HomeGroup

NOTE:
NOTIFICATION.
REFER TO SEC 165 T.P&D. ACT
SEE DOCUMENT
BUSHFIRE MANAGEMENT PLAN
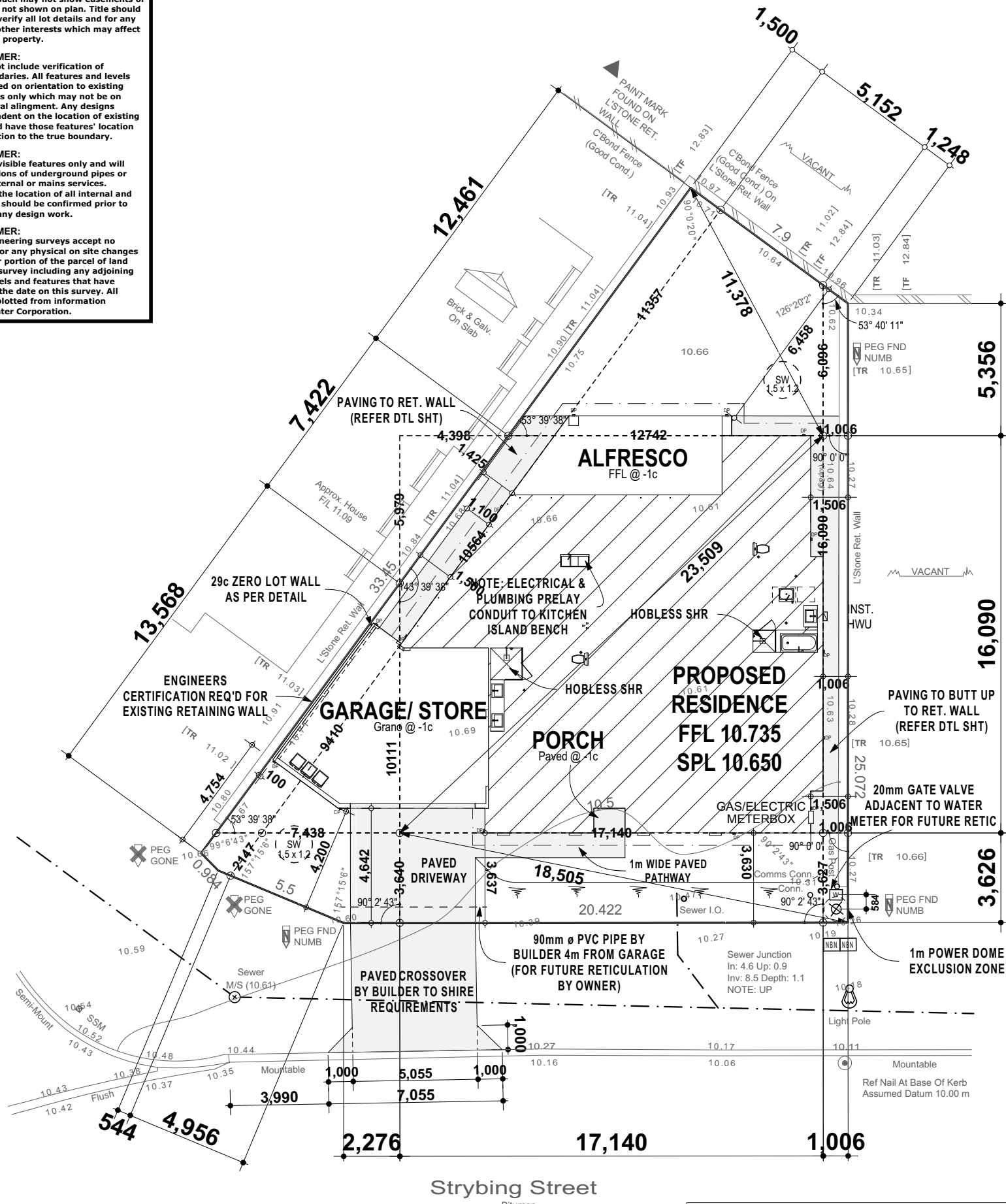
SOIL DESCRIPTION
Sand
Light Grass Cover
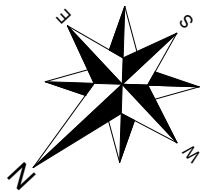
DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alingment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Rev No:	Variation:	Date Drn:	By:
A	15464H_SITE	23/11/20	MN
B	15464H_VO1	25/11/20	GH
C	15464H_VO2-VO4	05/01/21	TR

Drawn By:	Date Drawn:
GH	25/11/20

Scale:	Checked By:
1:200	

ALFRESCO
FFL @ -1c

NOTE: ELECTRICAL & PLUMBING PRELAY CONDUIT TO KITCHEN ISLAND BENCH

HOBLESS SHR
HOBLESS SHR

PROPOSED RESIDENCE
FFL 10.735
SPL 10.650

GARAGE/ STORE
Grano @ -1c

PORCH
Paved @ -1c

PAVING TO RET. WALL (REFER DTL SHT)

29c ZERO LOT WALL AS PER DETAIL

ENGINEERS CERTIFICATION REQ'D FOR EXISTING RETAINING WALL

PAVED DRIVEWAY

PAVED CROSSOVER BY BUILDER TO SHIRE REQUIREMENTS

1m WIDE PAVED PATHWAY

90mm ø PVC PIPE BY BUILDER 4m FROM GARAGE (FOR FUTURE RETICULATION BY OWNER)

GAS/ELECTRIC METERBOX

PAVING TO BUTT UP TO RET. WALL (REFER DTL SHT)

20mm GATE VALVE ADJACENT TO WATER METER FOR FUTURE RETIC

1m POWER DOME EXCLUSION ZONE

Sewer Junction
In: 4.6 Up: 0.9
Inv: 8.5 Depth: 1.1
NOTE: UP

Ref Nail At Base Of Kerb
Assumed Datum 10.00 m

Strybing Street
Bitumen

POSSIBLE STORMWATER PRELAY REQUIRED TO PLUMBERS DISCRETION

CONCRETOR NOTE:
RECESS SHOWER SLAB 30mm, PROVIDE REFLUX VALVE TO HOBLESS SHR

BAL 29 APPLIES

CONCRETOR NOTE:
FOOTINGS WITHIN 500mm FROM THE FACE OF THE EXISTING RETAINING WALL SHOULD NOT BE EXCAVATED UNTIL THE CONCRETE TRUCK HAS ARRIVED ON SITE. ONCE THE CONCRETE TRUCK HAS ARRIVED, THE FOOTINGS CAN BE EXCAVATED AND POURED IMMEDIATELY.
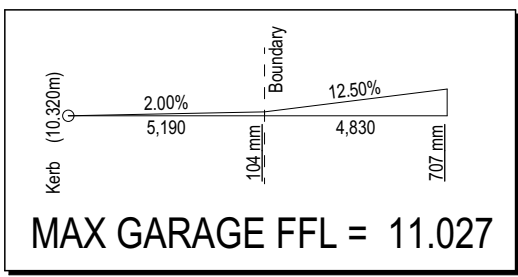
TERMITE MANAGEMENT NOTE:
ALL *PRIMARY BUILDING ELEMENTS* USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1-2014 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BUILDING CODE OF AUSTRALIA - VOLUME 2, 2016
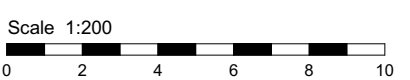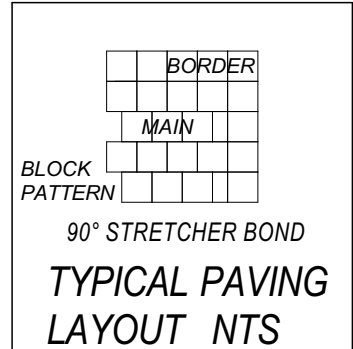
STORMWATER DRAINAGE TO COUNCIL REQUIREMENTS

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

CLIENT NOTE:
ANY RETAINING INDICATED 'BY OWNER' MAY REQUIRE A SEPARATE BUILDING LICENCE PRIOR TO THE SHIRE APPROVAL OF THE PROPOSED DWELLING. (OWNER TO SUBMIT APPLICATION TO SHIRE ASAP IF APPLICABLE)

BORDER
MAIN
BLOCK PATTERN
90° STRETCHER BOND
TYPICAL PAVING LAYOUT NTS

Soak Well Type	No.	
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		292.8 m2
Total Area		292.8 m2
Capacity Required (Area x 0.0125)		3.7 m3
Extra Capacity Provided		0.6 m3

Scale 1:200
0 2 4 6 8 10

Kerb (10.320m)
2.00%
5,190
Boundary
104 mm
12.50%
4,830
707 mm

MAX GARAGE FFL = 11.027

SITE COVERAGE
ZONED	R30
% ALLOWED	55%
SITE AREA	490.33m²
SITE COV. AREA	247.36m²

SITE COV. =50.4%

OUTDOOR LIVING REQUIREMENTS
	REQUIRED	ACHIEVED
OUTDOOR LIVING	24.0m²	108.6m²
UNCOVERED AREA	16.0m²	76.7m²

ROOF FRAMING NOTES:
- ALL ROOF BEAMS SHOWN DIAGRAMMATIC ONLY.
- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS 1684.
- STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4.
- L.V.L's IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CEILING JOISTS @ 450 CENTERS IN OPEN PLAN LIVING AREA.
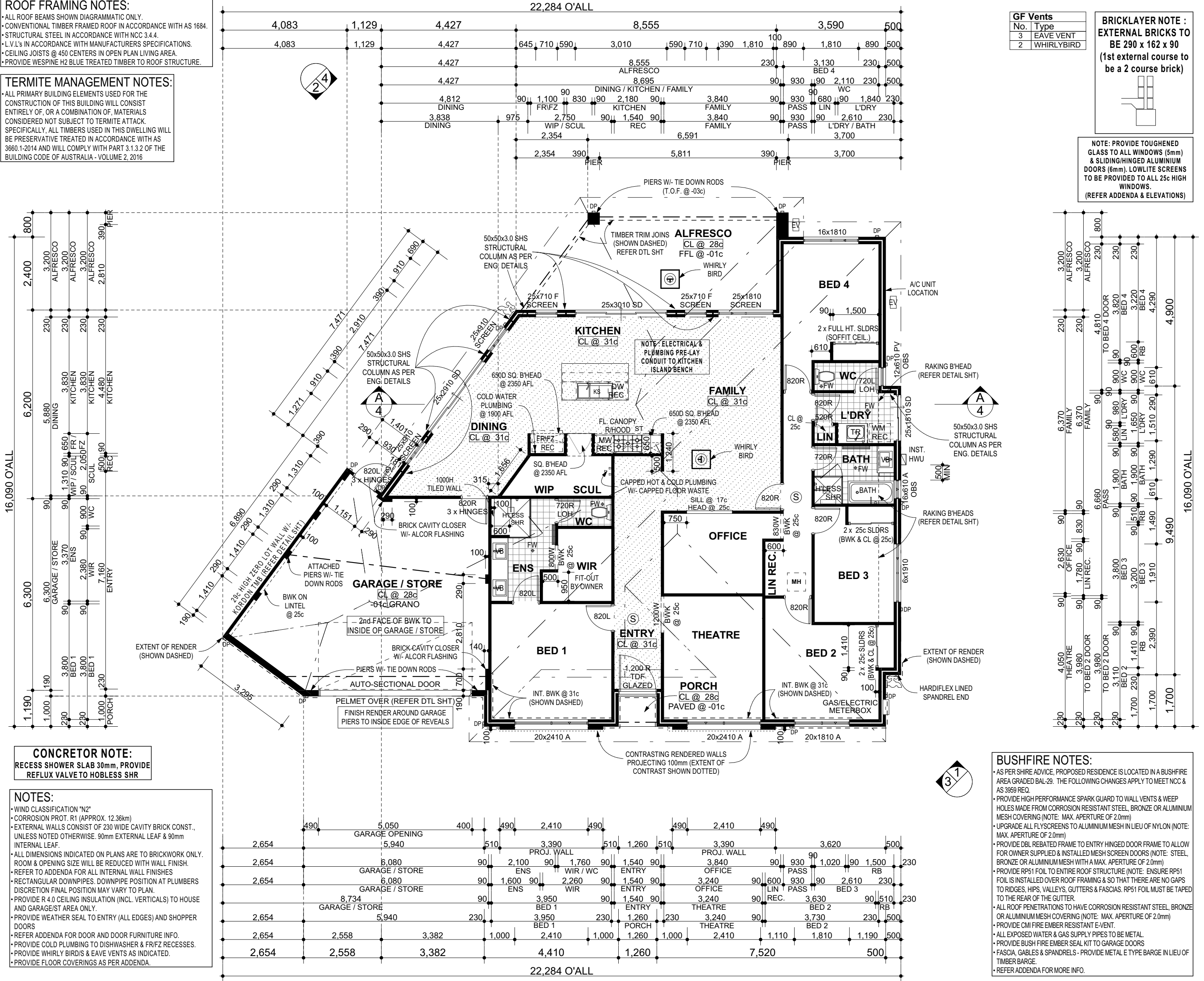- PROVIDE WESPINE H2 BLUE TREATED TIMBER TO ROOF STRUCTURE.

TERMITE MANAGEMENT NOTES:
- ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1-2014 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BUILDING CODE OF AUSTRALIA - VOLUME 2, 2016

CONCRETOR NOTE:
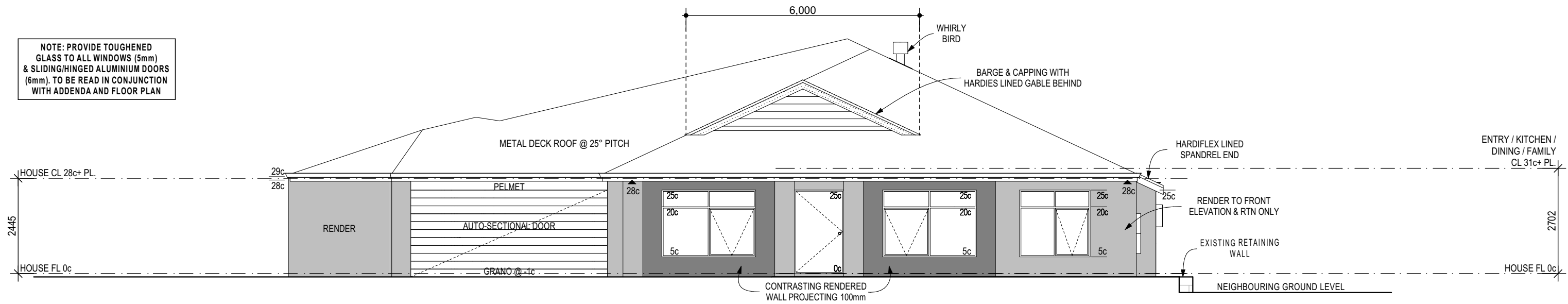RECESS SHOWER SLAB 30mm, PROVIDE REFLUX VALVE TO HOBLESS SHR

NOTES:
- WIND CLASSIFICATION "N2"
- CORROSION PROT. R1 (APPROX. 12.36km).
- EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
- ALL DIMENSIONS INDICATED ON PLANS ARE TO BRICKWORK ONLY. ROOM & OPENING SIZE WILL BE REDUCED WITH WALL FINISH.
- REFER TO ADDENDA FOR ALL INTERNAL WALL FINISHES.
- RECTANGULAR DOWNPIPES. DOWNPIPE POSITION AT PLUMBERS DISCRETION FINAL POSITION MAY VARY TO PLAN.
- PROVIDE R 4.0 CEILING INSULATION (INCL. VERTICALS) TO HOUSE AND GARAGE/ST AREA ONLY.
- PROVIDE WEATHER SEAL TO ENTRY (ALL EDGES) AND SHOPPER DOORS
- REFER ADDENDA FOR DOOR AND DOOR FURNITURE INFO.
- PROVIDE COLD PLUMBING TO DISHWASHER & FR/FZ RECESSES.
- PROVIDE WHIRLY BIRD/S & EAVE VENTS AS INDICATED.
- PROVIDE FLOOR COVERINGS AS PER ADDENDA.

GF Vents

No.	Type
3	EAVE VENT
2	WHIRLYBIRD

BRICKLAYER NOTE :
EXTERNAL BRICKS TO BE 290 x 162 x 90 (1st external course to be a 2 course brick)
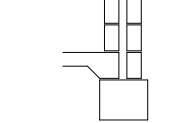
NOTE: PROVIDE TOUGHENED GLASS TO ALL WINDOWS (5mm) & SLIDING/HINGED ALUMINIUM DOORS (6mm). LOWLITE SCREENS TO BE PROVIDED TO ALL 25c HIGH WINDOWS. (REFER ADDENDA & ELEVATIONS)

BUSHFIRE NOTES:
- AS PER SHIRE ADVICE, PROPOSED RESIDENCE IS LOCATED IN A BUSHFIRE AREA GRADED BAL-29. THE FOLLOWING CHANGES APPLY TO MEET NCC & AS 3959 REQ.
- PROVIDE HIGH PERFORMANCE SPARK GUARD TO WALL VENTS & WEEP HOLES MADE FROM CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM MESH COVERING (NOTE: MAX. APERTURE OF 2.0mm)
- UPGRADE ALL FLYSCREENS TO ALUMINIUM MESH IN LIEU OF NYLON (NOTE: MAX. APERTURE OF 2.0mm)
- PROVIDE DBL REBATED FRAME TO ENTRY HINGED DOOR FRAME TO ALLOW FOR OWNER SUPPLIED & INSTALLED MESH SCREEN DOORS (NOTE: STEEL, BRONZE OR ALUMINIUM MESH WITH A MAX. APERTURE OF 2.0mm)
- PROVIDE RP51 FOIL TO ENTIRE ROOF STRUCTURE (NOTE: ENSURE RP51 FOIL IS INSTALLED OVER ROOF FRAMING SO THAT THERE ARE NO GAPS TO RIDGES, HIPS, VALLEYS, GUTTERS & FASCIAS. RP51 FOIL MUST BE TAPED TO THE REAR OF THE GUTTER.
- ALL ROOF PENETRATIONS TO HAVE CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM MESH COVERING (NOTE: MAX. APERTURE OF 2.0mm)
- PROVIDE CMI FIRE EMBER RESISTANT E-VENT.
- ALL EXPOSED WATER & GAS SUPPLY PIPES TO BE METAL.
- PROVIDE BUSH FIRE EMBER SEAL KIT TO GARAGE DOORS
- FASCIA, GABLES & SPANDRELS - PROVIDE METAL E TYPE BARGE IN LIEU OF TIMBER BARGE.
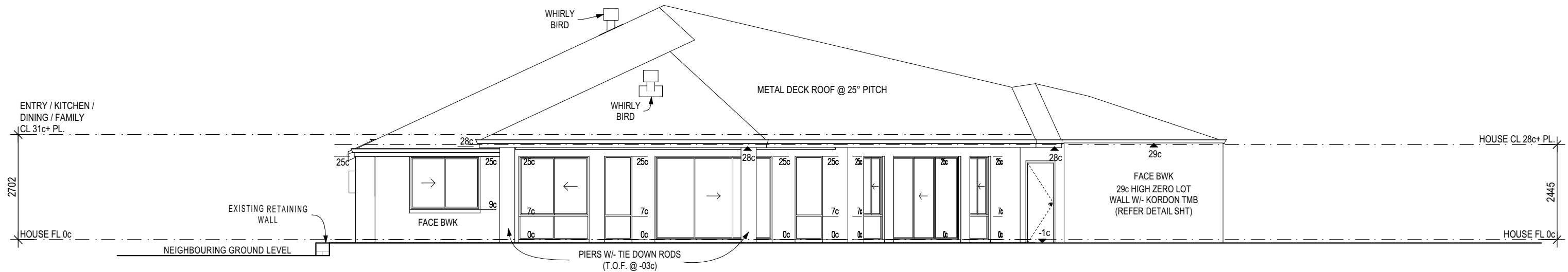- REFER ADDENDA FOR MORE INFO.

Floor plan rooms: ALFRESCO, KITCHEN, DINING, FAMILY, BED 4, WC, L'DRY, LIN, BATH, BED 3, OFFICE, WIP, SCUL, WC, ENS, WIR, GARAGE / STORE, BED 1, ENTRY, THEATRE, BED 2, PORCH, OFFICE

HOUSE NAME	ST TROPEZ DESIGNER PLUS 2c
ELEVATION	TRADITIONAL
DRAWING NAME	FLOOR PLAN (A2)
SHEET No.	2 OF 9
REVISION No.	C
JOB No.	15464H

VARIATIONS

Rev No.	Variation	Date Drn.	By
A	15464H_SITE	23/11/20	MN
B	15464H_VO1	25/11/20	GH
C	15464H_VO2-VO4	05/01/21	TR

AREAS:

House Area	199.41
Garage/St Area	47.57
Alfresco Area	23.92
Porch Area	1.26
	272.16 m²
House Perim.	65.63
Roof Area	292.79

OWNER (1) _____ DATE
OWNER (2) _____ DATE
BUILDER _____ DATE

CLIENT NAME: MOTHERSDALE & FOLEY
SITE ADDRESS: LOT 74 STRYBING STREET
LANDSDALE
SHIRE: CITY OF WANNEROO

ENGINEERS DETAILS TO ACCOMPANY PLANS

Drawn By: GH
Date Drawn: 25/11/20
Scale: 1:100
Checked:

PRINTED : 14/01/2021 | DATE SAVED : 13/01/2021 10:48 AM | BY : Tessa.Ryles | TO: H:\15400H\15464H - MOTHERSDALE & FOLEY\Drafting\Working Drawings Files\15464H - MOTHERSDALE AND FOLEY.pln

6,000

WHIRLY BIRD

BARGE & CAPPING WITH
HARDIES LINED GABLE BEHIND

METAL DECK ROOF @ 25° PITCH

ENTRY / KITCHEN /
DINING / FAMILY
CL 31c+ PL.

HARDIFLEX LINED
SPANDREL END

HOUSE CL 28c+ PL.

29c
28c

2445

PELMET

RENDER

AUTO-SECTIONAL DOOR

28c

25c
20c
5c

25c

25c
20c
5c

25c
20c
5c

28c

25c

RENDER TO FRONT
ELEVATION & RTN ONLY

2702

EXISTING RETAINING
WALL

HOUSE FL 0c

GRANO @ -1c

0c

CONTRASTING RENDERED
WALL PROJECTING 100mm

NEIGHBOURING GROUND LEVEL

HOUSE FL 0c

ELEVATION 1

WHIRLY
BIRD

WHIRLY
BIRD

METAL DECK ROOF @ 25° PITCH

ENTRY / KITCHEN /
DINING / FAMILY
CL 31c+ PL.

28c

HOUSE CL 28c+ PL.

25c

25c
7c
0c

25c
7c
0c

28c

25c

25c
7c
0c

25c

25c
7c
0c

25c
7c
0c

25c
7c
0c

28c

29c

2702

EXISTING RETAINING
WALL

9c

FACE BWK

FACE BWK
29c HIGH ZERO LOT
WALL W/- KORDON TMB
(REFER DETAIL SHT)

2445

HOUSE FL 0c

NEIGHBOURING GROUND LEVEL

PIERS W/- TIE DOWN RODS
(T.O.F. @ -03c)

-1c

HOUSE FL 0c

ELEVATION 2

11 DELAWNEY STREET
BALCATTA W.A. 6021

PHONE : (08) 6241 4555
FACSIMILE : (08) 6241 4455
www.homegroup.com.au

HOUSE NAME	ELEVATION	DRAWING NAME	SHEET No.	REVISION No.	JOB No.
ST TROPEZ DESIGNER PLUS 2c	TRADITIONAL	**ELEVATIONS 1**	3 OF 9	**C**	**15464H**

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

VARIATIONS

CLIENT NAME
MOTHERSDALE & FOLEY

Rev No.	Variation:	Date Drn:	By:
A	15464H_SITE	23/11/20	MN
B	15464H_VO1	25/11/20	GH
C	15464H_VO2-VO4	05/01/21	TR

SITE ADDRESS
LOT 74 STRYBING STREET
LANDSDALE

OWNER (1) .... DATE ....

SHIRE
CITY OF WANNEROO

OWNER (2) .... DATE ....

Drawn By	Date Drawn.	Scale.	Checked.
GH	25/11/20	1:100	

BUILDER .... DATE ....

PRINTED : 14/01/2021 | DATE SAVED : 13/01/2021 10:48 AM | BY : Tessa.Ryles | TO: H:\15400H\15464H - MOTHERSDALE & FOLEY\Drafting\Working Drawings Files\15464H - MOTHERSDALE AND FOLEY.pln

NOTE: PROVIDE TOUGHENED
GLASS TO ALL WINDOWS (5mm)
& SLIDING/HINGED ALUMINIUM DOORS
(6mm). TO BE READ IN CONJUNCTION
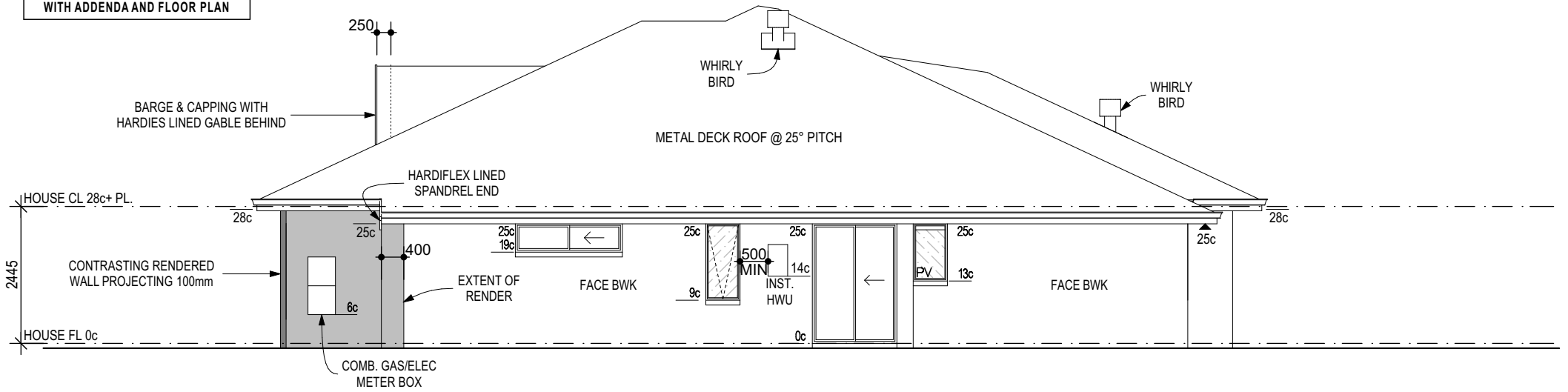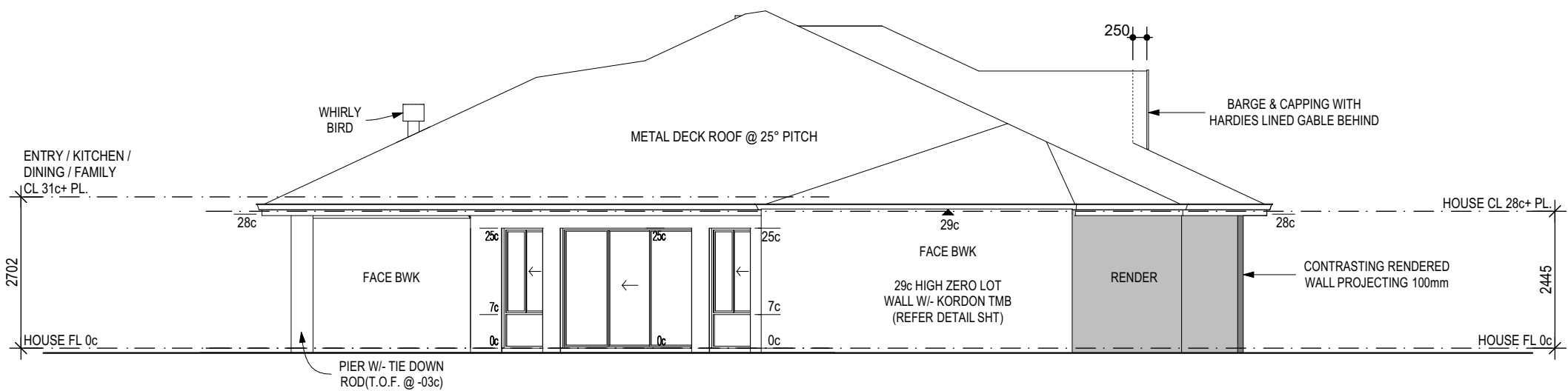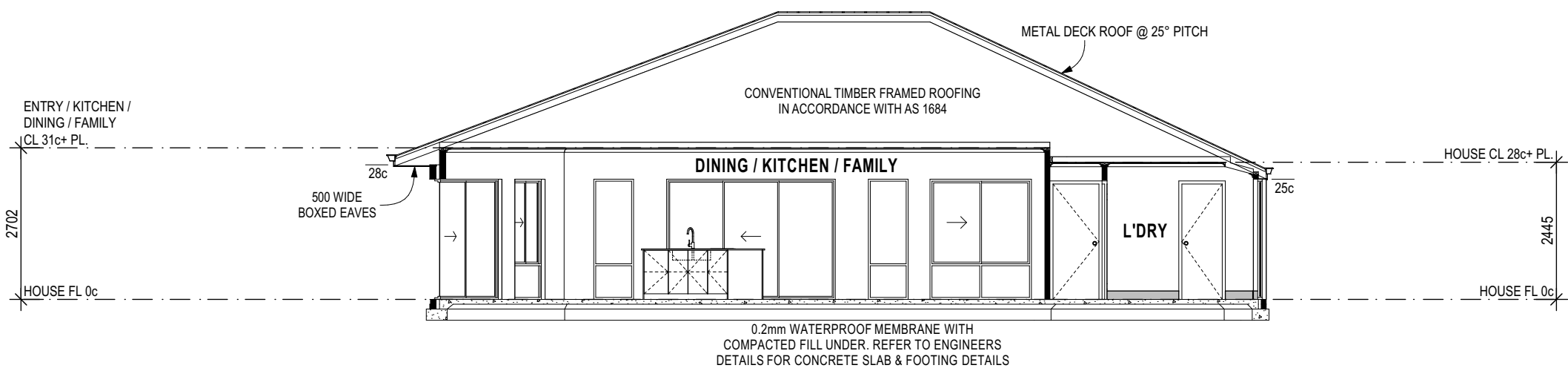WITH ADDENDA AND FLOOR PLAN

ELEVATION 3

250

BARGE & CAPPING WITH
HARDIES LINED GABLE BEHIND

WHIRLY
BIRD

WHIRLY
BIRD

METAL DECK ROOF @ 25° PITCH

HARDIFLEX LINED
SPANDREL END

HOUSE CL 28c+ PL.

28c

25c

400

25c
19c

25c

25c

25c

25c

28c

25c

2445

CONTRASTING RENDERED
WALL PROJECTING 100mm

EXTENT OF
RENDER

FACE BWK

500
MIN

14c

PV

13c

FACE BWK

HOUSE FL 0c

6c

9c

INST.
HWU

0c

COMB. GAS/ELEC
METER BOX

ELEVATION 4

250

WHIRLY
BIRD

METAL DECK ROOF @ 25° PITCH

BARGE & CAPPING WITH
HARDIES LINED GABLE BEHIND

ENTRY / KITCHEN /
DINING / FAMILY
CL 31c+ PL.

28c

29c

HOUSE CL 28c+ PL.

28c

2702

FACE BWK

25c

25c

25c

FACE BWK

RENDER

CONTRASTING RENDERED
WALL PROJECTING 100mm

2445

7c

29c HIGH ZERO LOT
WALL W/- KORDON TMB
(REFER DETAIL SHT)

7c

HOUSE FL 0c

0c

0c

0c

HOUSE FL 0c

PIER W/- TIE DOWN
ROD(T.O.F. @ -03c)

SECTION A - A

METAL DECK ROOF @ 25° PITCH

CONVENTIONAL TIMBER FRAMED ROOFING
IN ACCORDANCE WITH AS 1684

ENTRY / KITCHEN /
DINING / FAMILY
CL 31c+ PL.

28c

HOUSE CL 28c+ PL.

25c

2702

500 WIDE
BOXED EAVES

DINING / KITCHEN / FAMILY

L'DRY

2445

HOUSE FL 0c

HOUSE FL 0c

0.2mm WATERPROOF MEMBRANE WITH
COMPACTED FILL UNDER. REFER TO ENGINEERS
DETAILS FOR CONCRETE SLAB & FOOTING DETAILS

HomeGroup

11 DELAWNEY STREET
BALCATTA W.A. 6021

PHONE : (08) 6241 4555
FACSIMILE : (08) 6241 4455
www.homegroup.com.au

HOUSE NAME	ELEVATION	DRAWING NAME	SHEET No.	REVISION No.	JOB No.
ST TROPEZ DESIGNER PLUS 2c	TRADITIONAL	ELEVATIONS 2	4 OF 9	C	15464H

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

VARIATIONS

Rev No.	Variation:	Date Drn:	By:
A	15464H_SITE	23/11/20	MN
B	15464H_VO1	25/11/20	GH
C	15464H_VO2-VO4	05/01/21	TR

CLIENT NAME
MOTHERSDALE & FOLEY

SITE ADDRESS
LOT 74 STRYBING STREET
LANDSDALE

SHIRE
CITY OF WANNEROO

OWNER (1)   DATE

OWNER (2)   DATE

BUILDER   DATE

Drawn By	Date Drawn.	Scale.	Checked.
GH	25/11/20	1:100	

PRINTED : 14/01/2021 | DATE SAVED : 13/01/2021 10:48 AM | BY : Tessa.Ryles | TO: H:\15400H\15464H - MOTHERSDALE & FOLEY\Drafting\Working Drawings Files\15464H - MOTHERSDALE AND FOLEY.pln