NBN PIT |
| □ GAS | GAS METER |
| × G | GAS LINE MARKER (PT) |
| 99 TOW | TOP OF WALL |
| 99 TOR | TOP OF RETAINER |
| 99 STILL | STILL DEEPER |
| 99 TOB | TOP OF BACKING BLOCK |
| 99 TOF | TOP OF FOOTING |
| 99 BOR | BOTTOM OF RETAINER |
| 99 BOF | BOTTOM OF FENCE FRAME |

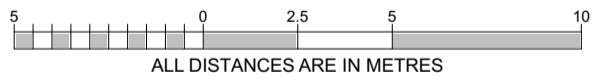


SITE PLAN
SCALE 1:200

IO
POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY
SEWER INVERT LEVEL 40.75
SEWER BROUGHT UP 0.5
DEPTH TO CONNECTION 1.2

NOTE: BOUNDARY POSITION AS PER ALIGNMENT
WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

INTERESTS AND NOTIFICATIONS REFER TO PLAN DP 411260 AND CERTIFICATE OF TITLE



AUTOMATED SURVEYS PTY LTD
LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS
3 HASLER RD, OSBORNE PARK, WA 6017
P.O.Box 1862, Osborne Park DC WA 6916
Telephone (08) 9214 1777
www.automatedsurveys.com.au

| | | | | | |
|-----------|----------------|--------------------|---------------|-----------|---------------------|
| B | | | | | |
| A | 24/10/2020 | SITE SURVEY | FBA | BCM | |
| REV. | DATE OF SURVEY | DESCRIPTION | SURVEYOR | DRAFTER | CHECKED |
| BUILDER: | TERRACE | | PLAN: | DP 411260 | |
| REF.: | 94556 | | C/T.: | 2929/826 | |
| H. Grid: | LOCAL | A.H.D level: 42.20 | A.H.D. value | SEWER M/H | Distance |
| V. Datum: | APPROX. | Local level: 42.20 | derived from: | AD9065 | from Datum: 44.48 m |

| | | | |
|--------------|-----------------------------------|----------|------------|
| CLIENT: | AHUMADA | | |
| PROJECT: | LOT 545 TURNSTONE STREET, ALKIMOS | | |
| AUTHORITY: | CITY OF WANNEROO | UBD MAP: | 84 /05 /52 |
| PLAN: | SITE SURVEY | PACKAGE: | A |
| SCALE: | 1: 200 @ A3 | SHEET: | 1 of 1 |
| DRAWING No.: | 235529 | REV: | A |

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CLIENT: AHUMADA
ADDRESS: LOT 545 TURNSTONE STREET ALKIMOS

CUSTOM
2c FACEBRICK

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| MODEL N° | 14989 | DATE | 19.11.20 |
| MAP REF. | 84 /05 /52 | WIND RATING | N2 |
| COASTAL CATEGORY | R3 | ENGINEERS DETAIL | D10 |
| JOB N° | 94556 | SHEET N° | 11 OF 11 |

GENERAL NOTES:

- THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.
- ALL DIMENSIONS SHOWN ON THE FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT ALLOW FOR WALL THICKNESS.
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- FLOOR WASTE, CEILING VENTS & MANHOLE LOCATION ARE SUBJECT TO CHANGE AT THE BUILDERS DISCRETION.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES AND O'ALL LENGTH AND WIDTH OF THE DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O'ALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.
- DO NOT SCALE FROM THIS DRAWING. ALL SUBCONTRACTORS TO CHECK DIMENSIONS & NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY. ALL DIMENSIONS TO BRICKWORK.

BRICKLAYER NOTES:

- WEEPHOLES AT MINIMUM 1200 CENTRES TO CAVITY BRICKWORK.
- 2ND FACE BRICKWORK TO INSIDE OF GARAGE.
- 230w RENDERED CAVITY BRICKWORK AS SHOWN ON FLOOR REMAINDER OF HOUSE.
- PLAN WITH 230w CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER OF HOUSE.
- REFER TO TYPICAL TERRACE CONSTRUCTION DETAILS FOR TYPICAL BRICKWORK DETAILS S26.1, S26.2, S27.1, S27.2, S28.2.

RENDERER NOTES:

- RENDER FINISH EXTERNALLY
- INSTALL PLASTIC BEAD TO FRONT ENTRY DOOR SILL WHEN RENDERED.
- DO NOT COVER WEEP HOLES WITH RENDER.
- RENDER TO EXTEND DOWN TO THE TOP OF THE FOOTING.

ROOF PLUMBER NOTES:

- DOWN PIPES TO BE LOCATED AS PER PLANS.
- CAN ONLY BE RELOCATED IF APPROVAL FROM SUPERVISOR IS GRANTED
- GUTTER BRACKETS TO BE INSTALLED @ MAX 1200 CENTRES.

ROOF CARPENTER NOTES:

- CONVENTIONAL TIMBER FRAMED ROOF APPLIES IN ACCORDANCE TO AS 1684.
- ROOF FRAMING TO BE MINIMUM H2 TREATED TIMBER.

ROOF INSULATION NOTE:

- R4.0 CEILING INSULATION AS PER APPENDA.

INTERNAL WALL NOTE:

- ALL INTERNAL WALLS TO BE DRYWALL LINING.

SUSPENDED FLOOR NOTE:

- 5c SUSPENDED FLOOR SYSTEM TO S.E. DETAILS

6 STAR:

- PROVIDE CAVITY INSULATION TO ALL EXTERNAL CAVITY BRICKWORK
- PROVIDE R5.0 CEILING INSULATION THROUGHOUT LIVING, UPPER FLOOR LOUNGE & BEDROOMS.
- PROVIDE SINGLE GLAZED LOW-E GLASS TO ALL WINDOWS

TRADES/SUPPLIERS/SUPERVISORS NOTES:

- FOR TYPICAL TERRACE CONSTRUCTION DETAILS. REFER TO SEPARATE DETAILS DOCUMENT. CONTACT BUILDING SUPERVISOR IF REQUIRED.
- FOR NON-STANDARD TERRACE CONSTRUCTION DETAILS REFER TO THESE PLANS.

NCC NOTES:

- ALL BALUSTRADE & HANDRAILS AS PER N.C.C (BCA VOL 2) CLAUSE 3.9.2
- (S) HARD WIRED, INTERCONNECTING SMOKE ALARMS AS PER N.C.C (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786.

CEILING FIXER NOTE:

- CEILING @ 64c (28c AFL) + PLATE TO GROUND FLOOR UNLESS NOTED OTHERWISE.

BOUNDARY WALL NOTE:

- FIRE SEPARATION TO BCA FIGURE 3.7.1.3 (c)

FIXING CARPENTER NOTES:

- 450D SHELF @ 1700 HIGH AND RAIL TO WIR & ROBE UNLESS OTHERWISE NOTED.
- PROVIDE MID-SHELF SUPPORT WHERE NOTED 'MSS' TO ANY SHELF OVER 2.4m LONG

AIRCON NOTE:

- PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING TO CONTRACTORS PLAN.

TERRACE

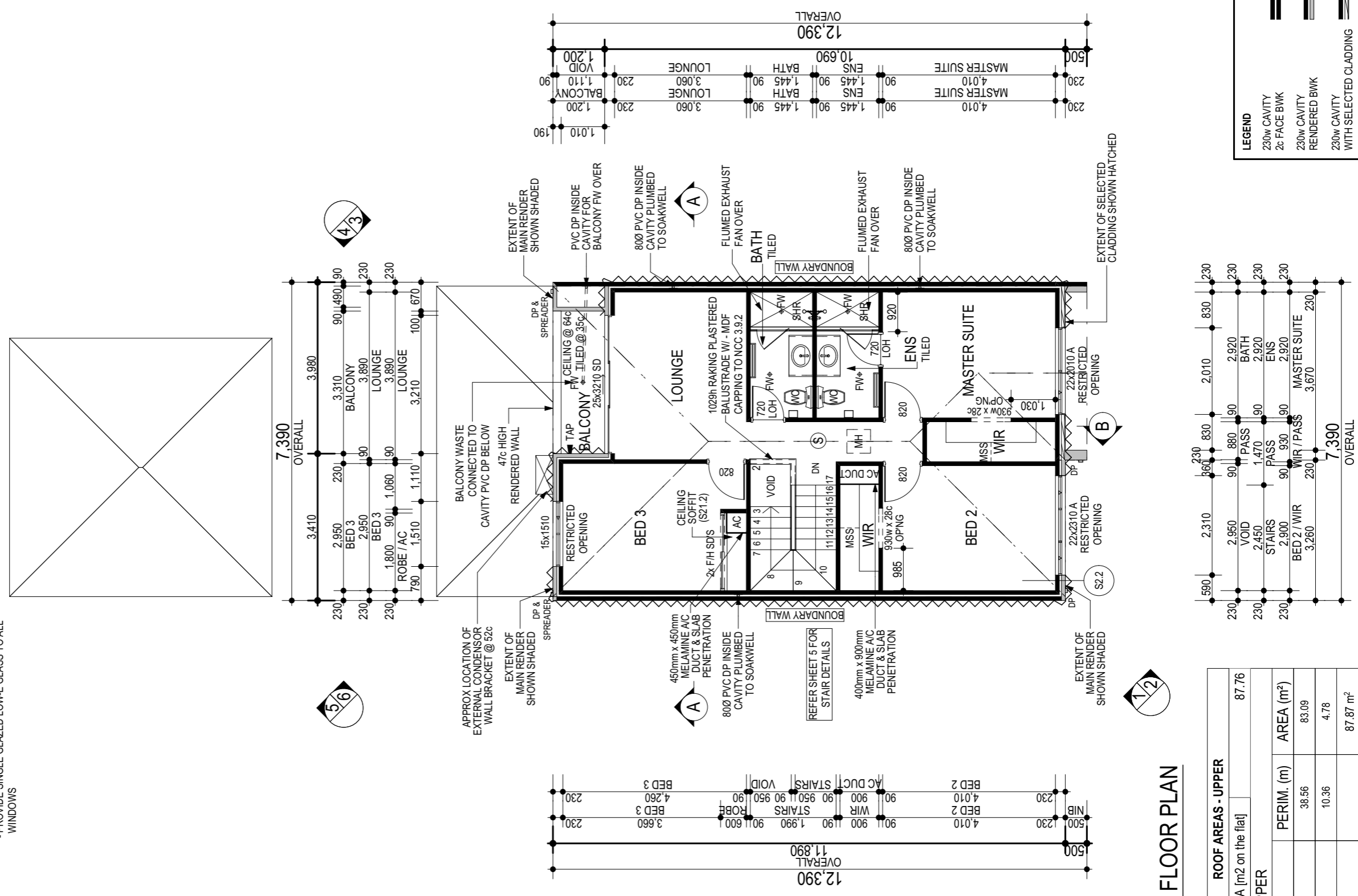
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CLIENT: AHUMADA
 ADDRESS: LOT 545
 TURNSTONE STREET
 ALKIMOS

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| R3 | D10 |
| JOB N° | SHEET N° |
| 94556 | 2 OF 11 |



UPPER FLOOR PLAN
 SCALE 1:100

| | |
|----------------------------|-----------|
| ROOF AREAS - UPPER | |
| ROOF AREA [m2 on the flat] | 87.76 |
| AREAS - UPPER | |
| PERIM. (m) | AREA (m²) |
| HOUSE (FIRST) | 83.09 |
| BALCONY | 4.76 |
| | 87.87 m² |

LEGEND

| | |
|--|------------------------------------|
| | 230w CAVITY |
| | 2c FACE BWK |
| | 230w CAVITY RENDERED BWK |
| | 230w CAVITY WITH SELECTED CLADDING |

ELEVATION NOTES:

- CONVENTIONAL ROOF FRAME APPLIES.
- ROOF TIE DOWN/FIXING STRAPS TO COMPLY WITH AS 3700 OR AS 4773 OR AS PER ENGINEER'S DETAIL.
- SHADED WINDOWS INDICATE OBSCURE GLAZING.
- GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047. ALL SUB-CONTRACTORS TO CHECK DIMENSIONS & NOTES PRIOR TO INITIATING WORKS. ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- ALL DIMENSIONS TO BRICKWORK.
- RESTRICTED OPENING AS PER NCC 3.9.2.5
- EXPOSED BOUNDARY WALLS TO BE PAINTED WHERE APPLICABLE.

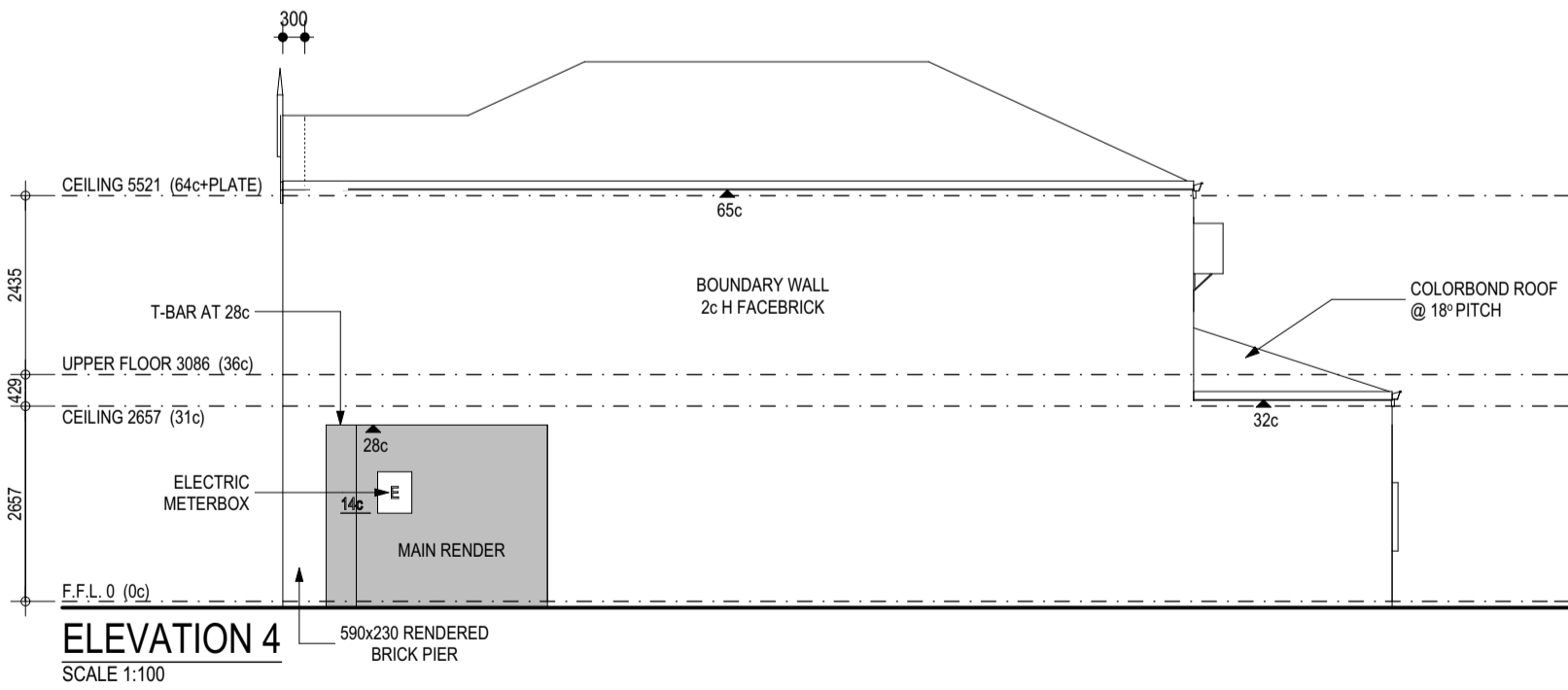
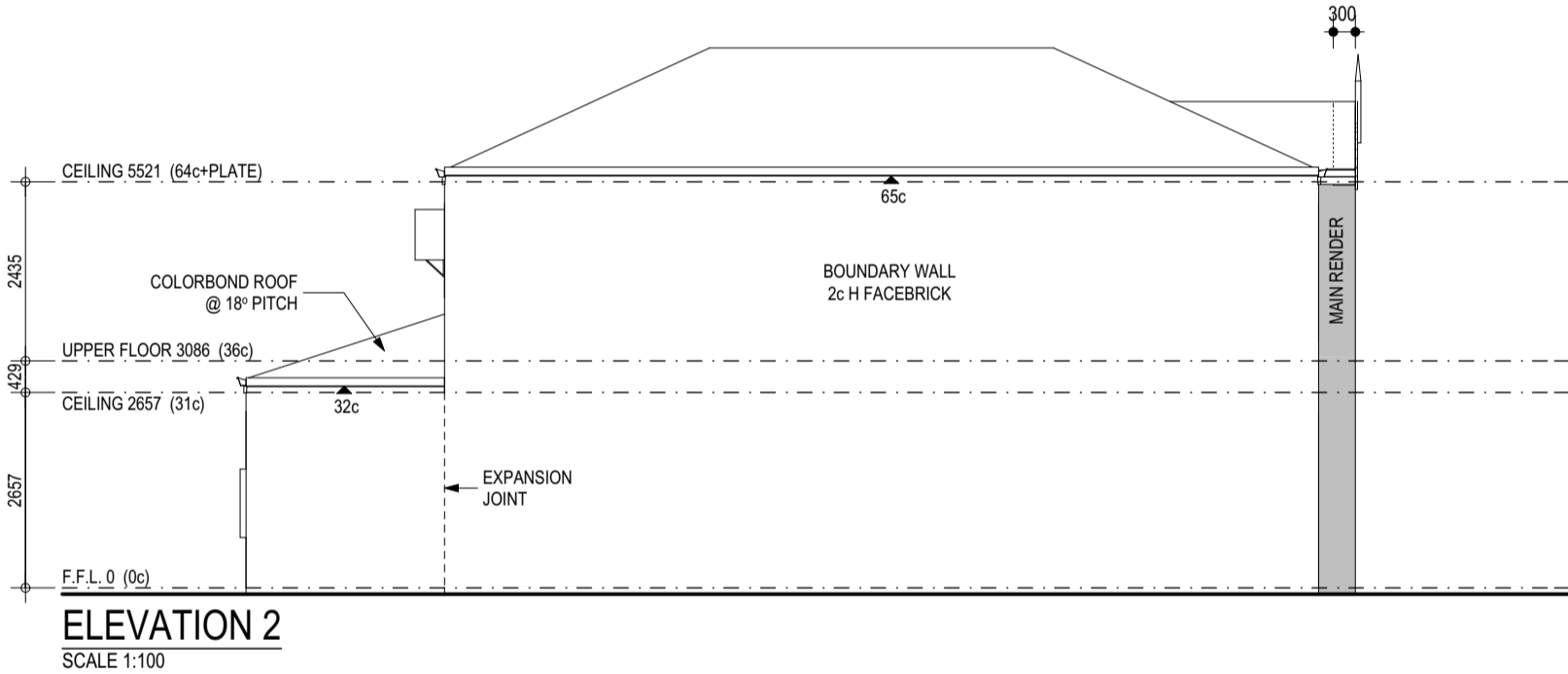
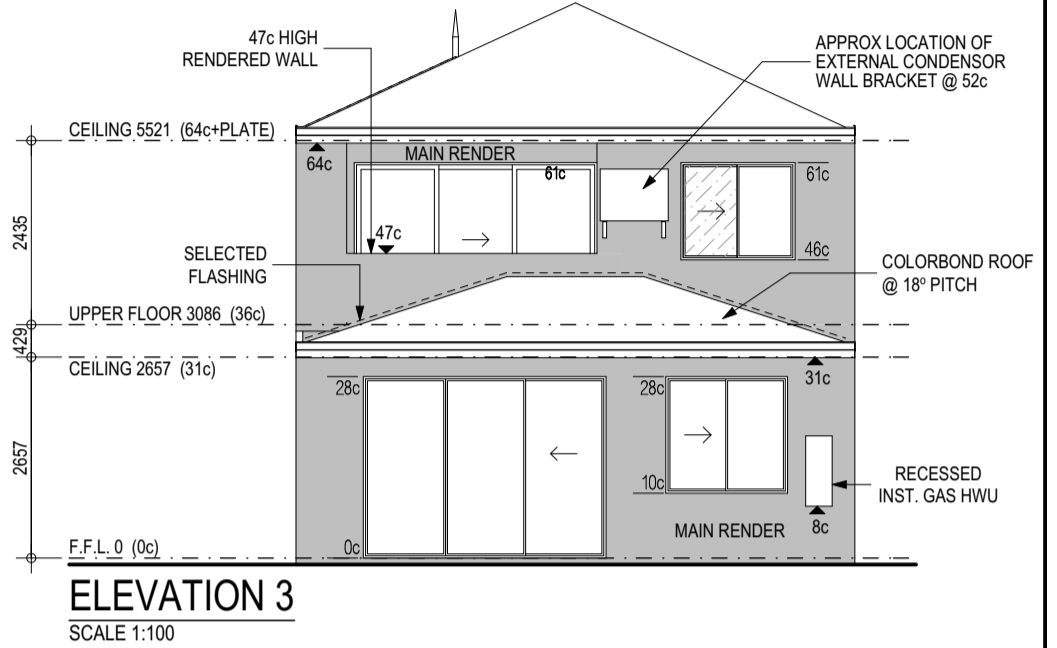
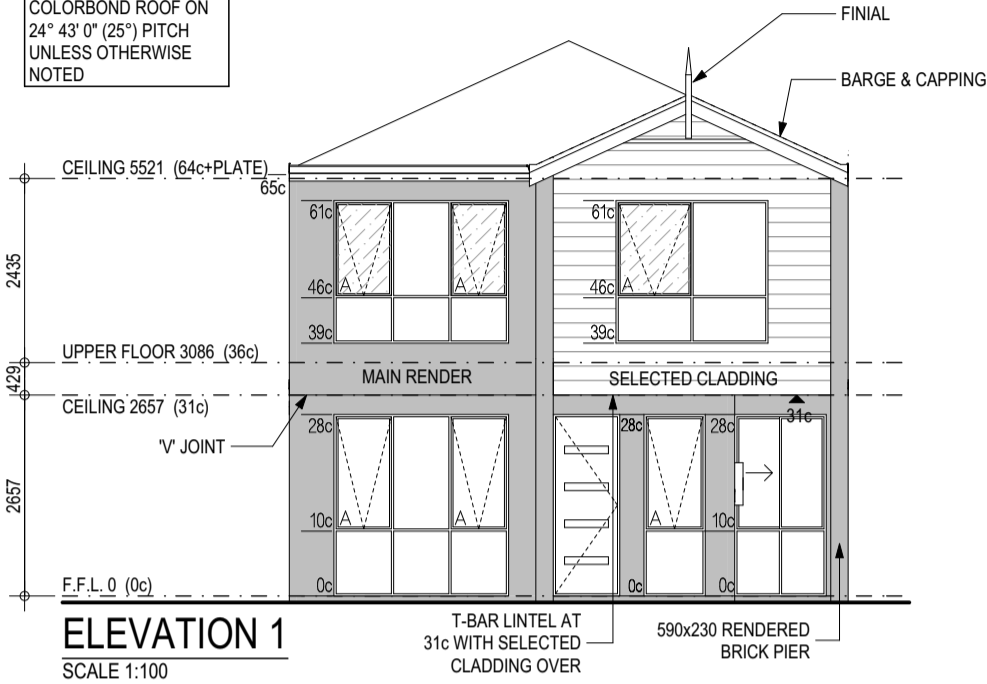
WINDOW SUPPLIER NOTE:

- SHADED WINDOWS INDICATE OBSCURE GLAZING.
- GLAZING DESIGNED AND CONSTRUCTED IN ACCORDANCE TO AS1288 AND AS2047.
- RESTRICTED OPENING AS PER NCC 3.9.2.5

LEGEND

- MAIN RENDER
- SELECTED CLADDING
- RESTRICTED OPENING: AS PER NCC 3.9.2.5 SHOWN HATCHED

COLORBOND ROOF ON 24° 43' 0" (25°) PITCH UNLESS OTHERWISE NOTED



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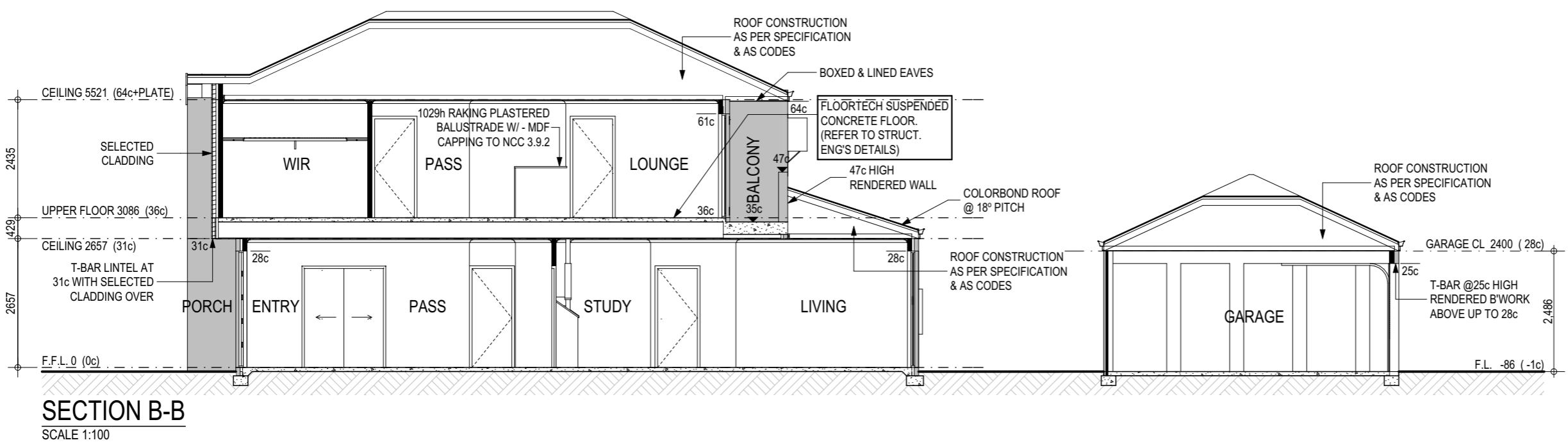
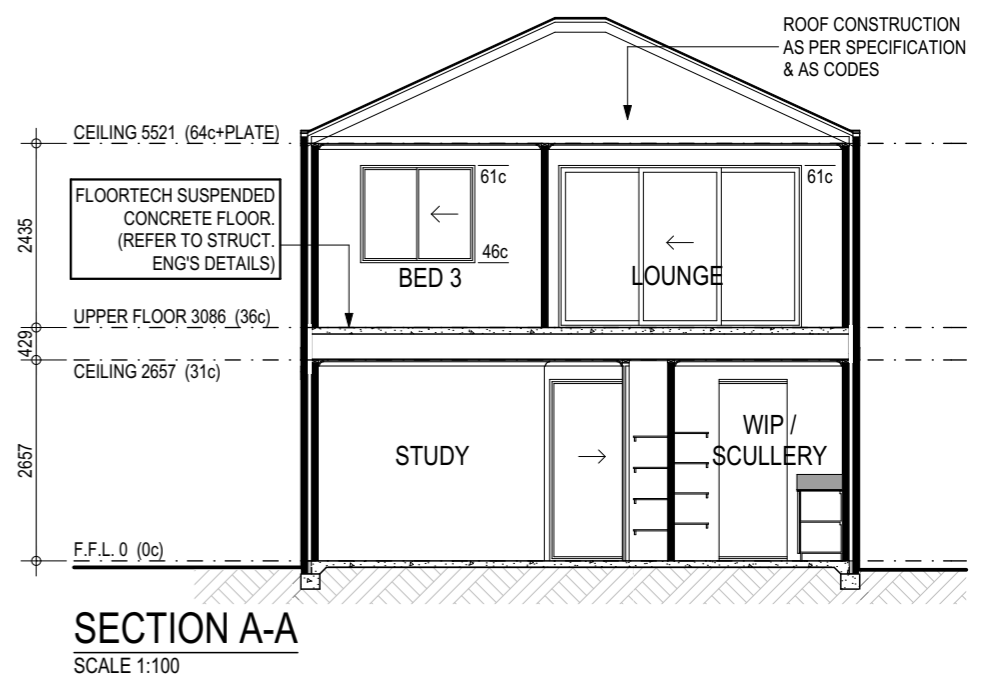
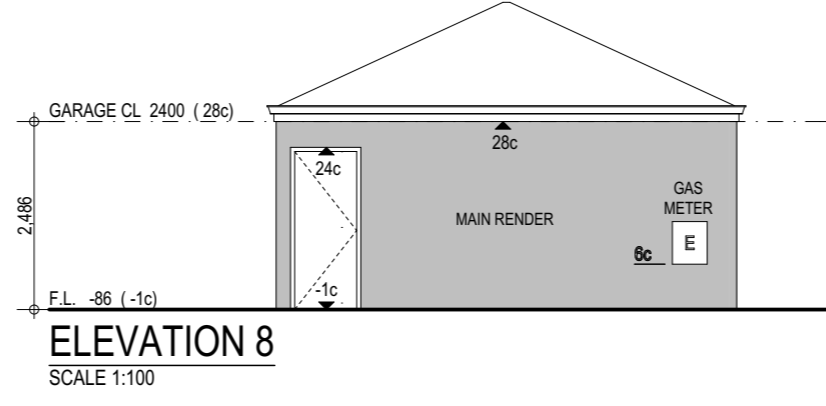
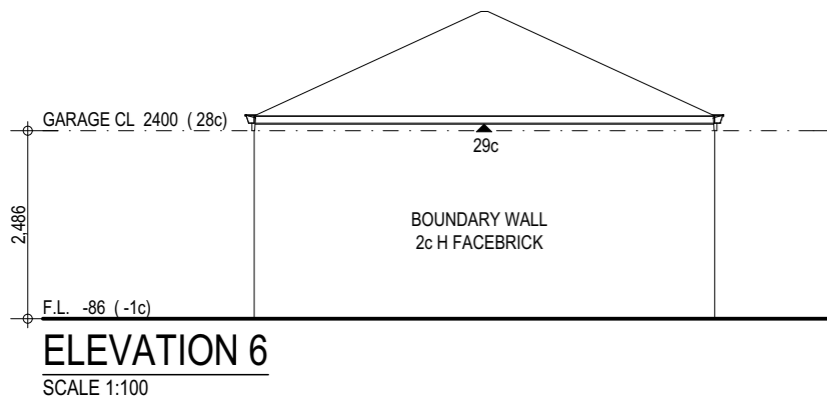
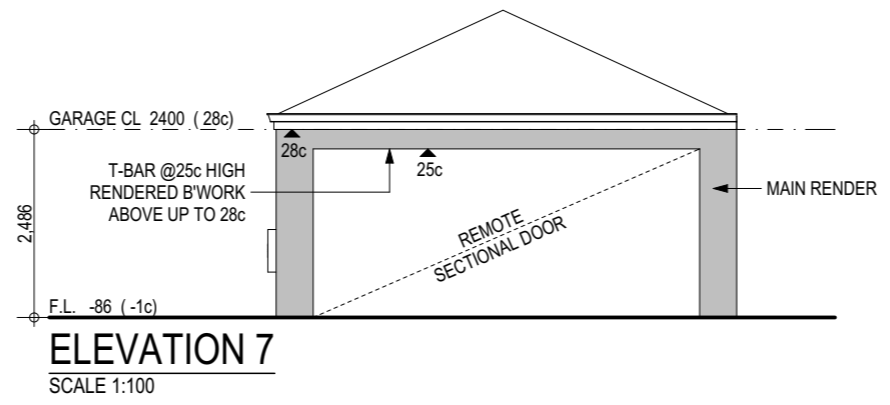
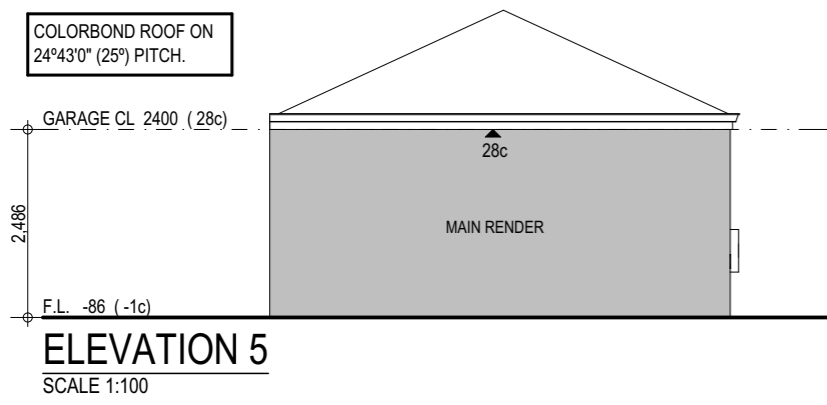
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| 94556 | 3 OF 11 |

| LEGEND | |
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| MAIN RENDER | |
| SELECTED CLADDING | |



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