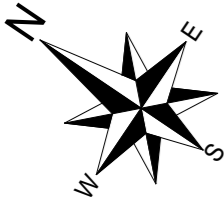


LOT 801



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Latitude -31°40'11.057"
Longitude 115°41'40.497"

ZONING	R40
DAP	NO
STRUCTURE PLAN	NO
BLOCK AREA	400m ²

LEGEND
TOF - TOP OF FOOTING
TOW - TOP OF WALL
TBA - TO BE ADVISED

NOTES:

TERMITE TREATMENT WILL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2016 PART 3.1.3, PART 2.1.1, AND PART 1.0.7 USING THE TERMICO TERMITE MANAGEMENT SYSTEM

CLIENT NOTE: REPAIRS / REINSTATEMENT TO DAMAGED KERBS AND / OR FOOTPATHS WHERE NECESSARY IS THE RESPONSIBILITY OF THE OWNER

CLIENT NOTE: BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

CLIENT NOTE: STORMWATER DISPOSAL SHALL BE IN ACCORDANCE WITH THE COUNCIL APPROVED PLANS & CONDITIONS OF APPROVAL AND ANY SPECIFIED STRUCTURAL ENGINEER'S REQUIREMENTS (REFER TO ADDENDA)

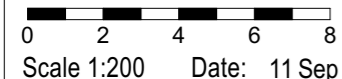
NOTE: SOME BUILDING MATERIALS WILL BE PLACED IN THE VERGE RESERVE DURING THE COURSE OF CONSTRUCTION

NOTE: (IF APPLICABLE) PLASTIC GRATES TO THE BASE OF THE DOWNPIPES WITH STORMWATER PIPING TO RUN CLEAR OF ANY PAVED / CONCRETE AREAS

CLIENT NOTE: BUILDER RECOMMENDS FOR CLIENT TO CONTACT THE ADJOINING LAND OWNER TO DISCUSS THEIR PROPOSED SITE LEVELS AS RETAINING MAY BE MINIMISED AND / OR ELIMINATED

CLIENT NOTE: REMOVAL AND RE-INSTATEMENT OF FENCING AS NECESSARY BY LAND OWNER/S TO BUILDERS SCHEDULE IN ACCORDANCE WITH THE BUILDING ACT (2011) OWNER TO LIAISE & GAIN PERMISSION FROM ADJOINING LAND OWNER/S ACCORDINGLY AND GIVE 24 HOURS NOTICE PRIOR TO THE REMOVAL / RE-INSTATEMENT OF FENCING

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Scale 1:200



Date: 11 Sep 20

INDICATES SET-OUT PEGS BY LICENCED SURVEYOR

BEWARE:
Deep sewer junction. Check With Water Corp BUILDER and PLUMBER check GRADE. Sewer Junction Inv: 7.9 Depth: 2.2 NOTE: UP

APPROX LOCATION OF NEW PROPOSED WATER METER INSTALLED BY WATERCORP LOCATED WITHIN A TRAFFICABLE BOX

PAVED CROSSOVER TO COUNCIL SPECIFICATIONS (WINGS 1M WIDE x 1.5M DEEP)
NOTE: SEMI-MOUNTABLE KERB TO BE MADE MOUNTABLE WHERE THE CROSSOVER MEETS THE KERB

STORMWATER DISPOSAL
SOAK WELLS SIZES
A = 1.5m DIA x 0.9m DEEP
B = 1.5m DIA x 1.2m DEEP

REFER TO SITE 1B REGARDING NEW PROPOSED RETAINING HEIGHT & DIMENSIONS

CLIENT NOTE:
OWNER TO PROVIDE VISUALLY PERMEABLE FENCING TO DASHED AREA AFTER HANDOVER TO SHIRE REQUIREMENT (SEPERATE APPROVAL MAY BE REQUIRED)

MAINTAIN 1.0m CLEARANCE TO LOW VOLTAGE POWERLINES AT ALL TIMES

MAINTAIN 3.0m CLEARANCE TO HIGH VOLTAGE POWERLINES AT ALL TIMES

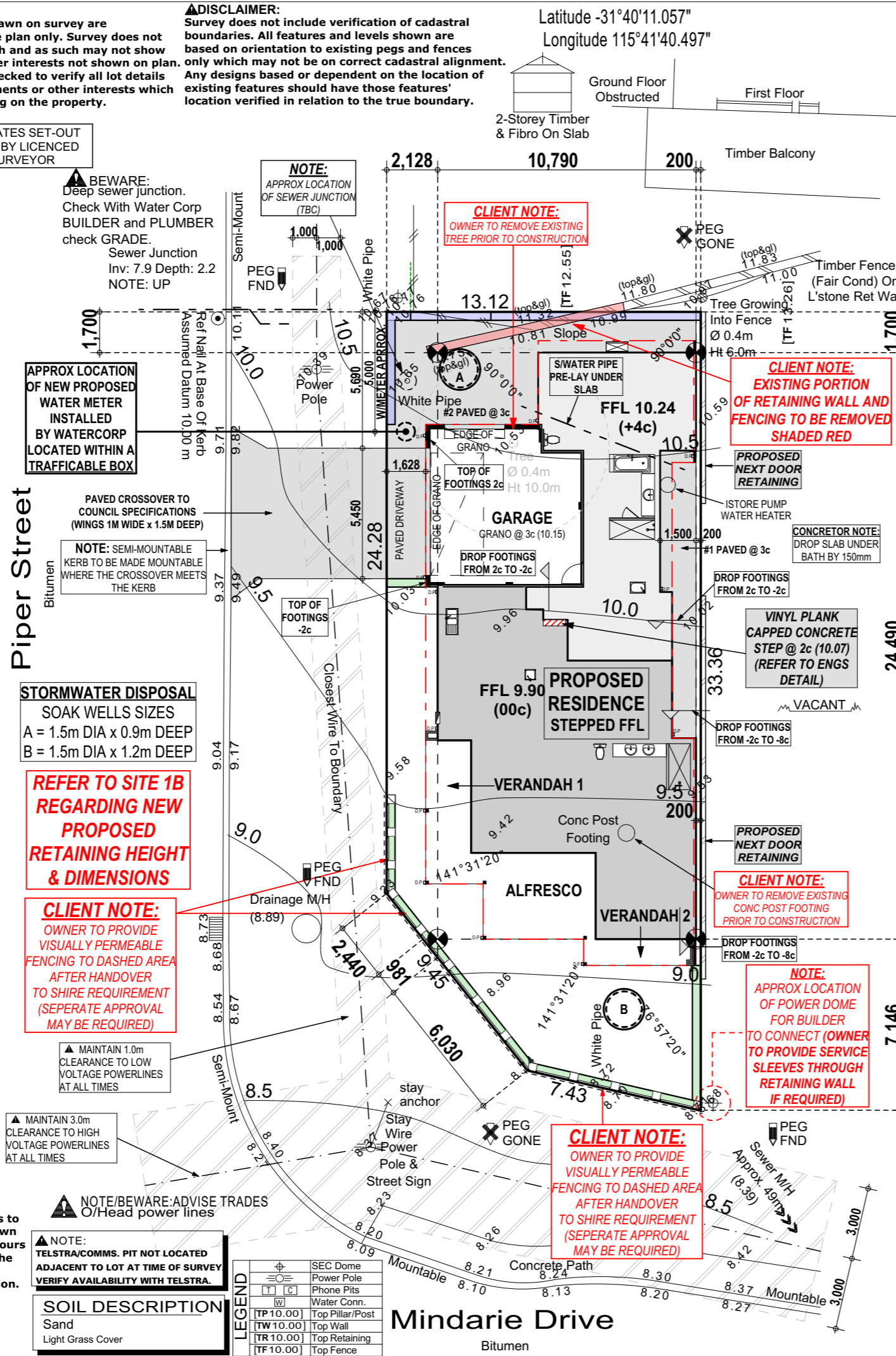
NOTE/BEWARE: ADVISE TRADES O/Head power lines

NOTE: TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY VERIFY AVAILABILITY WITH TELSTRA.

SOIL DESCRIPTION
Sand
Light Grass Cover

LEGEND

SEC Dome	Power Pole
Phone Pits	Water Conn.
Top Pillar/Post	Top Wall
Top Retaining	Top Fence



CLIENT NOTE:
OWNER TO REMOVE EXISTING TREE PRIOR TO CONSTRUCTION

CLIENT NOTE:
EXISTING PORTION OF RETAINING WALL AND FENCING TO BE REMOVED SHADED RED

CONCRETOR NOTE:
DROP SLAB UNDER BATH BY 150mm

CLIENT NOTE:
OWNER TO REMOVE EXISTING CONC POST FOOTING PRIOR TO CONSTRUCTION

NOTE:
APPROX LOCATION OF POWER DOME FOR BUILDER TO CONNECT (OWNER TO PROVIDE SERVICE SLEEVES THROUGH RETAINING WALL IF REQUIRED)

CLIENT NOTE:
OWNER TO PROVIDE VISUALLY PERMEABLE FENCING TO DASHED AREA AFTER HANDOVER TO SHIRE REQUIREMENT (SEPERATE APPROVAL MAY BE REQUIRED)



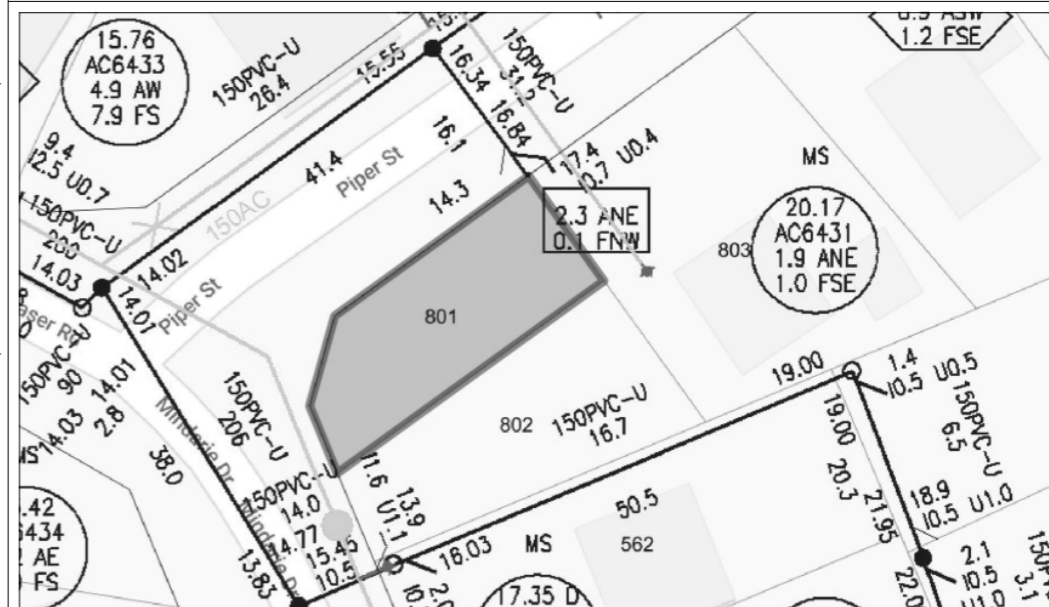
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HIGH VOLTAGE OVERHEAD POWER LINE NOTES:
- NO ALLOWANCE HAS BEEN MADE FOR DE-ENERGISATION OF WESTERN POWER OVERHEAD POWER LINES. IF A SAFE WORKING ZONE CANNOT BE MAINTAINED DURING CONSTRUCTION ANY ASSOCIATED COSTS WILL BE PASSED ON TO THE CLIENT.
- WHERE REQUIRED CONCRETE PUMP TO BE A LINE PUMP (NO OVERHEAD PUMP)

Grano / Paving Areas

	AREA	Perimeter
GARAGE	42.52	26.76
#2 PAVED @ 3c	38.52	36.90
PAVED CROSSOVER	36.56	26.15
#1 PAVED @ 3c	14.97	27.02
PAVED DRIVEWAY	9.88	14.54

Elect	U/Ground / O/Head	Water	Yes	Sewer	Yes
Gas	Yes	Phone	Not Loc.	Footpath	Concrete
Road	Bitumen	Kerb	Mountable / Semi-Mount	Drainage	Good

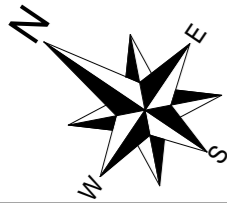


CLIENT: Knight
CONTRACT / JOB NO: D03122
MAP REF: 189 06/30
SHEET No: 1A of 8
PROJECT No: D03122
DRAWN: SL DATE: DEC'20
SCALE: 1:200 CHK: JR
SHEET No: 1A of 8
1A SITE PLAN
VARIATION DATE DRAWN REV # CHK
A JR
These are the plans referred to in the Building Contract
CLIENT: _____
CLIENT: _____
BUILDER: _____
DATE: _____
No further structural changes
© COPYRIGHT

COASTAL YES
(Scaled from StreetSmart Directory Only - Confirm With Shire)
OLD AREA
Suburb: Quinns Rocks
Loc. Auth: CITY OF WANNEROO
D. Plan 411474 Volume 2975 Folio 306
Location: Check Title

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING. CONTRACT PLANS. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

LOT 801



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Latitude -31°40'11.057"
Longitude 115°41'40.497"

ZONING	R40
DAP	NO
STRUCTURE PLAN	NO
BLOCK AREA	400m ²
LEGEND	
TOF - TOP OF FOOTING	
TOW - TOP OF WALL	
TBA - TO BE ADVISED	

NOTES:
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Scale 1:200

Scale 1:200 Date: 11 Sep 20

BEWARE:
Deep sewer junction.
Check With Water Corp BUILDER and PLUMBER check GRADE.
Sewer Junction Inv: 7.9 Depth: 2.2
NOTE: UP

NOTE:
PROPOSED RETAINING WALLS BY OWNER TO BUILDERS SCHEDULE (SEPERATE PERMIT APPLICATION REQUIRED)

LIMESTONE RETAINING WALL CONSTRUCTED TO BUILDER SCHEDULE
T.O.W 10.30
B.O.W 9.80

CLIENT NOTE: EXTRA LANDSCAPING HIGHLIGHT TO THE ENTRANCE TO DWELLING BY OWNER AS REQUIRED BY COUNCIL

CLIENT NOTE: APPROX LOCATION OF ADDITIONAL PAVING BY OWNER AFTER HANDOVER

LIMESTONE RETAINING WALL / FENCING CONSTRUCTED TO BUILDER SCHEDULE
T.O.W 11.60
B.O.W 9.20

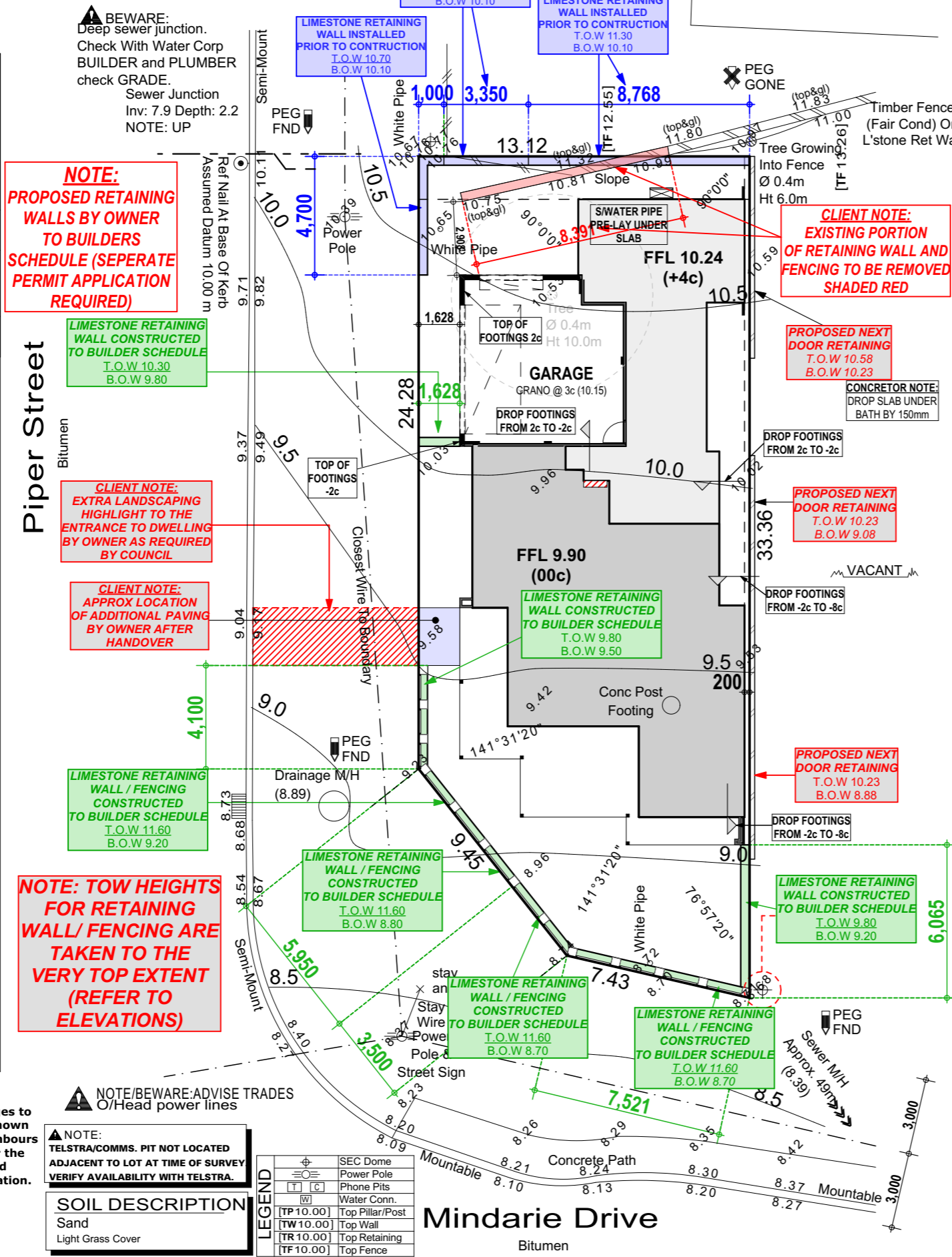
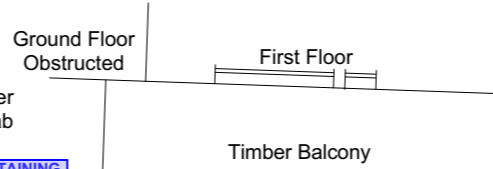
NOTE: TOW HEIGHTS FOR RETAINING WALL / FENCING ARE TAKEN TO THE VERY TOP EXTENT (REFER TO ELEVATIONS)

NOTE/BEWARE: ADVISE TRADES O/Head power lines

NOTE:
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY VERIFY AVAILABILITY WITH TELSTRA.

SOIL DESCRIPTION
Sand
Light Grass Cover

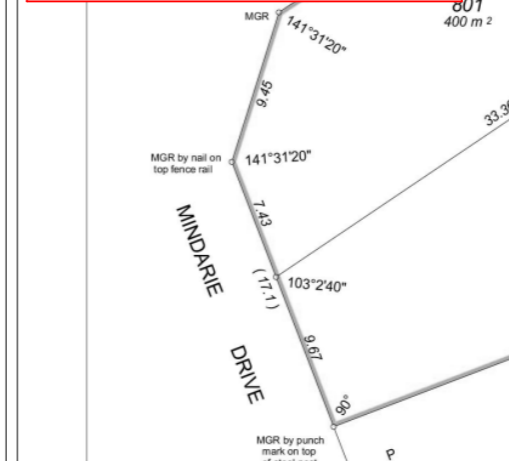
SEC Dome	Phone Pits
Water Conn.	Top Pillar/Post
Top Wall	Top Retaining
Top Fence	



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CLIENT: Knight
CONTRACT / JOB NO: D03122
MAP REF: 189 06/30
SHEET No: COASTAL YES
SITING SURVEY: LOT 801
Suburb: Quinns Rocks
Loc.Auth: CITY OF WANNEROO
D.Plan: 411474 Volume 2975 Folio 306
Location: Check Title

CLIENT NOTE:
BUILDER RECOMMENDS FOR CLIENT TO CONTACT ADJOINING NEIGHBOUR TO DISCUSS PROPOSED LEVELS AS RETAINING MAY BE ABLE TO BE MINIMISED AND / OR ELIMINATED TO SOME AREAS



PROJECT No: D03122 SHEET No: 1B of 8
1B RETAINING WALL PLAN
DRAWN: SL DATE: DEC'20
SCALE: 1:200 CHK: JR

VARIATION	DATE	DRAWN	REV #	CHK
			A	JR

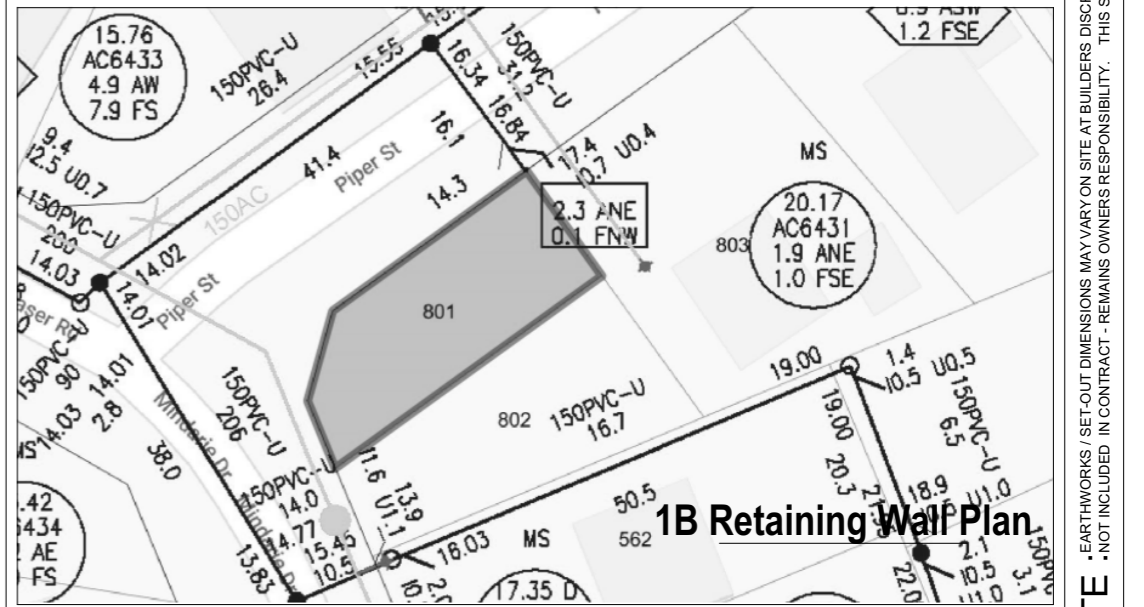
These are the plans referred to in the Building Contract

CLIENT: _____
CLIENT: _____
BUILDER: _____
DATE: _____

No further structural changes

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Elect U/Ground / O/Head	Water	Yes	Sewer	Yes	
Gas	Yes	Phone	Not Loc.	Footpath	Concrete
Road	Bitumen	Kerb	Mountable / Semi-Mount	Drainage	Good



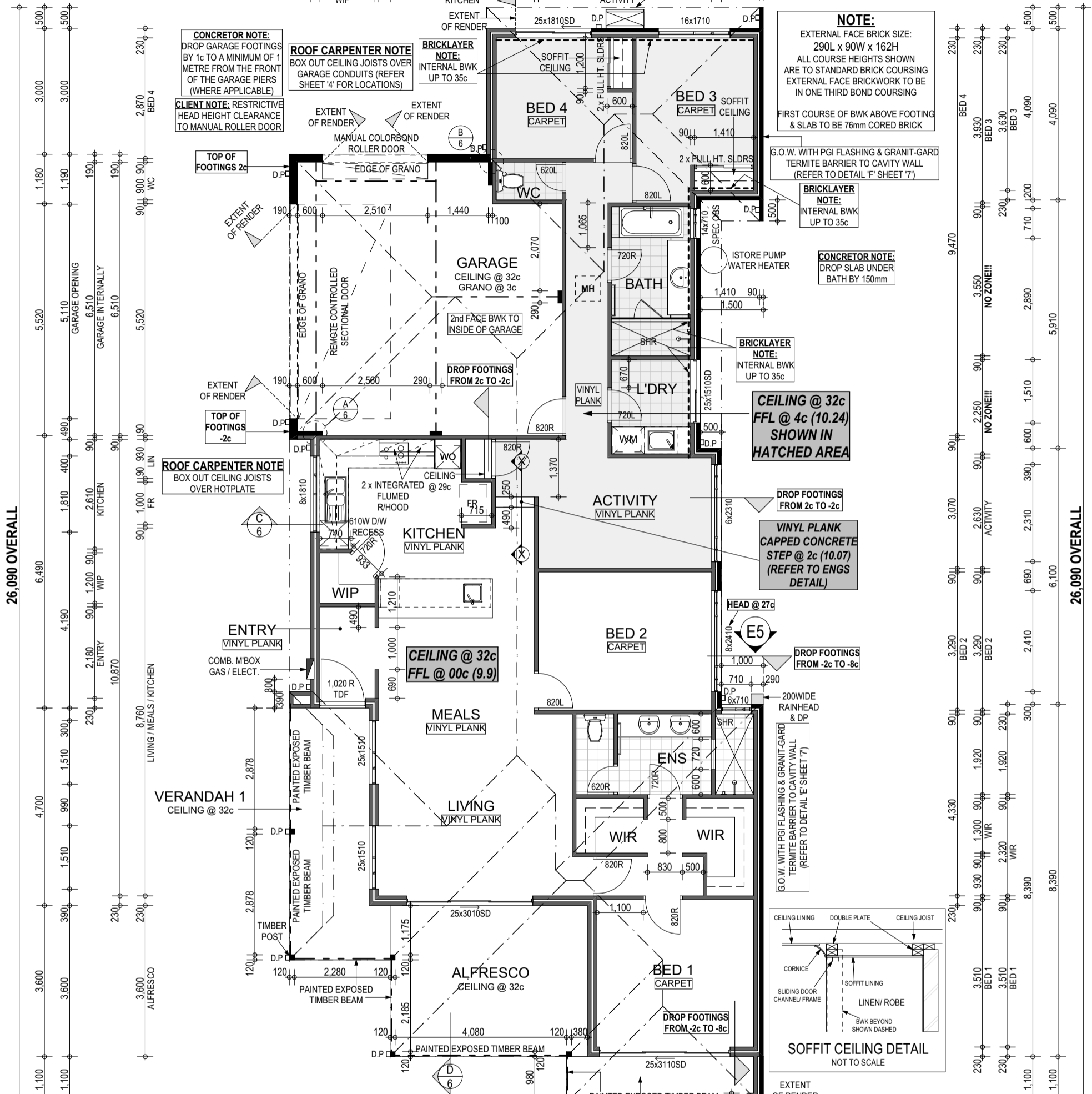
NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING WALLS / FENCING / CONCRETE / DRIVEWAYS / ETC. NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

NOTES:

- COLORBOND ROOF @ 24°43 PITCH
- COASTAL ZONE 2 (200-1000m)
- N2 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 32c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: DOUBLE ANGLES & BWK OVER ALL WINDOWS, DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- EUROPEAN HOUSE BORER - ALL ROOF & CEILING TIMBER TO BE H2 TREATED
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

COASTAL CONDITIONS - ZONE 2

- (200m to 1000m to Coastline)
- NI TIES TO CAVITY BRICKWORK
 - STAINLESS STEEL WIRE TIES TO INTERNAL BRICKWORK
 - COASTAL MORTAR MIX TO FACE BRICKWORK (NOTE: ONLY CONCAVE MORTAR JOINTS PERMITTED)
 - TREATED LINTELS, STEEL BEAMS & COLUMNS
 - RED OXIDE / DIMET TREATMENT TO INTERNAL STEEL BEAMS



CONCRETOR NOTE:
DROP GARAGE FOOTINGS BY 1c TO A MINIMUM OF 1 METRE FROM THE FRONT OF THE GARAGE PIERS (WHERE APPLICABLE)

ROOF CARPENTER NOTE:
BOX OUT CEILING JOISTS OVER GARAGE CONDUITS (REFER SHEET 4' FOR LOCATIONS)

BRICKLAYER NOTE:
INTERNAL BWK UP TO 35c

NOTE:
EXTERNAL FACE BRICK SIZE: 290L x 90W x 162H
ALL COURSE HEIGHTS SHOWN ARE TO STANDARD BRICK COURSING
EXTERNAL FACE BRICKWORK TO BE IN ONE THIRD BOND COURSING
FIRST COURSE OF BWK ABOVE FOOTING & SLAB TO BE 76mm CORED BRICK

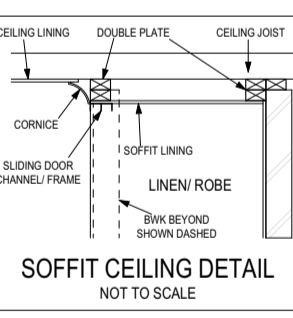
BRICKLAYER NOTE:
INTERNAL BWK UP TO 35c

CONCRETOR NOTE:
DROP SLAB UNDER BATH BY 150mm

CEILING @ 32c FFL @ 4c (10.24) SHOWN IN HATCHED AREA

VINYL PLANK CAPPED CONCRETE STEP @ 2c (10.07) (REFER TO ENGS DETAIL)

CEILING @ 32c FFL @ 00c (9.9)



8 OUTLET REVERSE CYCLE AIR CONDITIONING SYSTEM. REFER TO ELECTRICAL PLAN FOR OUTLET & UNIT POSITIONS

CARPENTER FIXING NOTES:

- 450D SHELVE & RAIL @ 1700AFL TO ANY ROBES & WIR'S (U.N.O.)
- 4x450D SHELVES @ 400CTRS TO ANY LINEN & WIL. BOTTOM SHELF @ 500AFL (U.N.O.)

- GENERAL NOTES:**
- REFER TO ENERGY EFFICIENCY SHEETS FOR LIGHT/ VENT REQUIREMENTS
 - CORNER PLASTER BEADS TO 45° CORNERS ONLY UNLESS OTHERWISE NOTED ON PLAN
 - REMOTE CONTROL SECTIONAL DOOR TO GARAGE (REFER TO ADDENDA)
 - LIFT OFF HINGES TO ENSUITE & WC DOOR
 - REFER TO ADDENDA FOR BENCHTOP MATERIAL & FINISH
 - CABINET MAKER TO CONFIRM VENTING REQUIREMENTS FOR ALL BUILT IN APPLIANCES (REFER TO ADDENDA)
- PLUMBING NOTES:**
- NO FLUE PIPES TO FRONT ELEVATION ROOF
 - DOWNPIPES TO ROOF SHALL BE AT CENTRES TO ROOF PLUMBERS DISCRETION
 - REFER TO ADDENDA FOR MAKE & MODEL OF ALL FIXTURES & FITTINGS
 - COLD PLUMBING ONLY TO DISHWASHER RECESS
 - EXTRA GUTTER OVERFLOW PROVISIONS MAY BE REQUIRED IN ACCORDANCE WITH NCC INSTALLED AT THE PLUMBERS DISCRETION
- ROOF NOTES:**
- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
 - ROOF COVER INSTALLED TO MANUFACTURERS SPECIFICATIONS
 - TRIPLE GRIP CONNECTORS TO RAFTER-PITCHING BEAMS CONNECTIONS
 - COLLAR TIES TO UNDERSIDE OF RIDGE
 - ALL ROOF AND CEILING TIMBER TO BE H2 TREATED

MAP REF	LATITUDE	LONGITUDE
189- 06/30	31o40'11.057"	115o41'140.439"
VARIATIONS		
These are the plans referred to in the Building Contract		
No.	DATE	DRAWN REV
		A
CLIENT:		
CLIENT:		
BUILDER:		
DATE:		
No further structural changes		
© COPYRIGHT		

DreamStart HOMES	HOUSE AREAS	CLIENT:
ACN 055 245 308 - R.B - 8867 Level 3, 302 Selby Street Osborne Park W.A. 6017 P.O Box 1522 Osborne Park W.A. 6916 PH (08) 6314 3444 FAX (08) 6314 3499	HOUSE AREA 168.13 GARAGE 41.61 VER./ALF 34.16 243.90 m² PERIMETER 77.16m	KNIGHT ADDRESS: LOT 801 (#107) MINDARIE DRIVE QUINNS ROCK CITY OF WANNEROO

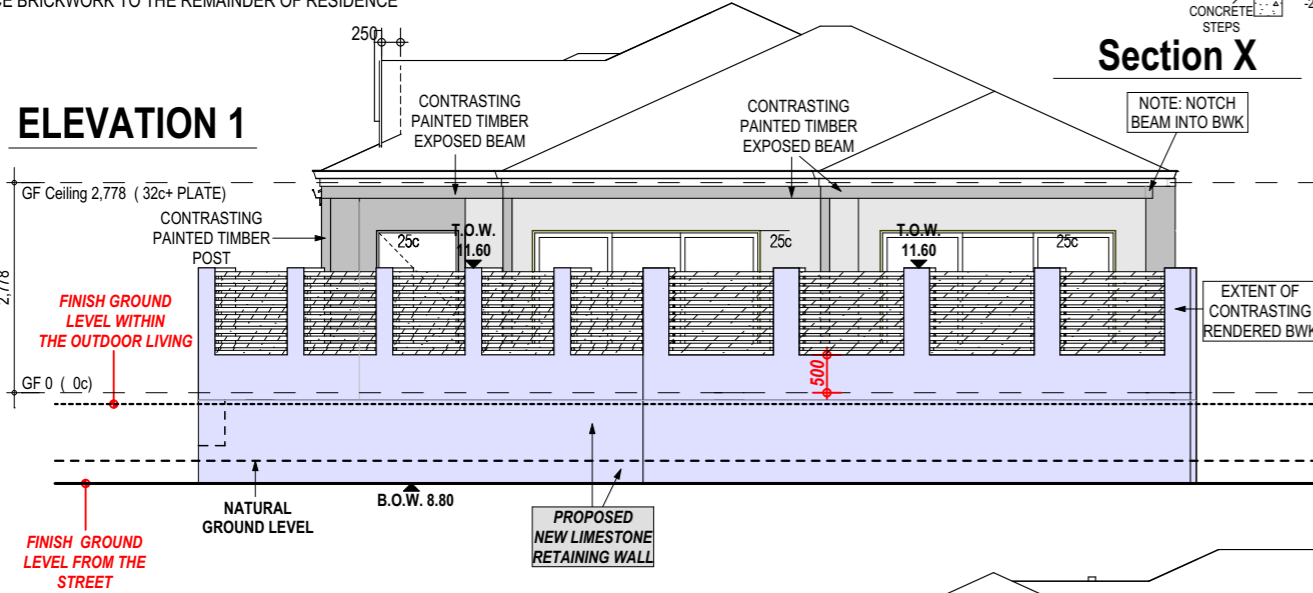
PROJECT No.	'INDIVIDUAL' SPECIFICATION
D03122	
SHEET No.	FLOOR PLAN
2 of 7	
DRAWN: SL	DATE: DEC'20
SCALE: 1:100	CHK: JR

- BWK NOTES:**
- FACE BWK TO INSIDE OF GARAGE TO BE 2nd FACE WITH CONCAVE JOINT
 - DIMENSION TO BWK ONLY-PLASTER MARGIN NOT ALLOWED FOR
 - HOLDING DOWN RODS TO BRICK PIERS WITH BEAM ABOVE
 - HOLDING DOWN STRAPS TO PIERS WITHOUT BEAM ABOVE
 - HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
 - FLASHING REQUIRED TO BRICKWORK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & WHERE 4c OR MORE OF BRICKWORK ABOVE WINDOWS AND SLIDING DOORS WITH AN EAVE

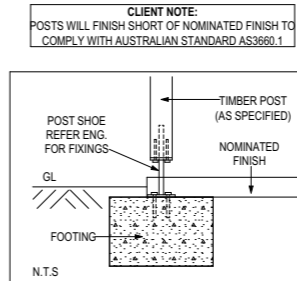
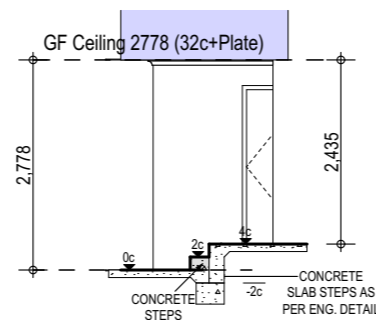
NOTES:

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- COASTAL ZONE 2 (200-1000m)
- N2 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 32c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: DOUBLE ANGLES & BWK OVER ALL WINDOWS, DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- EUROPEAN HOUSE BORER - ALL ROOF & CEILING TIMBER TO BE H2 TREATED
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

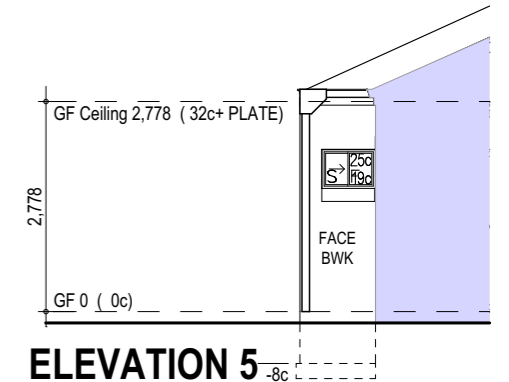
ELEVATION 1



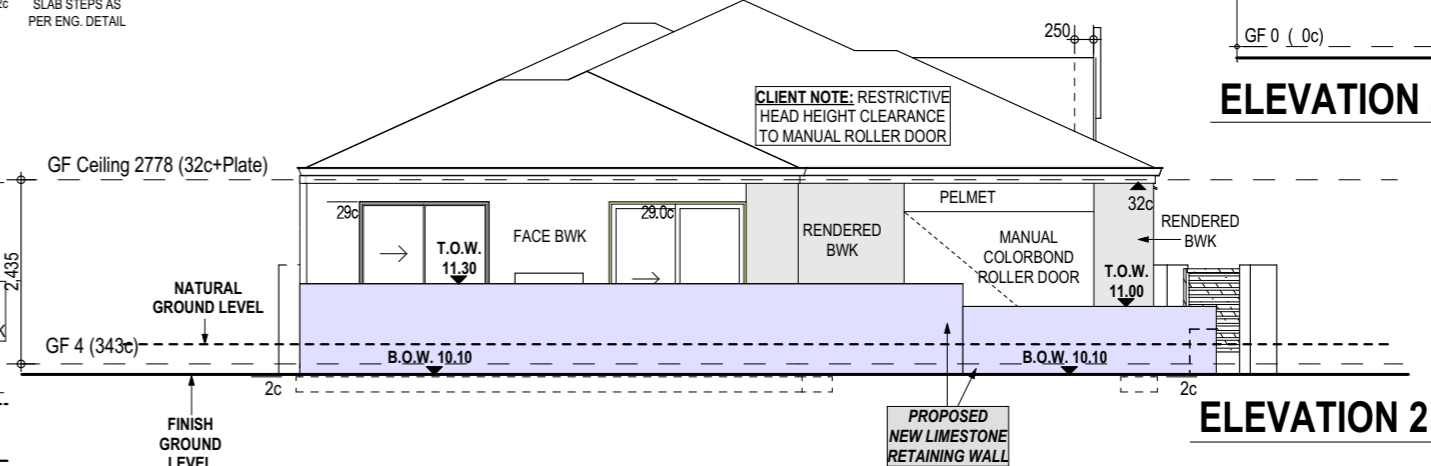
Section X



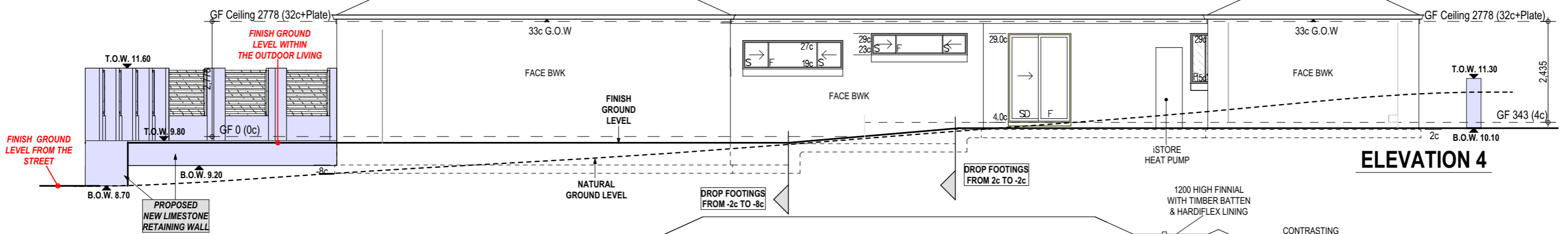
ALCOR FLASHING
FLASHING REQUIRED TO BRICKWORK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & WHERE 4c OR MORE OF BRICKWORK ABOVE WINDOWS AND SLIDING DOORS WITH AN EAVE



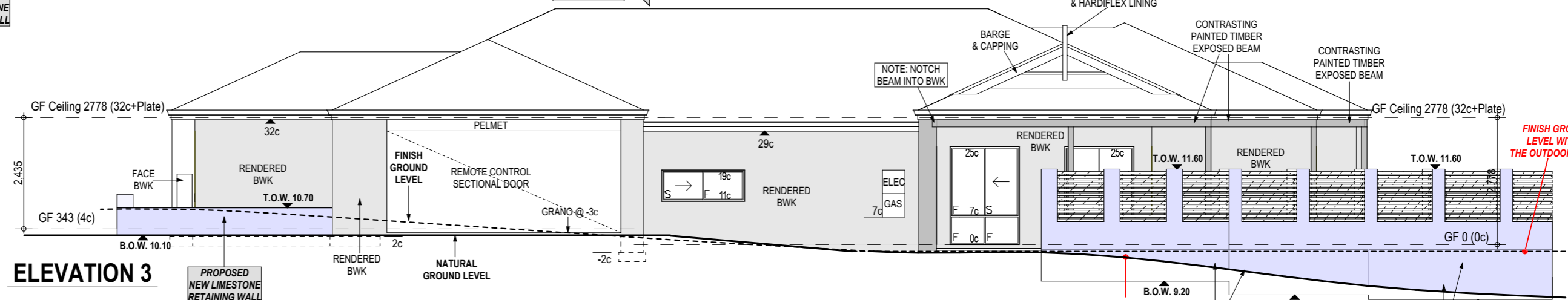
ELEVATION 5



ELEVATION 2



ELEVATION 4



ELEVATION 3

MAP REF	LATITUDE	LONGITUDE
189- 06/30	31o40'11.057"	115o41'40.439"
VARIATIONS		
No.	DATE	DRAWN REV
		A
CLIENT:		
CLIENT:		
BUILDER:		
DATE:		
No further structural changes		
© COPYRIGHT		

DreamStart HOMES	HOUSE AREAS	CLIENT:	PROJECT No.	'INDIVIDUAL' SPECIFICATION
	HOUSE AREA	KNIGHT	D03122	
	GARAGE	ADDRESS:	SHEET No.	ELEVATIONS
	VER./ALF	LOT 801 (#107) MINDARIE DRIVE	3 of 7	
	243.90 m²	QUINNS ROCK		
PERIMETER	CITY OF WANNEROO	DRAWN: SL	DATE: DEC'20	
77.16m		SCALE: 1:100	CHK: JR	

SSB PTY LTD RESERVES THE RIGHT TO VARY DIMENSIONS AND MATERIALS FROM THOSE ON DISPLAY. PLEASE CHECK PLANS, SPECIFICATIONS AND ADDENDA CAREFULLY. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING.
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