

JOB#	94419	SHEET#	6 OF 6
REVISION	VO #	DRN	DATE
SITING	DAS	CJA	14/10/20
VO	1	FG	03/02/21
		SLC	03/02/21
		SLC	
		SLC	

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

NOTE: BOUNDARY POSITION AS PER ALIGNMENT
WARNING: BOUNDARY RE-PEG SURVEY WILL BE REQUIRED TO CONFIRM, REPLACE AND/OR ADJUST BOUNDARY MARKS TO THE CORRECT POSITIONS.

STORMWATER DISPOSAL NOTE:
 ALL STORMWATER DISPOSAL TO BE CONTAINED ON SITE TO 2 x 1200Ø x 900mm DEEP SOAKWELLS AS PER SHIRE REQUIREMENTS.
 SOAKWELL LOCATION MAY BE ADJUSTED AT PLUMBERS DISCRETION.

NOTE:
 ANY REPAIRS/REMOVAL/REINSTATING OF FENCING OR RETAINING WALLS WILL BE THE RESPONSIBILITY OF THE OWNER
 ALL TREES SHOWN HATCHED ARE TO BE REMOVED BY OWNER INCLUDING ALL GRUBBING OUT OF THE ROOTS.

ZONING: R20040
SITE AREA: 197 m²
PLUS CP AREA (113 m²): 58 m²
TOTAL SITE AREA: 253 m²
SITE ALLOWANCE: 50% 126 m²
SITE COVERAGE: 119 m²

NOTE:
 N1 WIND CLASSIFICATION, REFER TO ENGINEERS SPECIFICATION.
 COASTAL CATEGORY R3

LOT 2
 197 m²
 SANDY
 WEED COVER

COMMON LEGEND

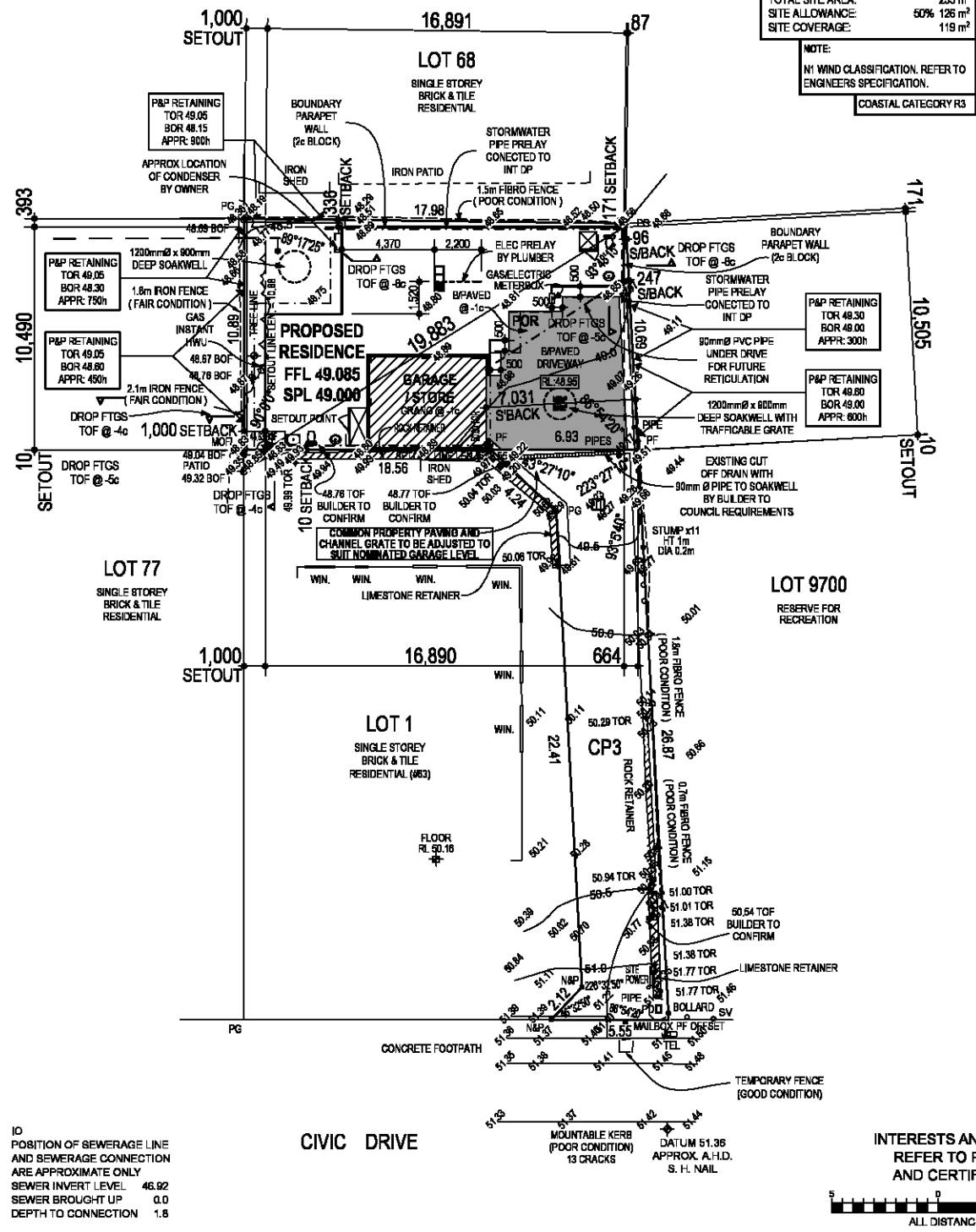
- o PF PEG FOUND
- o Pdist PEG DISTURBED
- PG PEG GONE
- ◆ DATUM / CONTROL
- o SV STOP VALVE
- o HY (GROUND) HYDRANT
- o FP FLUSH POINT
- o TAP WATER TAP
- o MC METER CONNECTION
- o M WATER METER
- o DRAINAGE MANHOLE
- o GRATE
- o SIDE ENTRY PIT
- o SEW SEWER MANHOLE
- o IS INSPECTION SHAFT
- o IO INSPECTION OPENING
- o CP CONSUMER POLE
- o PP POWER POLE
- o LP LAMP POST
- o SP STAY POLE
- o PD POWER DOME / PILLAR
- TEL / NBN TELSTRA / NBN PIT
- o GAS GAS METER
- o G GAS LINE MARKER (PT)
- o 96 TORW TOP OF WALL
- o 96 TOR TOP OF RETAINER
- o 96 STILL STILL DEEPER
- o 96 TOB TOP OF BACKING BLOCK
- o 96 TOF TOP OF FOOTING
- o 96 BOR BOTTOM OF RETAINER
- o 96 BOF BOTTOM OF FENCE FRAME

SERVICE INFORMATION

SEWERAGE: YES
 WATER: YES BTC
 PRELAD:
 GAS: YES BTC
 COMM: YES
 POWER: U/G

TBE - To Be Established; BTC - Builder To Confirm

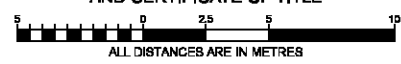
THE INFORMATION ON THIS DRAWING IS CURRENT AS AT THE DATE OF SURVEY. SERVICES ARE TO BE CONFIRMED WITH RELEVANT AUTHORITIES. THIS INCLUDES WITHOUT LIMITATION, SEWERAGE, WATER SUPPLY, DRAINAGE, POWER SUPPLY, GAS SUPPLY & COMMUNICATIONS. FURTHER INTERESTS / NOTIFICATIONS / ENCUMBRANCES MAY BE LISTED ON THE CERTIFICATE OF TITLE.



10 POSITION OF SEWERAGE LINE AND SEWERAGE CONNECTION ARE APPROXIMATE ONLY
 SEWER INVERT LEVEL 46.92
 SEWER BROUGHT UP 0.0
 DEPTH TO CONNECTION 1.8

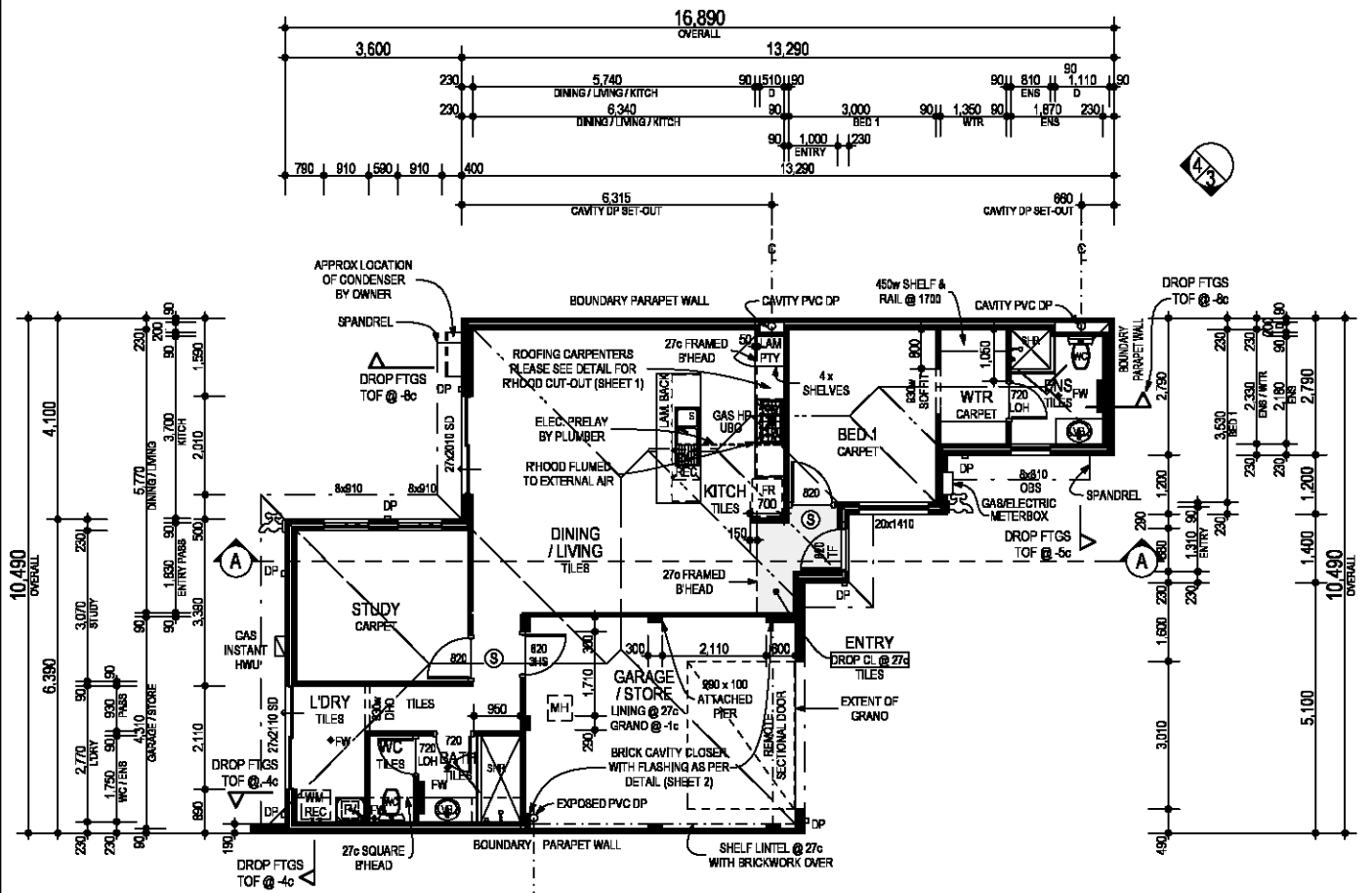
CIVIC DRIVE

INTERESTS AND NOTIFICATIONS REFER TO PLAN SP 81930 AND CERTIFICATE OF TITLE

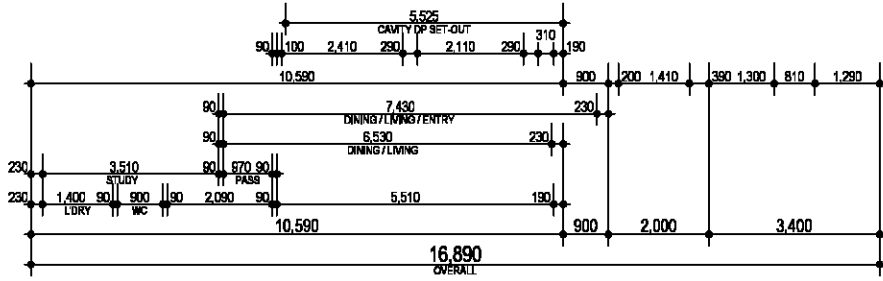


AUTOMATED SURVEYS
 LICENSED SURVEYORS and DEVELOPMENT CONSULTANTS
 3 HASLER RD, OSBORNE PARK, WA 6017
 P.O. Box 1862, Osborne Park DC WA 6916
 Telephone (08) 9214 1777
 www.automatedsurveys.com.au

B					CLIENT:	
A	18/11/2020	SITE SURVEY	SXC	BCM	PROJECT:	LOT 2 (#63) CIVIC DRIVE, WANNEROO
REV	DATE OF SURVEY	DESCRIPTION	SURVEYOR	DRAFTER	CHECKED	AUTHORITY:
BUILDER:	HOMESTART		PLAN:	SP 81930		URD MAP:
REF:	H 94419		DT:	2939/719		SCALE:
H. Ord:	LOCAL	A.H.D. level: 51.41	A.H.D. value	SEWER M/H	derived from:	WD466
V. Datum:	APPROX.	Local level: 51.41	Distance from Datum:	23.07 m	Approx. 7.91 km FROM COAST LINE	distance: 0.49 km FROM LAKE
SHEET: 1 of 1						DRAWING No.: 235924
REV: A						SCALE: 1: 200 @ A3



FLOOR PLAN
SCALE 1:100



NOTE:
SPACE ROOF MEMBERS TO ALLOW FOR 600 x 600 SQ. CLEARANCE FOR RANGEHOOD CUTOUT.

RANGEHOOD CUT OUT DETAIL
SCALE 1:50

NOISE ASSESSMENT NOTE:
TO BE ORDERED AT CONTRACT STAGE.

- NOTE:**
- DO NOT SCALE FROM DRAWINGS. DIMENSIONS MUST BE FOLLOWED AND CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
 - ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE NOMINAL DIMENSIONS ONLY WHICH DO NOT INCLUDE PLASTER OR METAL BEADING TO BRICKWORK.
 - DOWN PIPES ARE TO BE LOCATED AT PLUMBERS DISCRETION TO SUIT ROOF/WATER VOLUME AND ROOF MEMBERS.
 - FLOOR WASTES/ CEILING VENTS/ MAN-HOLE SHOWN DIAGRAMMATICALLY ONLY AND MAY BE RELOCATED ON SITE AS REQUIRED.
 - PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
 - CL @ 300 THROUGHOUT UNLESS NOTED OTHERWISE.

★ STAR NOTE:
TO BE ORDERED AT CONTRACT STAGE.

INSULATION NOTE:
- INSULATION R4.0 TO HOUSE & GARAGE CEILINGS.

NOTE:

- 230 CAVITY RENDERED BRICKWORK AS SHOWN SHADED ON FLOOR PLAN WITH 230 CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER.
- THE BUILDER RESERVES THE RIGHT TO ADJUST WINDOW AND SLIDING DOOR SIZES, INTERNAL ROOM SIZES, AND O/CALL LENGTH AND WIDTH OF THE DWELLING, WHICH MAY RESULT IN A CHANGE IN THE O/CALL HOUSE AREA FROM THE ORIGINAL STANDARD HOUSE PLAN.

NOTE:
- BY OWNER, REVERSE CYCLE DUCTED AIR CONDITIONING POSITIONS OF VENTS TO BE DETERMINED BY INSTALLER.

NOTE:
- INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH NCC VOL. 2 PART 3.7.2 AS 3786: 2014

NOTE:
THE HOME OWNER IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL FUTURE WORKS AND ANY EFFECT IT SHALL HAVE ON THE EXISTING STRUCTURE.

AREAS:		
	PERIM. (m)	AREA (m ²)
HOUSE	54.76	93.51
GARAGE/STORE	20.20	25.08
		118.59 m ²
ROOF QUANTS		
Material Type	Roof Tiled	
Surface (m ² on the rake)	138.13	
Area (m ² on the flat)	125.76	

67 Walters Drive, Osborne Park, WA 6017
Tel: (08) 6461 5300 Fax: (08) 6461 5304
P.O. Box 131, Mt Hawthorn, WA. 6915
Reg. Builder N^o: 6415 A.C.N. 008 083 076

REVISION	VO #	DRN	DATE	CHK
		CJA	14/10/20	JP
SITING		DAS	CJA	14/10/20
		DAS	FG	03/02/21
	1	SLC	03/02/21	SLC

CLIENT:

DATE:

CLIENT:

DATE:

BUILDER:

DATE:

CLIENT:


ADDRESS:
**S/LOT 2 OF LOT 78
CIVIC DRIVE
WANEROO**

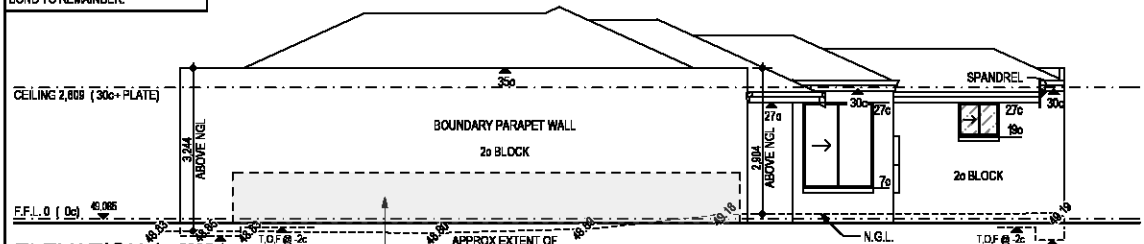
ONE OFF

DREAM HOME 4x2	SUPERPACK
MODEL N ^o	DATE
92001	03/02/21
MAP REF	WIND RATING
167 / 19 / 12	N1
COASTAL CATEGORY	ENGINEERS DETAIL
R3	D10
JOB N ^o	SHEET N ^o
94419	1 OF 6

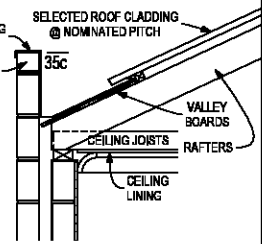
TILED ROOF ON 24°43'0" (25°) PITCH
 NOTE:
 230 CAVITY RENDERED BRICKWORK TO FRONT ELEVATION WITH 230 CAVITY FACE BRICKWORK LAID 1/3 BOND TO REMAINDER.

NOTE:
 ROOF TIE DOWN/FRING STRAPS TO COMPLY WITH MCC CLAUSE 3.3 OR AS PER ENGINEER'S DETAIL.

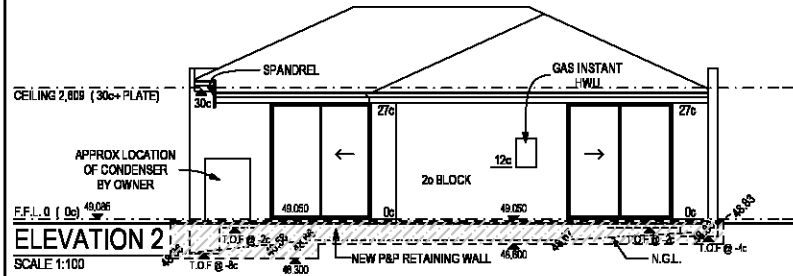
GLAZING NOTE:
 OBSCURED GLAZING SHOWN AS 



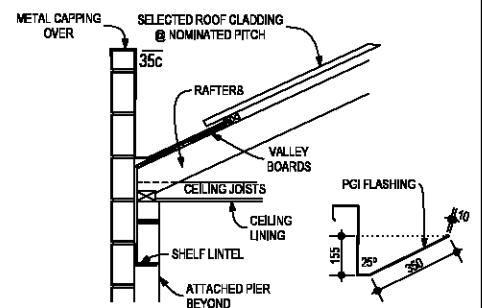
ELEVATION 1
 SCALE 1:100



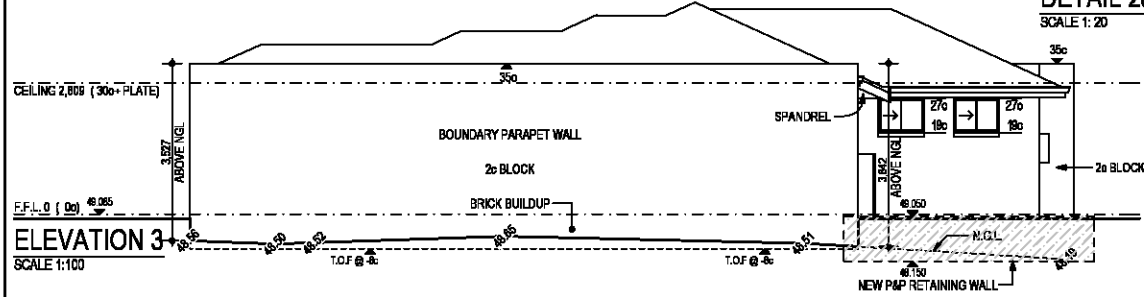
**PARAPET WALL
 DETAIL 2c 230 BLOCK**
 SCALE 1:20



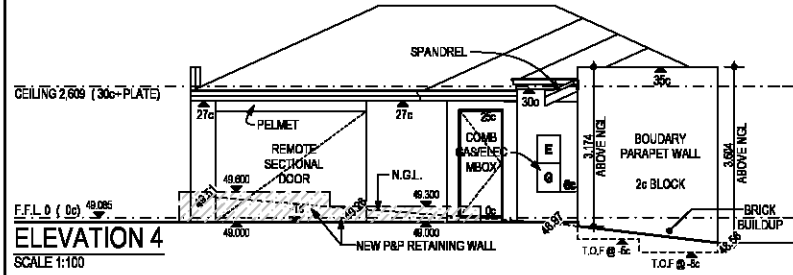
ELEVATION 2
 SCALE 1:100



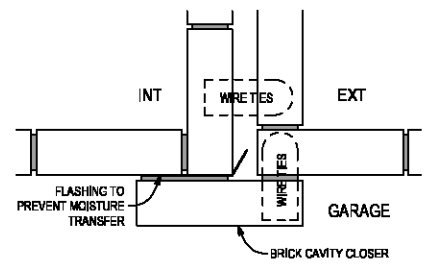
**PARAPET WALL
 DETAIL 2c BLOCK**
 SCALE 1:20



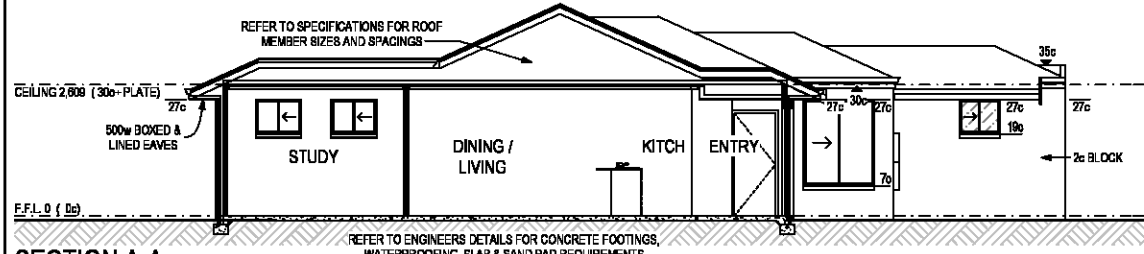
ELEVATION 3
 SCALE 1:100



ELEVATION 4
 SCALE 1:100



BRICK CAVITY CLOSER DETAIL
 SCALE 1:10



SECTION A-A
 SCALE 1:100



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CLIENT:
 ADDRESS:
**S/LOT 2 OF LOT 78
 CIVIC DRIVE
 WANEROO**

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ONE OFF

DREAM HOME 4x2	SUPERPACK
MODEL N°	DATE
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JOB N°	SHEET N°
94419	2 OF 6