



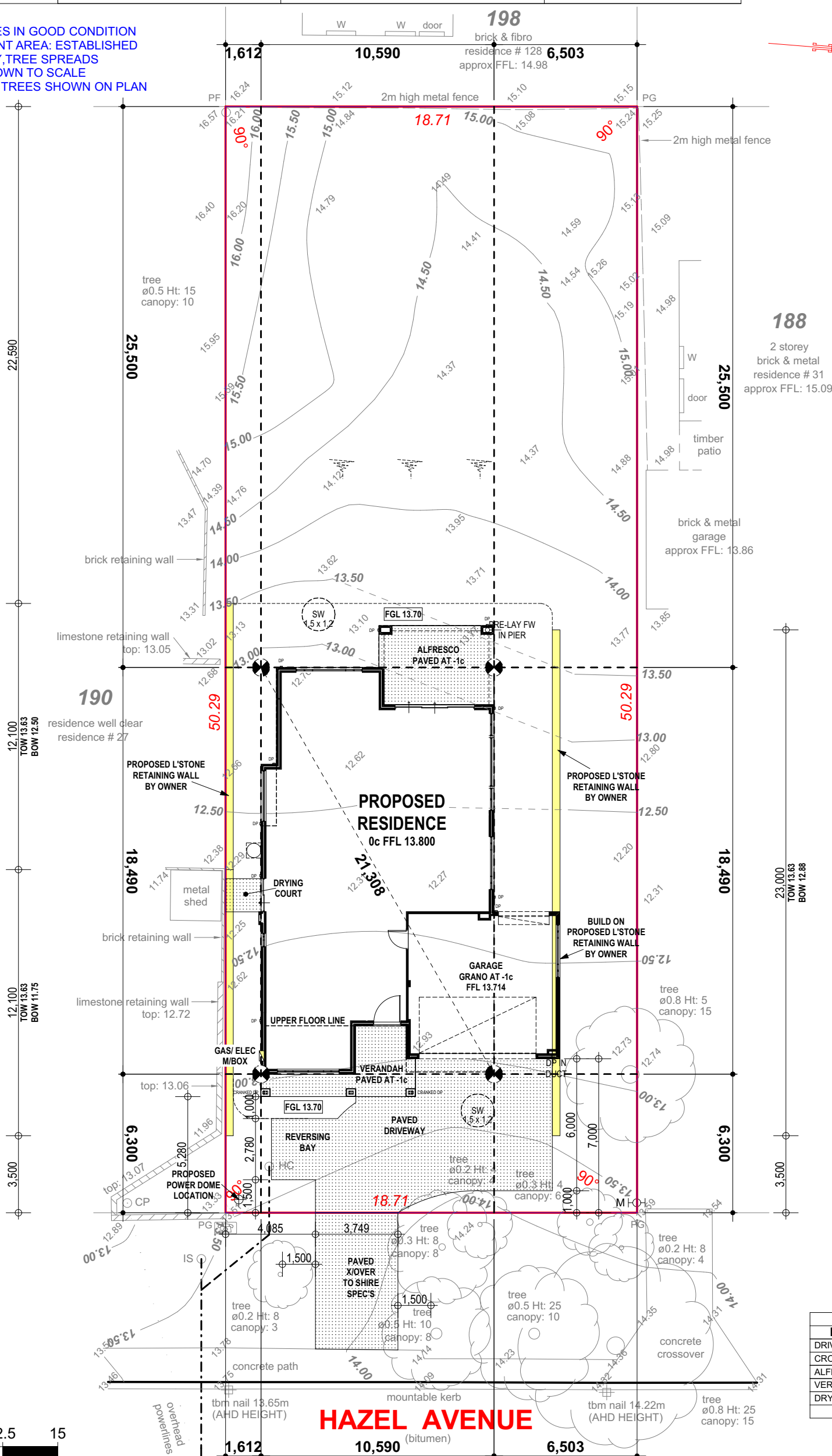
DWG# 4244001

SEWER INFORMATION: YES

**BAL TBC  
REPORT REQUIRED**

NOTES

- (1) ALL FEATURES IN GOOD CONDITION
- (2) DEVELOPMENT AREA: ESTABLISHED
- (3) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE
- (4) ONLY LARGE TREES SHOWN ON PLAN

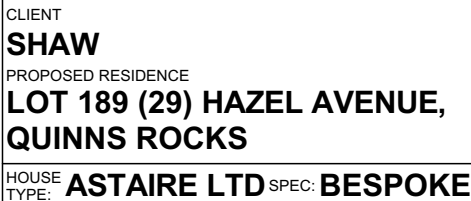


| PAVING AREAS |                             |
|--------------|-----------------------------|
| Paving       | Area                        |
| DRIVEWAY     | 66.94                       |
| CROSSOVER    | 23.30                       |
| ALFRESCO     | 17.96                       |
| VERANDAH     | 12.54                       |
| DRYING COURT | 2.43                        |
|              | <b>123.17 m<sup>2</sup></b> |

## SITE PLAN

## IMPORTANT FEATURE SURVEY NOTES

1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.  
2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.  
3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.  
4. All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



|          |                   |
|----------|-------------------|
| 27/11/20 | PLANNING ALEX     |
| 09/12/20 | FINANCE AGM       |
| 11/12/20 | FINANCE AMDTS AGM |
| 13/01/21 | VO42752 AGM       |
| 27/01/21 | VO43013 AGM       |

**Dimensions take preference over scaling & to be checked on site prior to commencing construction**

(C) 2020

SHEET: **1 of 6**

- DIMENSIONS RELATE TO BRICKWORK SETOUT ONLY.  
NO ALLOWANCE IS MADE FOR PLASTER OR WALL FINISH  
WHERE THESE APPLY. INCLUDE SUCH ALLOWANCES  
FOR CLEARANCE REQUIRED FOR FUTURE FITTINGS  
- FIXTURES ARE DIAGRAMMATIC, SIZE MAY VARY  
DUE TO MANUFACTURERS SPECIFICATIONS.  
- REFER TO ADDENDA FOR OWNER SUPPLIED  
AND/OR INSTALLED ITEMS

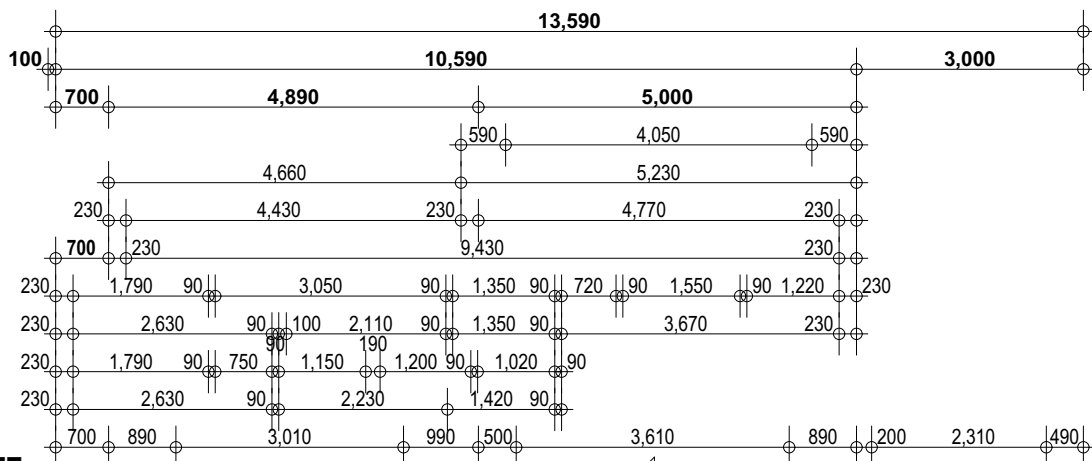
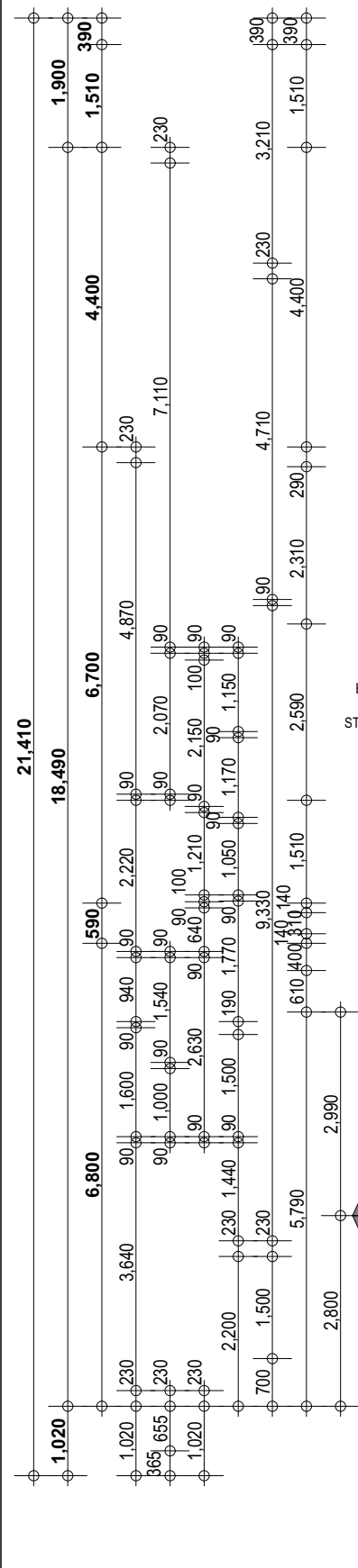
-SET-BACK SLAB 100 FROM FRONT OF  
BALCONY PIER SO BKWK CAN RUN THROUGH

-TOP OF ISOLATED PIER FOOTINGS AT -3c

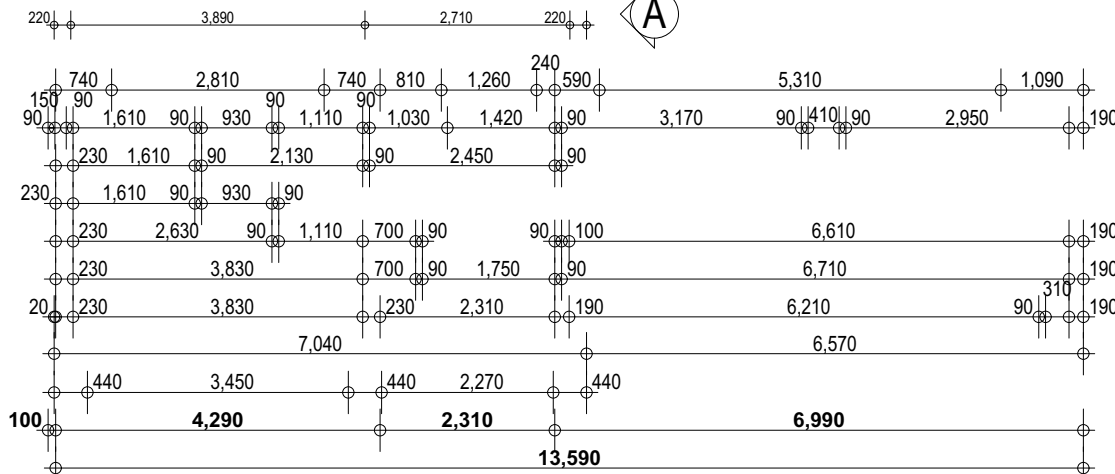
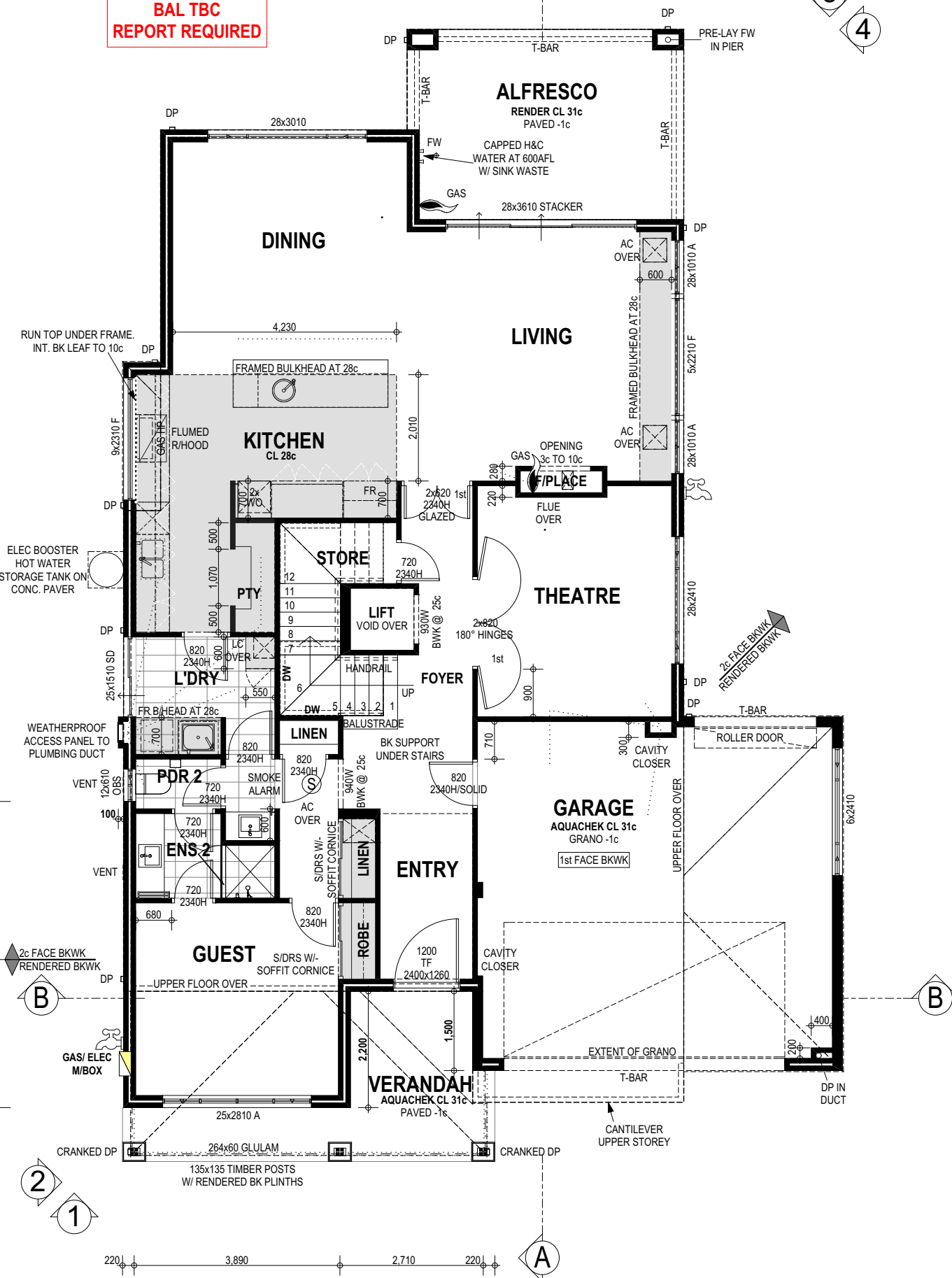
-INSTALL GAS VENT BOXES AS REQUIRED

-TIMBER DOOR FRAMES MARKED 'TF'

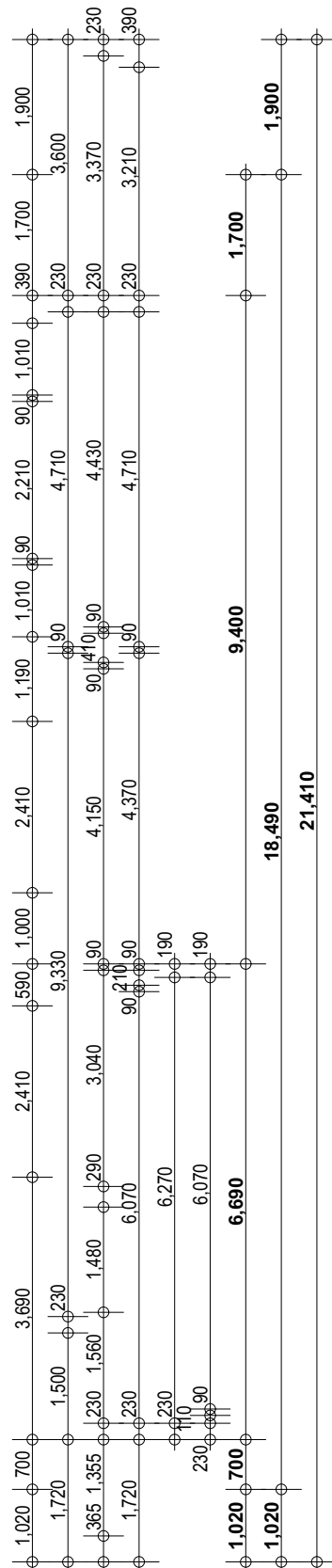
- WEATHERDRAFT SEALS TO EXTERNAL DOORS
- TIMBER TRIM TO SLAB EDGE TO VOID AND STAIRS



**BAL TBC  
REPORT REQUIRED**



-DRYWALLING MARKED "DW"



| AREAS  |              |                             |           |
|--------|--------------|-----------------------------|-----------|
| FLOOR  | NAME         | AREA                        | PERIMETER |
| Ground | GROUND FLOOR | 150.54                      | 58.36     |
|        | GARAGE       | 45.95                       | 27.36     |
|        | ALFRESCO     | 18.44                       | 17.66     |
|        | VERANDAH     | 12.56                       | 20.52     |
|        |              | <b>227.49 m<sup>2</sup></b> |           |
| First  | UPPER FLOOR  | 167.35                      | 57.96     |
|        | BALCONY      | 18.44                       | 17.66     |
|        |              | <b>185.79 m<sup>2</sup></b> |           |
|        |              | <b>413.28 m<sup>2</sup></b> |           |
|        |              |                             |           |

## GROUND FLOOR PLAN

**BH BROADWAY HOMES**  
14 LUISINI ROAD WANGARA 6065  
PH: 6200 2071

CLIENT  
**SHAW**  
PROPOSED RESIDENCE  
**LOT 189 (29) HAZEL AVENUE,  
QUINNS ROCKS**  
HOUSE  
TYPE: **ASTAIRE LTD** SPEC: **BESPOKE**

THESE ARE THE PLANS REFERRED TO IN THE BUILDING CONTRACT

|              |
|--------------|
| DATE.....    |
| OWNER.....   |
| OWNER.....   |
| BUILDER..... |

| DRAWN / AMENDMENTS         |
|----------------------------|
| 27/11/20 PLANNING ALEX     |
| 09/12/20 FINANCE AGM       |
| 11/12/20 FINANCE AMDTS AGM |
| 13/01/21 VO42752 AGM       |
| 27/01/21 VO43013 AGM       |

**FINANCE DRAWINGS**  
 COPYRIGHT  
*This plan shall remain the sole property of the builder and must not be given, copied or resold without the permission of BROADWAY HOMES*  
**Dimensions take preference over scaling & to be checked on site prior to commencing construction**

JOB NO: **B20033**

SKETCH NO: **Q20300**

SCALE: 1:100

(C) (2020)

SHEET: **2 of 6**

-DIMENSIONS RELATE TO BRICKWORK SETOUT ONLY.  
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FOR CLEARANCE REQUIRED FOR FUTURE FITTINGS  
-FIXTURES ARE DIAGRAMMATIC. SIZE MAY VARY  
DUE TO MANUFACTURERS SPECIFICATIONS.  
-REFER TO ADDENDA FOR OWNER SUPPLIED  
AND/OR INSTALLED ITEMS  
-FOR WATERPROOFING, THERE WILL  
BE A TILED SKIRTING ON BALCONIES

-SET-BACK SLAB 100 FROM FRONT OF  
BALCONY PIER SO BKWK CAN RUN THROUGH

-NO HOB SHR TO ENS - STEP DOWN TILE

-ALUMINIUM DOOR FRAMES MARKED 'AF'

-UPPER FLOOR BEDROOM WINDOWS TO BE PROTECTED  
IN ACCORDANCE WITH BCA PART 3.9.2.5

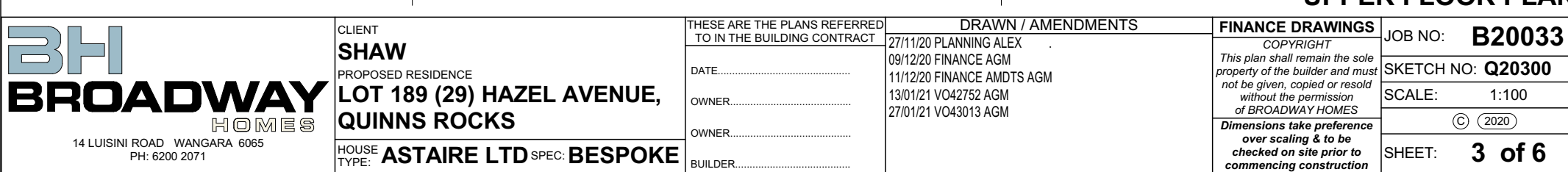
**-RENDER TO FRONT ELEVATION ONLY**  
**-BASED ON 290 x 90 x 162**  
**-LAID 1/3 BOND WITH STD CUTS**  
**WHERE APPLICABLE**  
**-1st COURSE OF BRICKWORK TO FOOTING**  
**AND SLAB TO BE 76mm CORED BRICK**

-LOCATION OF FLOOR WASTES TO WET AREAS TO BE DETERMINED ON SITE AT PLUMBERS DISCRETION  
-LOCATION OF DOWNPIPES ARE INDICATIVE AND MAY BE CHANGED ON SITE AT PLUMBERS DISCRETION

CEILING LEVEL AT 64c + PLATE (29c + PL AFL)  
UNLESS NOTED OTHERWISE.

-DRYWALLING MARKED "DW"

- WEATHERDRAFT SEALS TO EXTERNAL DOORS
- TIMBER TRIM TO SLAB EDGE TO VOID AND STAIRS





**MTI**  
**BROADWAY**  
**CONCRETE**

**SHAW**  
PROPOSED RESIDENCE  
LOT 189 (29) HAZEL AVENUE,  
QUINNS ROCKS

**THESE ARE THE PLANS REFERRED  
TO IN THE BUILDING CONTRACT**

**DATE.....**

**OWNER.....**

**OWNER.....**

**BUILDING DER.....**

**DRAWN / AMENDMENTS**

|          |                    |
|----------|--------------------|
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| 11/12/20 | FINANCE AMDT'S AGM |
| 13/01/21 | VO42752 AGM        |
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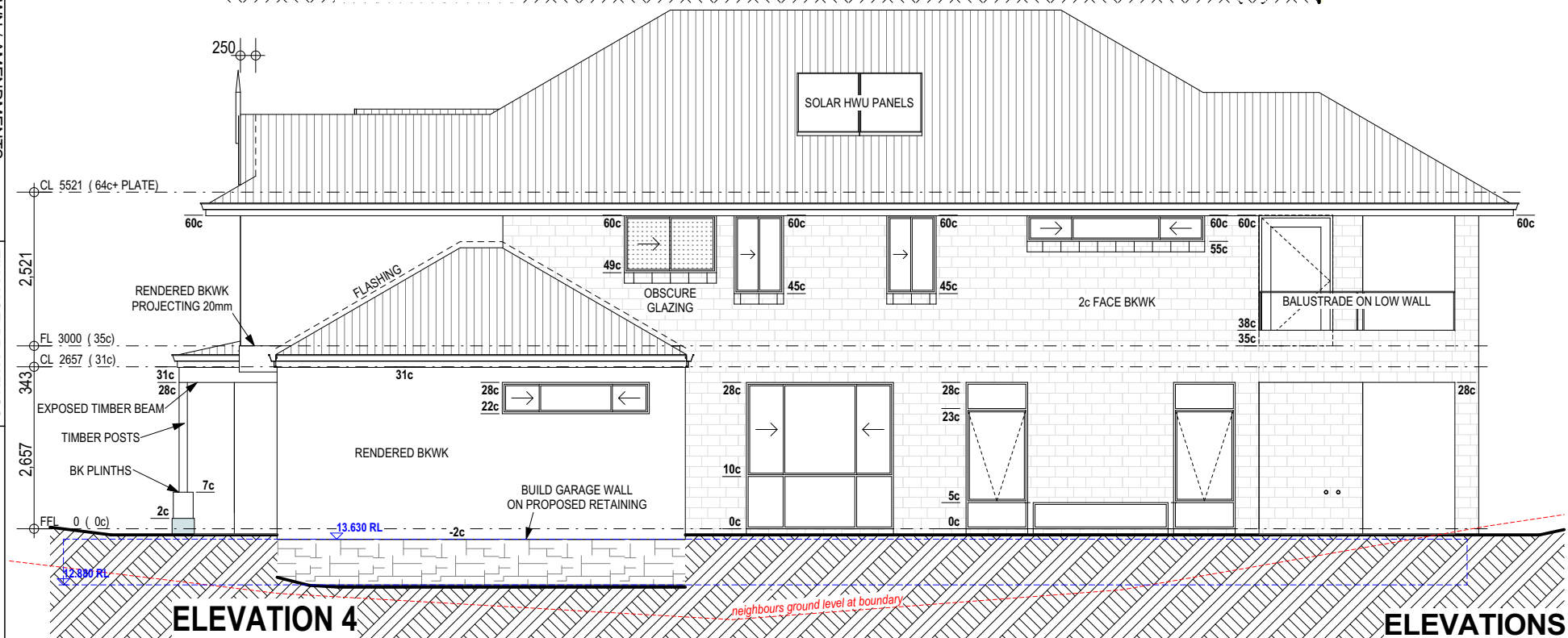
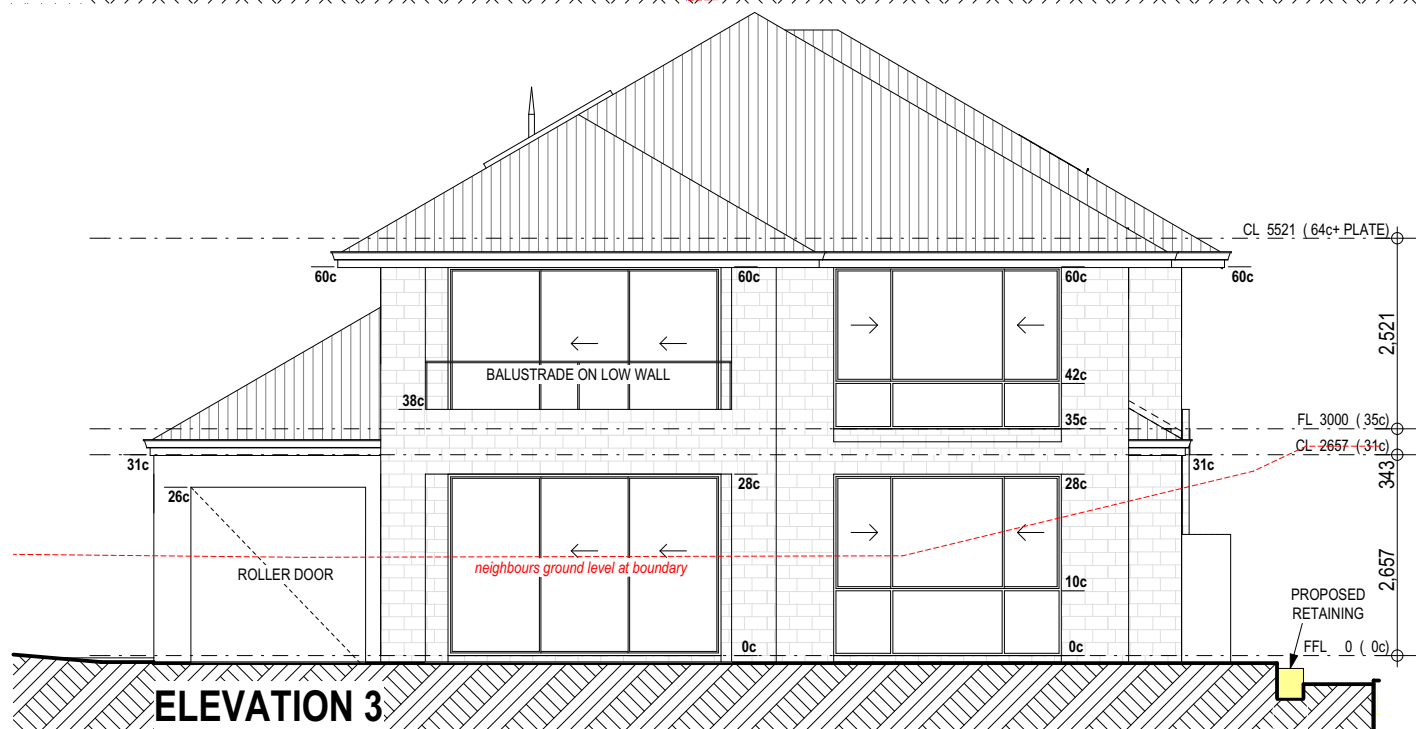
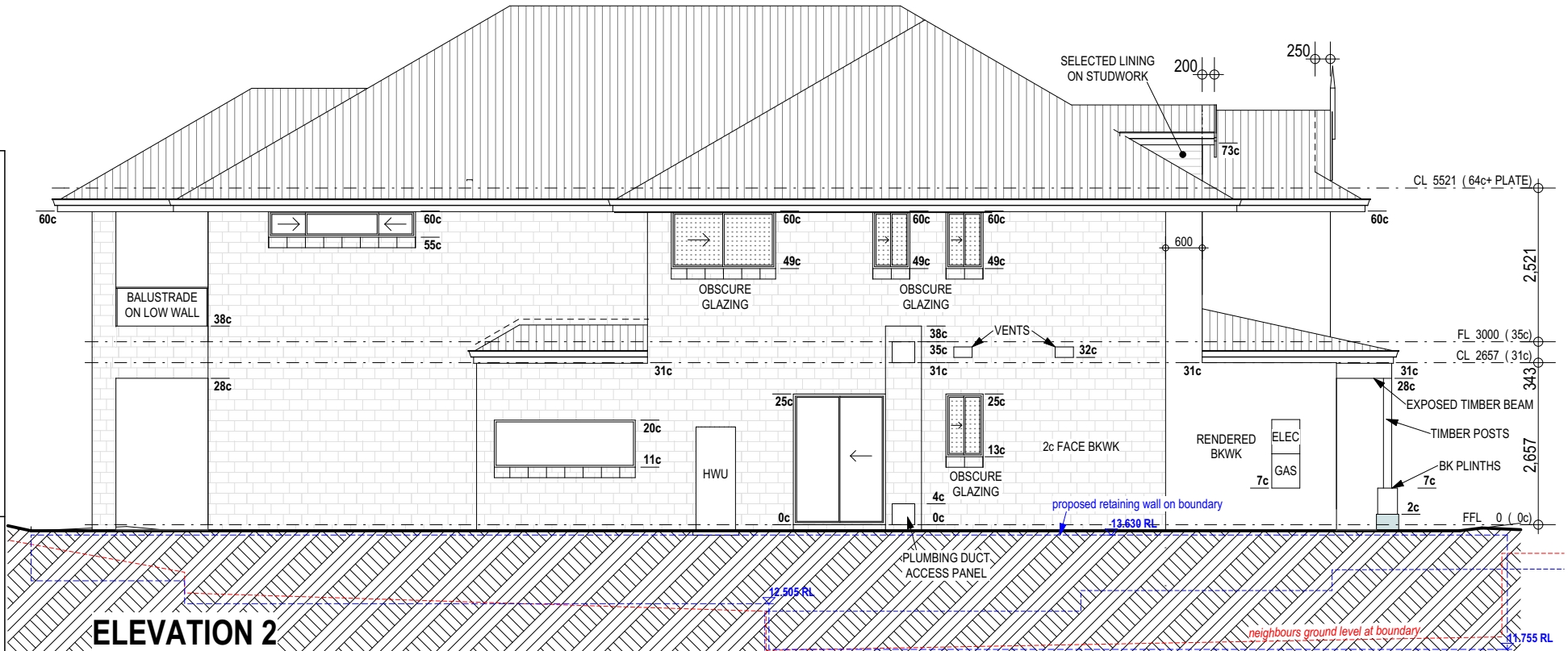
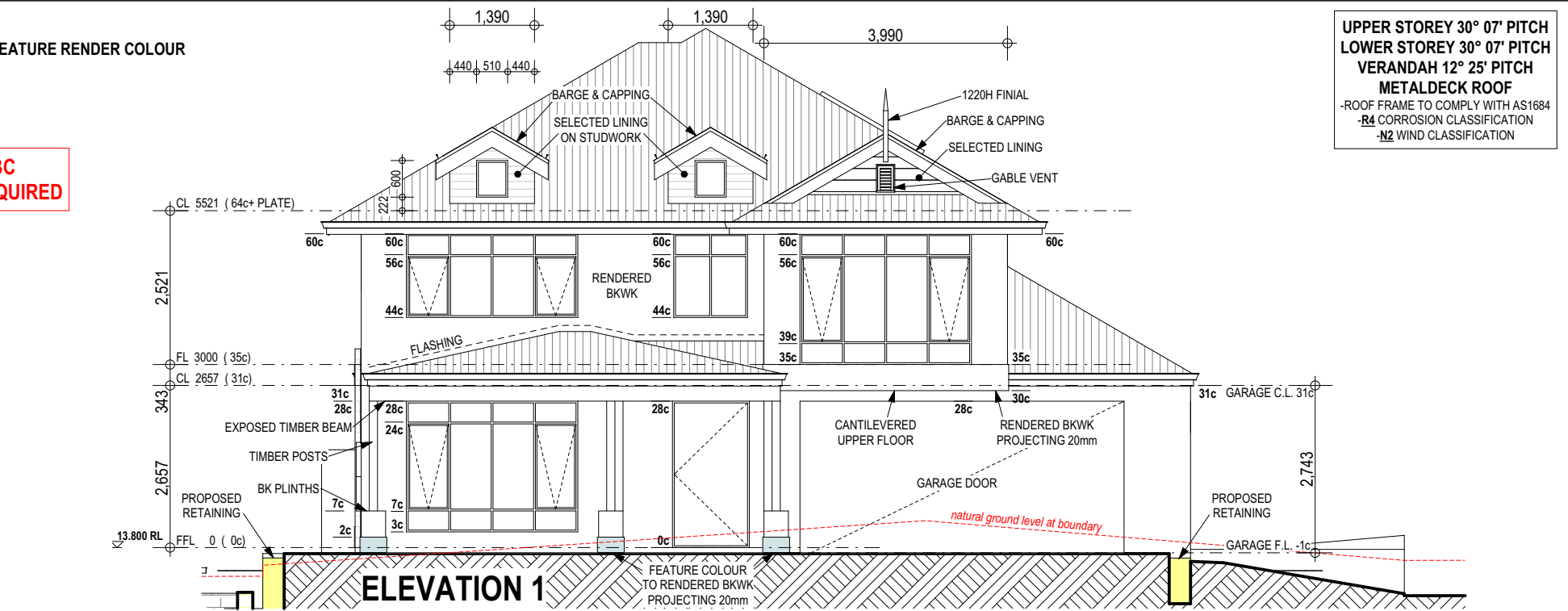
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JOB NO: **B2003**  
 SKETCH NO: **Q20300**  
 SCALE: 1:100  
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 SHEET: **4 of 6**



**UPPER STOREY 30° 07' PITCH**  
**LOWER STOREY 30° 07' PITCH**  
**VERANDAH 12° 25' PITCH**  
**METALDECK ROOF**  
 -ROOF FRAME TO COMPLY WITH AS1684  
 -R4 CORROSION CLASSIFICATION  
 -N2 WIND CLASSIFICATION