



NOTE : BOUNDARY SUBJECT TO MATERIAL CHANGE AND WAPC APPROVAL.

SITE COVERAGE

ZONED R40
% ALLOWED 55%
SITE AREA 180.33m²
SITE COV. AREA 118.92m²

SITE COV. = 65.9%

COMMON AREA (104m² / 3) 35m²
SITE AREA + COMMON AREA 215m²

ADJUSTED SITE COVERAGE = 55.32%

50m² allowance of paving by Builder, remaining by Owner

PROP. LOT 3

VACANT / SANDY / WEED

180m²

PROP. CP
104m²

154
SINGLES STOREY
BRICK & TILE
RESIDENCE
WELL CLEAR

886m²

152
SINGLES STOREY
BRICK & TILE
RESIDENCE
WELL CLEAR

706m²

PROP. LOT 1

SINGLES STOREY
BRICK & TILE
RESIDENCE #14
APPROX. FFL 11.32m

242m²

No.	Soak Well Type
2.0 m3	2 SW 1200x900
2.0 m3	Total Capacity
131.3 m2	Roof Area GF
131.3 m2	Total Area
1.6 m3	Capacity Required (Area x 0.0125)
0.4 m3	Extra Capacity Provided

SERVICE LEGEND

POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
STAY POLE	○ SP
S. WIRE ANCHOR	○ SWA
UNI PILLAR	⊗
EXPOSED CABLES	○ EC
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□
COMBINATION ENTRY PIT	□
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	○ WTP
WATER METER	φ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	◆
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	PG
STAKE FOUND	○ STF

LOT RECORDS

LOT SERVICE	STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
SEWERAGE	✓				
GAS		✓		✓	
TELE.		✓		✓	
DRAINAGE				✓	
POWER	U/G	✓			
	O/H	✓		✓	

AREA: ESTAB

COASTAL DISTANCE 1.5-10km

LOT: 2

AREA: 180 m²

APPROX. AHD + 33.79m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY

SEWER INVERT LEVEL	8.50
SEWER BROUGHT UP	0.00
DEPTH TO CONNECTION	2.79

Site Plan - PROPOSED
1:200

GROUND COVER
SANDY / WEED

TITLE : FEATURE SURVEY	LOT : PROP. 2 No. 14 ALLINSON DR	SSP : LOT 153 ON
CLIENT :	SUBURB : GIRRAWHEEN	ON DIAG50599
BUILDER : SINCERITY BUILDING GROUP PTY LTD	AUTHORITY : CITY OF WANNEROO	C/T : N/A

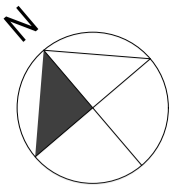


P: (08) 9354 8511
W: www.linkssurveying.com.au
E: info@linkssurveying.com.au

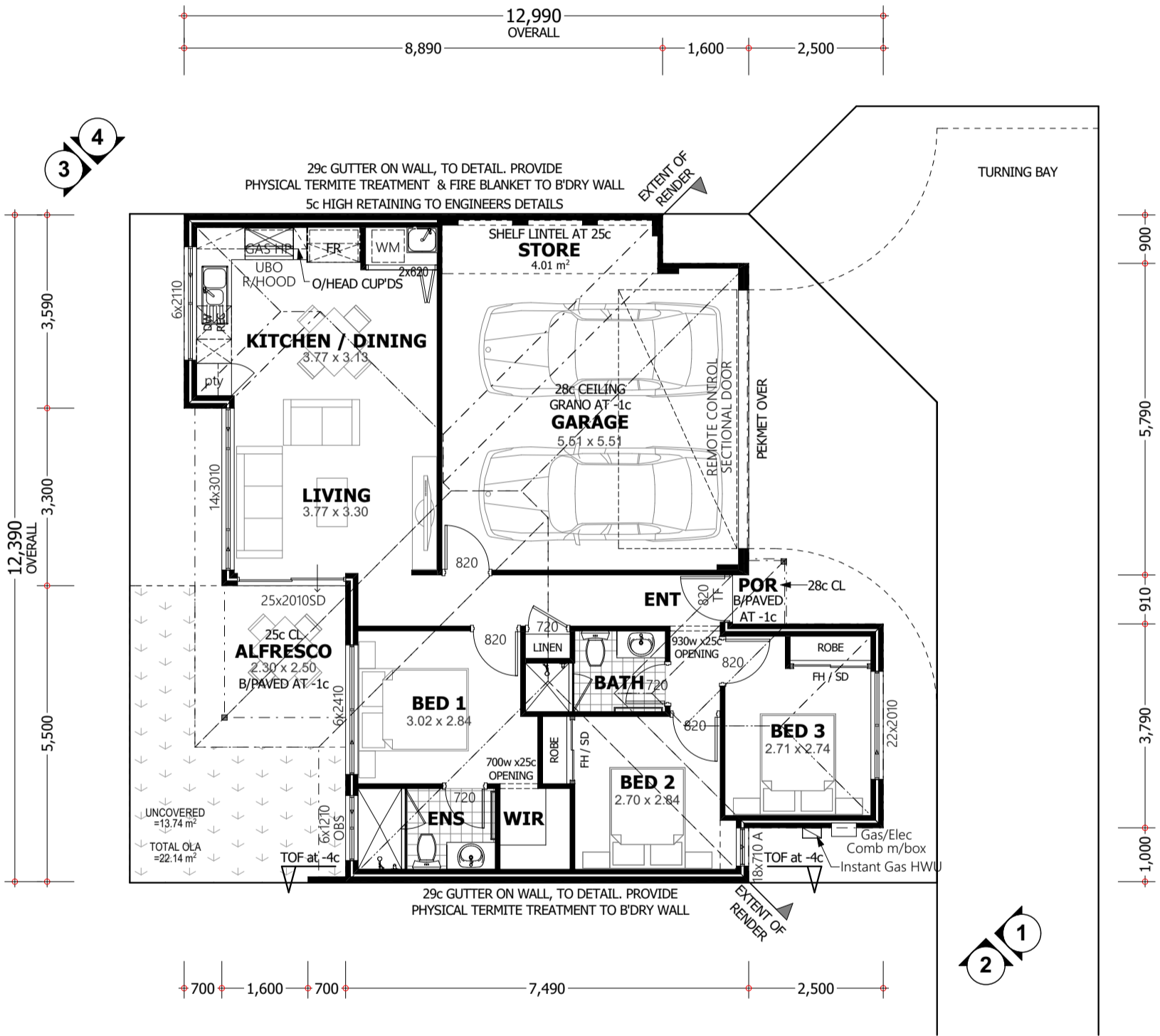
UBD REF : 207 N 12	GPS : S 31.84322°	E 115.82969°
5 0 2.5 5 10 15		

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

SHEET 1 of 1	BUILDER'S REF	SURVEYED 25/11/20	SCALE @ A3 1:200	DWG No 40762-01-100	REV A
--------------	---------------	-------------------	------------------	---------------------	-------



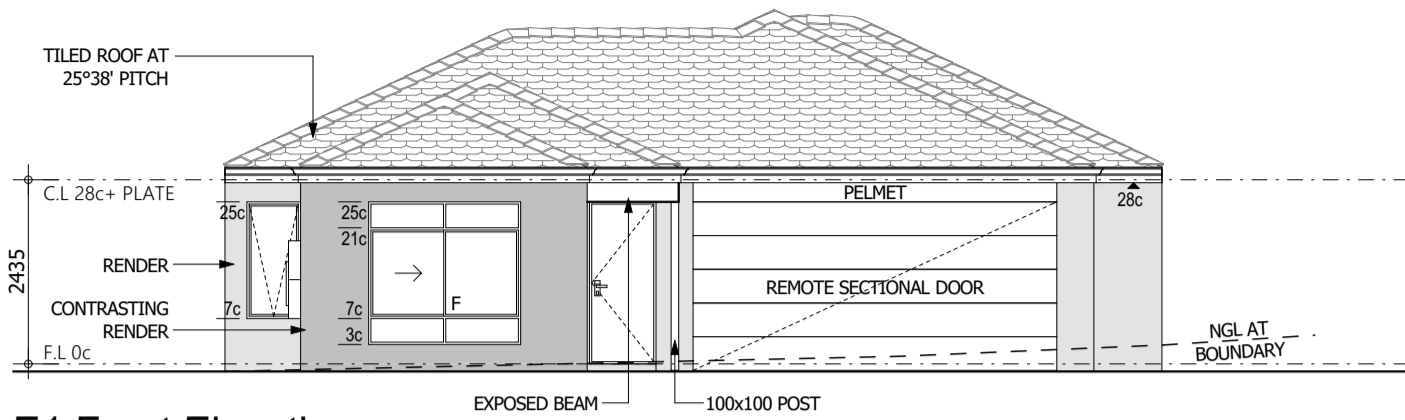
Area Calc	Perimeter
. HOUSE	82.72
. GARAGE/STORE	36.21
. ALFRESCO	5.75
. PORCH	1.12
	125.80 m ²



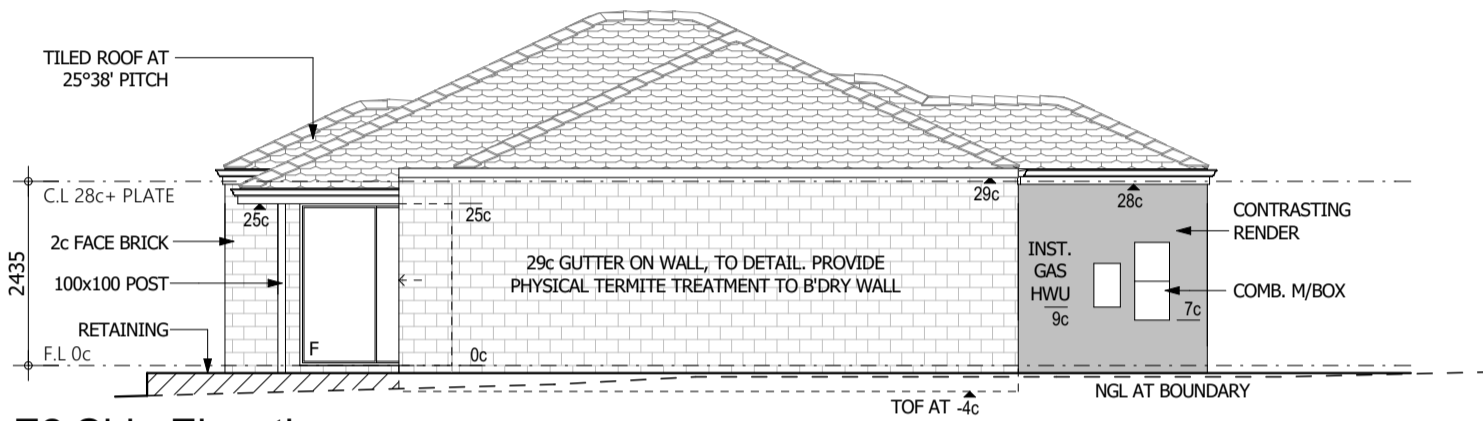
Floor Plan
1:100

THE CURRENT DESIGN REQUIRES JUSTIFICATION OF THE R-CODES, JUSTIFICATION DOES NOT GUARANTEE SHIRE APPROVAL.
- 5.1.3 LOT BOUNDARY SETBACK - PROPOSED 1M SETBACK IN LIEU OF 1.5M

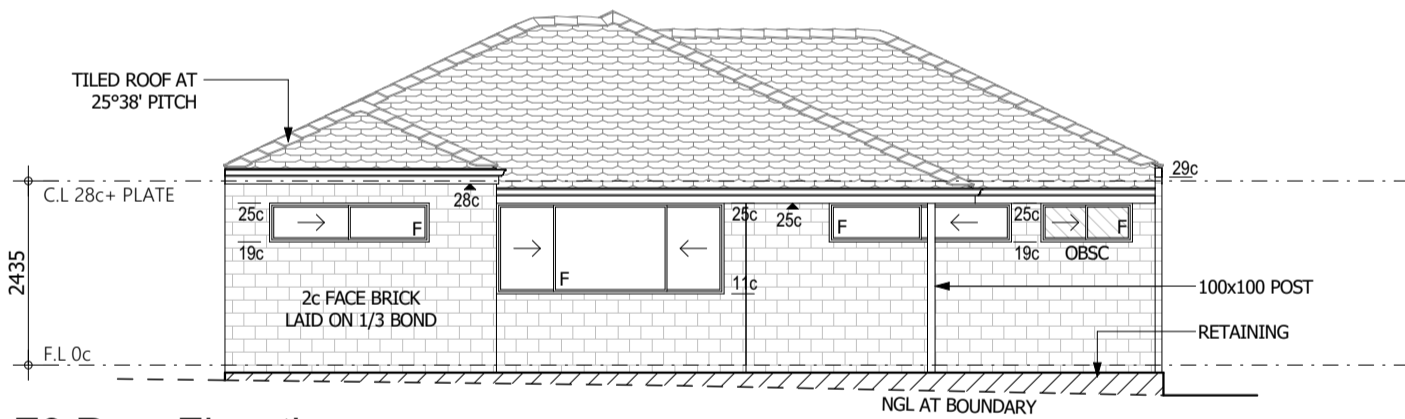
AMENDMENTS:	
12/10/20	RS Ver 1
20/11/20	RS DA
08/12/20	RS Site Plan



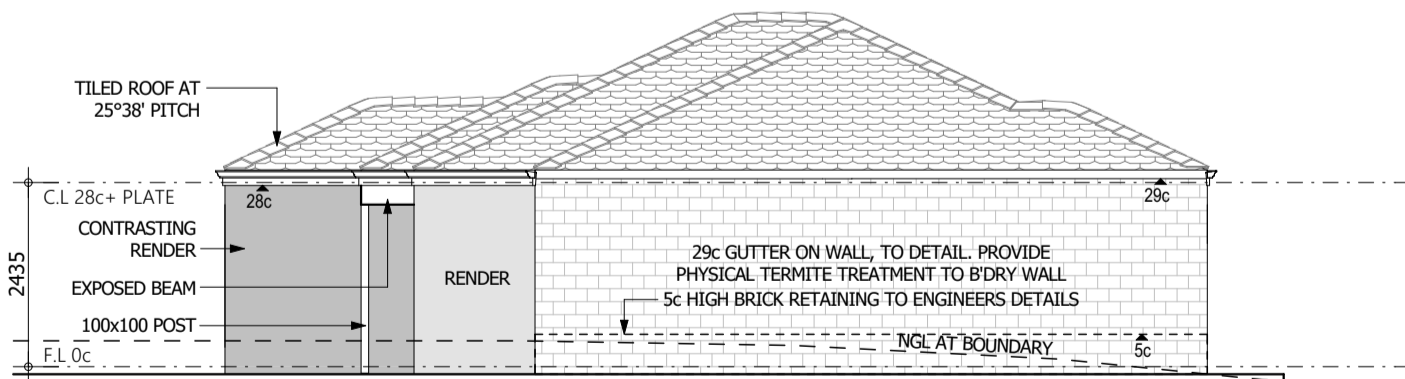
E1 Front Elevation
1:100



E2 Side Elevation
1:100



E3 Rear Elevation
1:100



E4 Side Elevation
1:100

AMENDMENTS:		
12/10/20	RS	Ver 1
20/11/20	RS	DA
08/12/20	RS	Site Plan