

LOT 247

Latitude -31°46'34.21" Longitude 115°52'13.57"

OWNER IS RESPONSIBLE FOR THE DISCONNECTION & CAPPING OF WATER FROM THE EXISTING PIPING DURING DEMO & CONSTRUCTION

DRAWING NAME: LOCALITY PLAN B REVISION:

JOB No: 20583b SHEET No: 3 OF 10

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED: .....

OWNER WITNESS

OWNER WITNESS

BUILDER WITNESS

Rev No:	Variation:	Date Dm:	By:
A	POST PPA 06-01-21	19-01-21	KDS
B	ENG. UPDATE	16-02-21	KDS

Drawn By:	Date Drawn:	Salesman:
KDS	JAN '21	ML

UNIT 22, 257 BALCATTA RD, BALCATTA W.A. 6021  
PHONE : (08) 6241 4888  
www.blueprinthomes.com.au

CLIENT: DUva

CONTRACT / JOB NO. 20583b

MAP REF. 253 B3

SITE SURVEY: **LOT 247** COASTAL NO

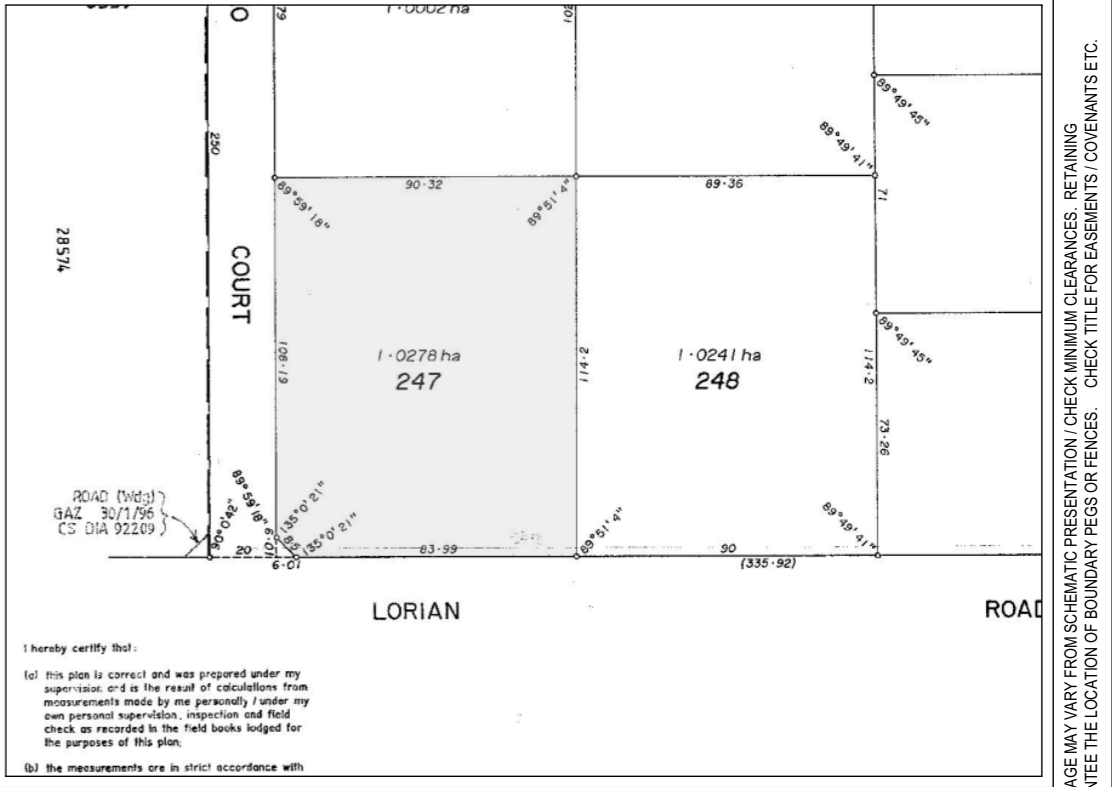
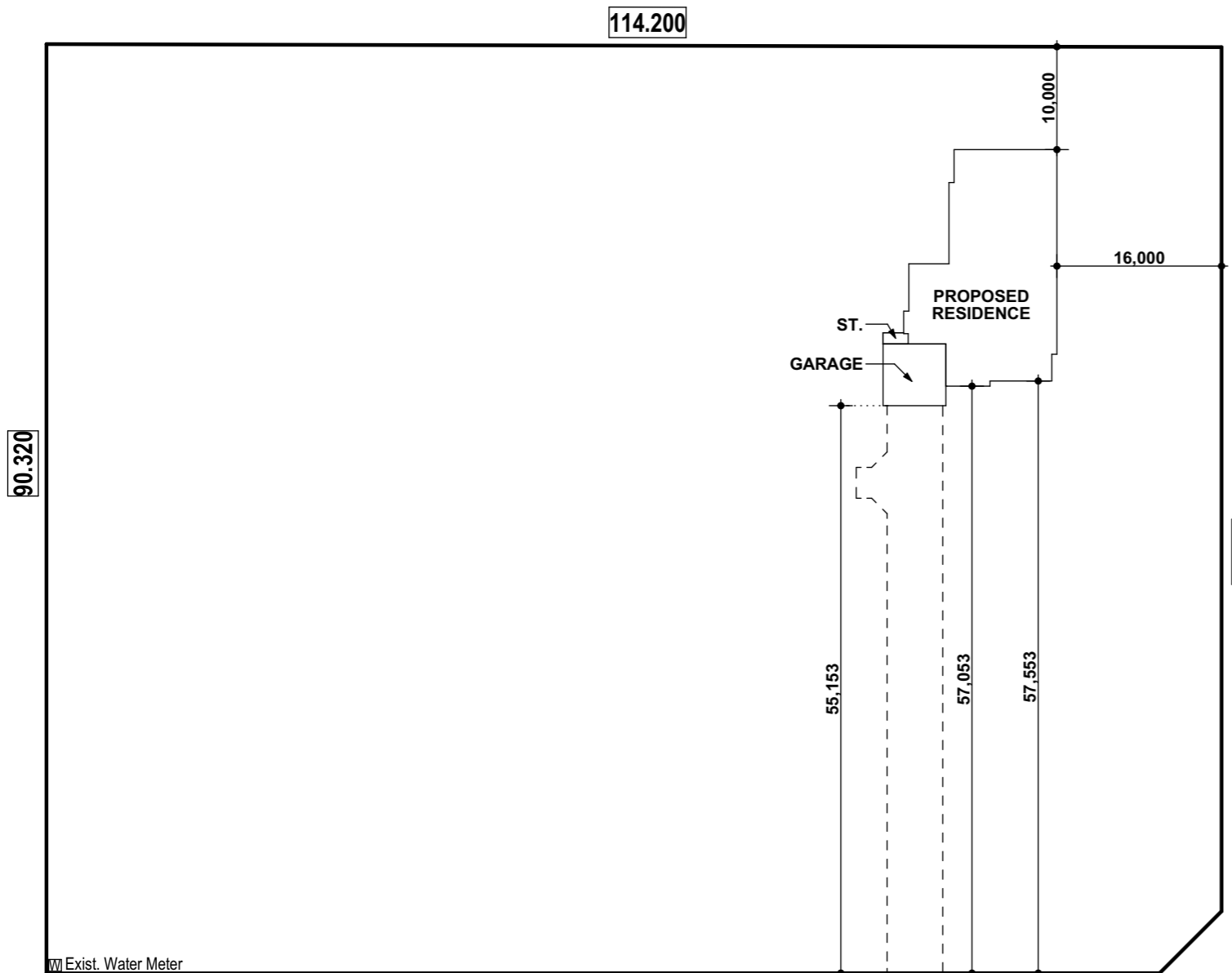
#10 Lenzo Court

Suburb Gngangara

Loc.Auth. CITY OF SWAN

Plan 18491 Volume Folio

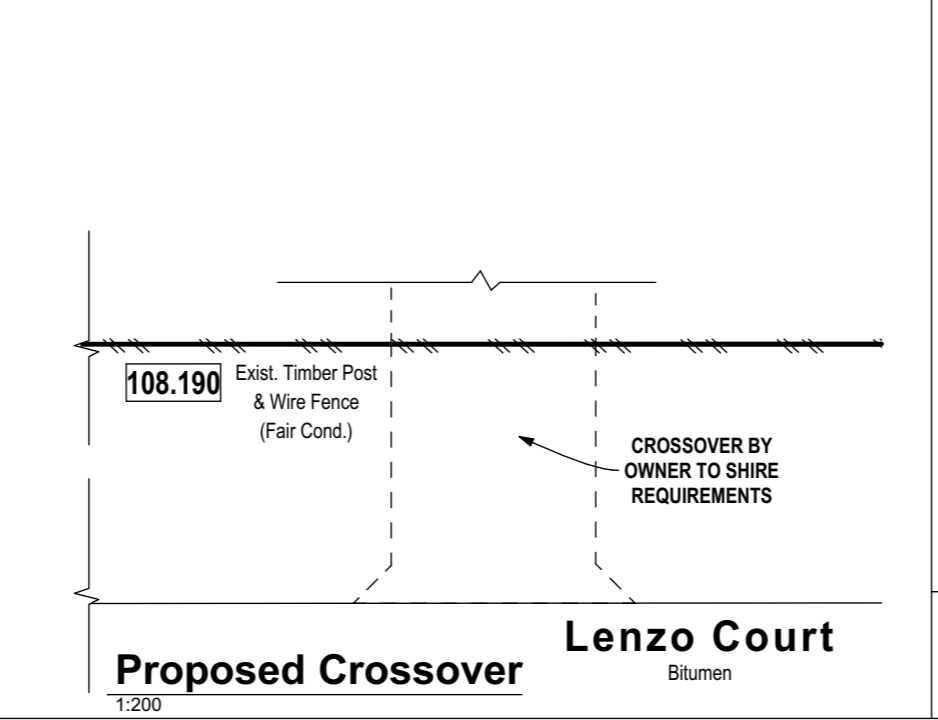
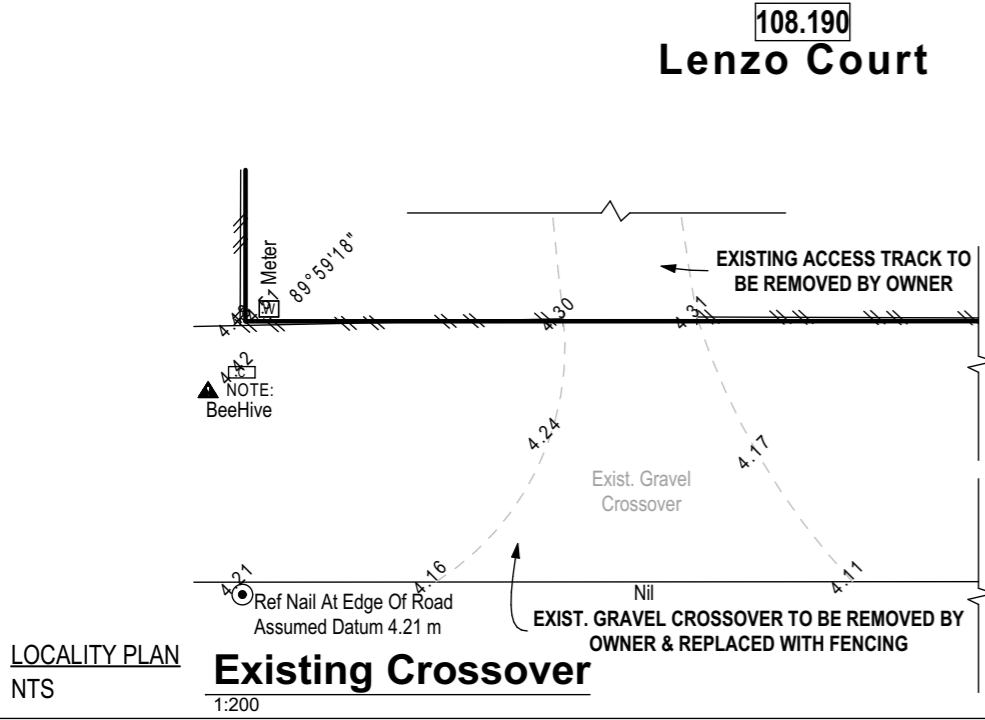
Location Check Title



Elec.  O/Head Water  Yes Sewer  Yes

Gas  Check Your Lot With Alinta Call 13 13 58 Phone Comms  Yes Footpath  Nil

Road  Bitumen Kerb  Nil Drainage  Good



LOCALITY PLAN NTS

COTTAGE & ENGINEERING SURVEYS Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998 Email: perth@cottage.com.au Website: www.cottage.com.au J/No: 487905 Drawn: B. Saliba

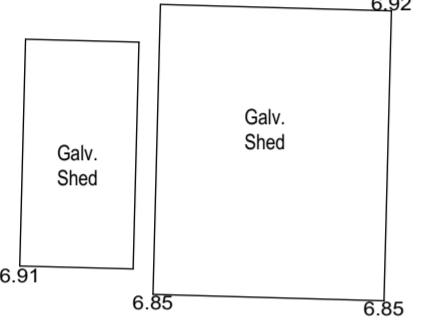
NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES, RETAINING WALLS, ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

**BORDER**  
90° HERRINGBONE  
**BRICKPAVER NOTE:**  
PAVERS TO BE LAID IN HERRINGBONE PATTERN AS SHOWN ABOVE  
SCALE: NTS

**TELSTRA/NBN : INTERNAL PIT & PIPE PROVISIONS BY BUILDER**

**SEWER TREATMENT SYSTEM BY OWNER TO SHIRE REQUIREMENTS - OWNER TO SUPPLY & INSTALL ATU SYSTEM INCLUDING CONNECTION TO HOUSE. OWNER TO SUBMIT SEPARATE APPLICATION**

**ZONING: SPECIAL RURAL**  
SITE AREA: 10,278m<sup>2</sup>  
PROPOSED RESIDENCE: 307m<sup>2</sup>  
**SITE ANALYSIS**  
SITE COVERAGE = 307m<sup>2</sup> OR 3%



**ALL TRADES & AUTHORISED VISITORS TO BE AWARE OF SITE CONDITIONS & EXERCISE CAUTION**  
EUROPEAN BORER: TREATMENT PROTECTION FOR ALL TIMBER ROOF FRAMING TO BE H2 HAZARD LEVEL IN ACCORDANCE WITH A.S. 1604.  
**STORMWATER BY BUILDER**  
STORMWATER LAYOUT TO COMPLY WITH BCA PART 3.1 & AS/NZ 3500.3.2003 PLUMBING & DRAINAGE PART 3: STORMWATER DRAINAGE & SHIRE REQUIREMENTS  
**REFER TO SHEET 2 FOR SETOUT & SETBACK DIMENSIONS**

**PLUMBER NOTE: PROVIDE REFLUX VALVE PROVIDE 3-PHASE POWER TO METERBOX**  
**ALL DEMOLITION AND SITE CLEARANCE WITHIN BUILDING ENVELOPE BY OWNER. OWNER TO CLEAN AND LEVEL THE BUILDING AREA WITHIN 100mm OF NOMINATED SPL. ALL EXISTING BUILDINGS/FOOTINGS/SLABS & SHEDS TO BE REMOVED ENTIRELY**

**EXISTING TREES (INCLUDING STUMPS) INSIDE BUILDING ENVELOPE TO BE REMOVED ENTIRELY & AREA TO BE "RAKED" OF ALL TREE ROOTS PRIOR TO BUILDER COMMENCING ANY WORK ON SITE**

**TERMITE PROTECTION: IN ACCORDANCE WITH AS 3660.1, PART 3.1.3.2 OF THE BCA PROVIDE LPG APPLIANCES**

**NOTE: NATURAL GAS vs LPG TO BE ASSESSED ON SITE AT TUBE & FINAL STAGE**

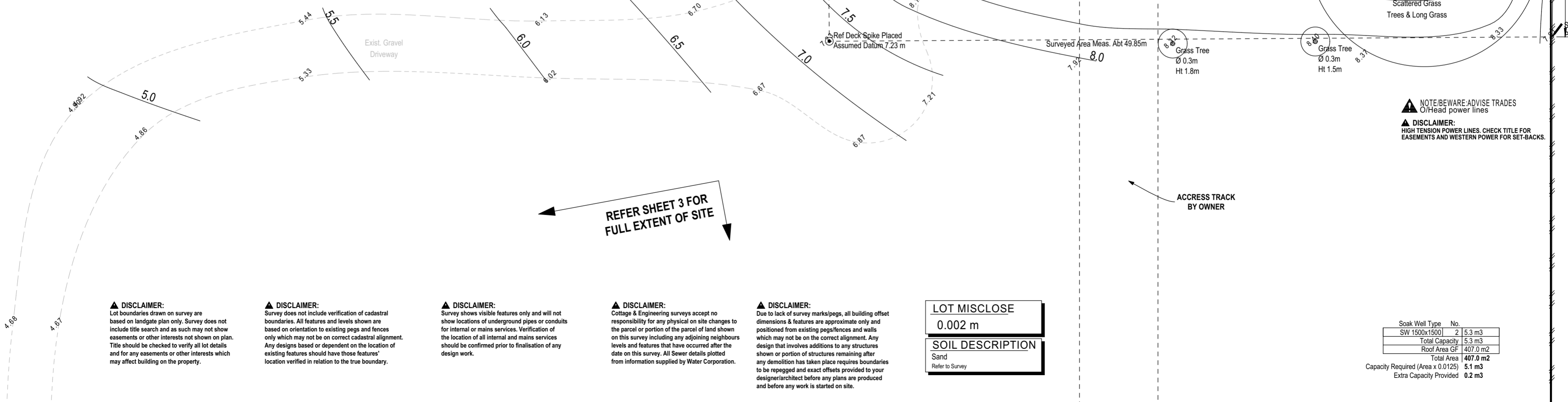
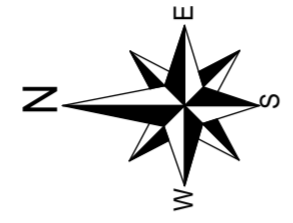
DRAWING NAME: **SITE PLAN** REVISION: **B**  
JOB No: **20583b** SHEET No: **1 OF 10**  
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.  
DATED: .....  
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BUILDER: ..... WITNESS: .....

Rev No:	Variation:	Date Dm:	By:
A	POST PPA 06-01-21	19-01-21	KDS
B	ENG. UPDATE	16-02-21	KDS

Drawn By: KDS Date Drawn: JAN '21 Salesman: ML

**BAL RATING APPLICABLE**  
SITE IS CLASSIFIED BAL 12.5 AS PER ASSESSMENT (REFER TO SHEET 5)

**OWNER IS RESPONSIBLE FOR THE DISCONNECTION & CAPPING OF WATER FROM THE EXISTING PIPING DURING DEMO & CONSTRUCTION**



**REFER SHEET 3 FOR FULL EXTENT OF SITE**

**ACCESS TRACK BY OWNER**

**LOT MISCLOSE**  
0.002 m  
**SOIL DESCRIPTION**  
Sand  
Refer to Survey

**NOTE/BEWARE/ADVISE TRADES**  
O/Head power lines  
**DISCLAIMER:**  
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

Soak Well Type	No	Capacity
SW 1500x1500	2	5.3 m <sup>3</sup>
Total Capacity		5.3 m <sup>3</sup>
Roof Area GF		407.0 m <sup>2</sup>
Total Area		407.0 m <sup>2</sup>
Capacity Required (Area x 0.0125)		5.1 m <sup>3</sup>
Extra Capacity Provided		0.2 m <sup>3</sup>

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

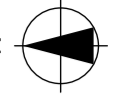
**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

Consumer Pole & Meter Box  
PEG FND NUMB  
Consumer Overhead Power Cable  
Power Pole (H/T)  
Consumer Pole & Meter Box  
Consumer Pole & Meter Box  
Power Pole (H/T)  
Closest Wire to Boundary (High Tension Power Wire)  
83.990  
Lorian Road  
Blumen  
Power Pole (H/T) W/Transformer

83,310 TO CORNER OF LOT

14,890

16,000



114.200

98,734

10,039

18,846

9,958

83,310

14,890

16,000

HWU TANK

ALFRESCO

PROPOSED RESIDENCE

16,000

22,990

STORE

GARAGE

PORCH

3 PHASE GAS / ELECTRIC METERBOX

16,500

83,310

22,990

14,890

16,000

Lorian Road

83,990

57,053

55,153

57,453

57,053

57,055

51,042

92,727

8,500

108.190

83,310 TO CORNER OF LOT

14,890

9,990

Site Setout

Lenzo Court

1:200



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OWNER: ..... WITNESS: .....

BUILDER: ..... WITNESS: .....

HOUSE NAME	THE MANLY		DRAWING NAME	SITE SETOUT		SHEET No.	2 OF 10	REVISION No.	<b>B</b>	JOB No.	<b>20583b</b>
Spec	INFINITY	Rev No.	Variation:	Date Dm:	By:	CLIENT NAME					
Elevation	INCLUDED	A	POST PPA 06-01-21	19-01-21	KDS	D'uva					
		B	ENG. UPDATE	16-02-21	KDS	SITE ADDRESS					
						Lot 247 (#10) Lenzo Court					
						Gnangara					
						SHIRE					
						City of Wanneroo					
						Drawn By	Date Drawn.	Salesperson.			
						KDS	JAN '21	ML			

⊙ DENOTES SETOUT MARKERS

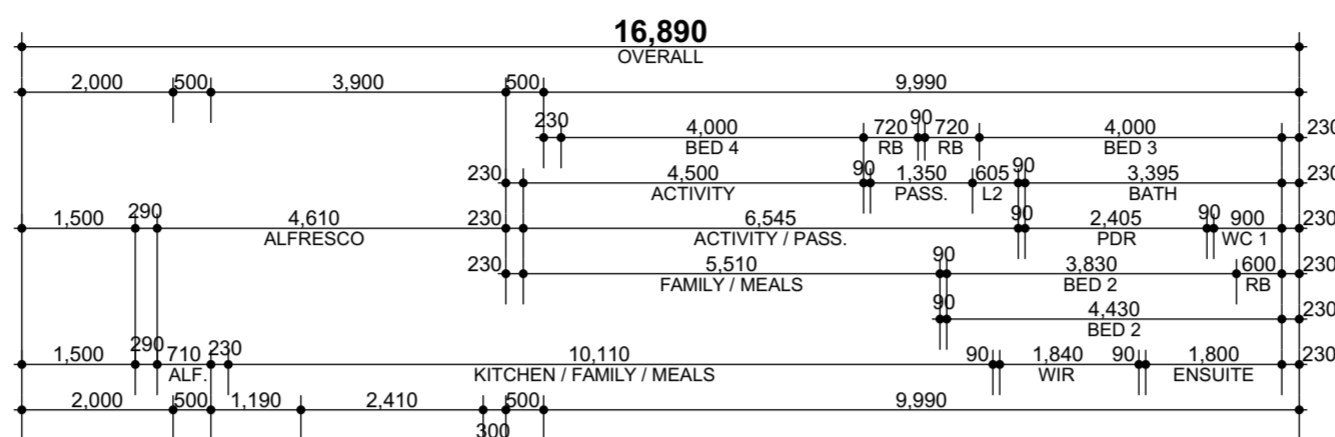
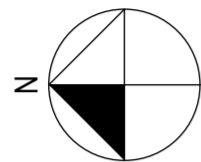
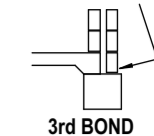
31c CEILINGS TO ENTRY, FAMILY / MEALS & KITCHEN ONLY

28c CEILINGS ELSEWHERE UNLESS NOTED OTHERWISE

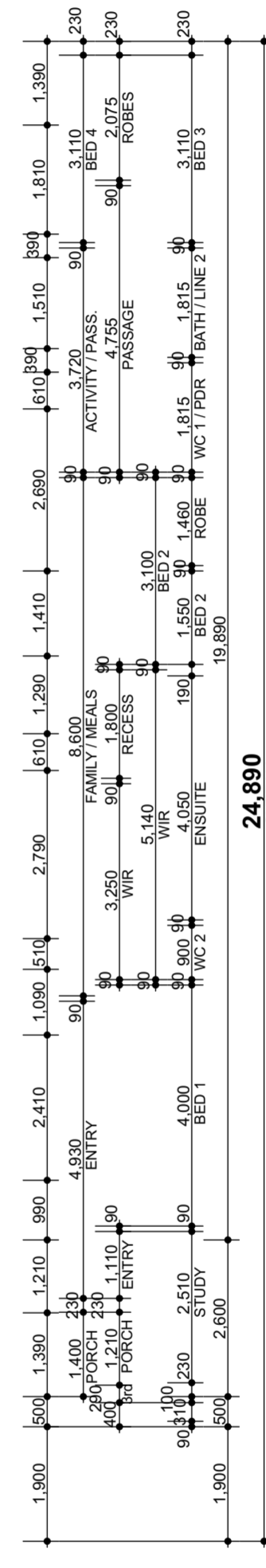
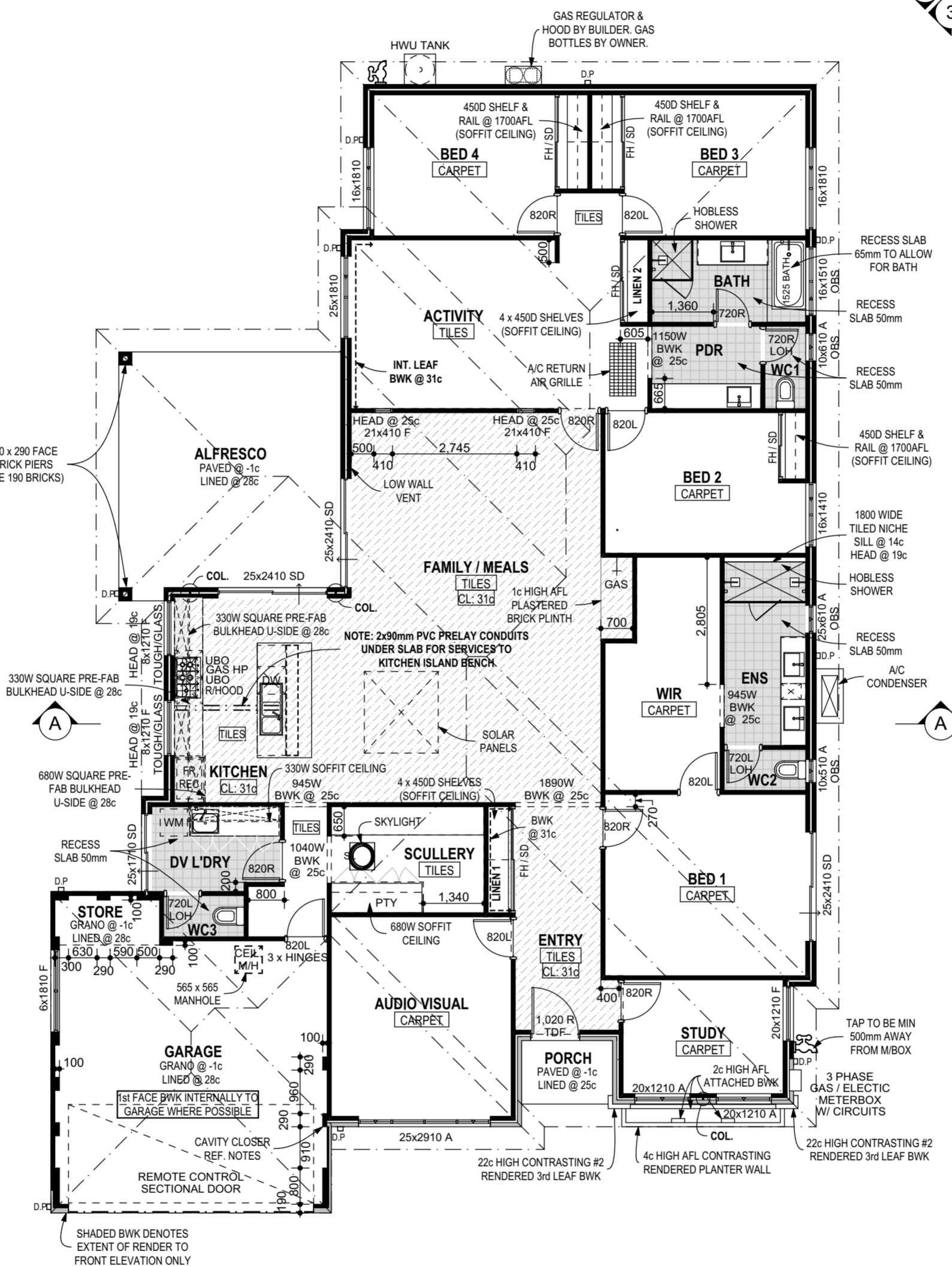
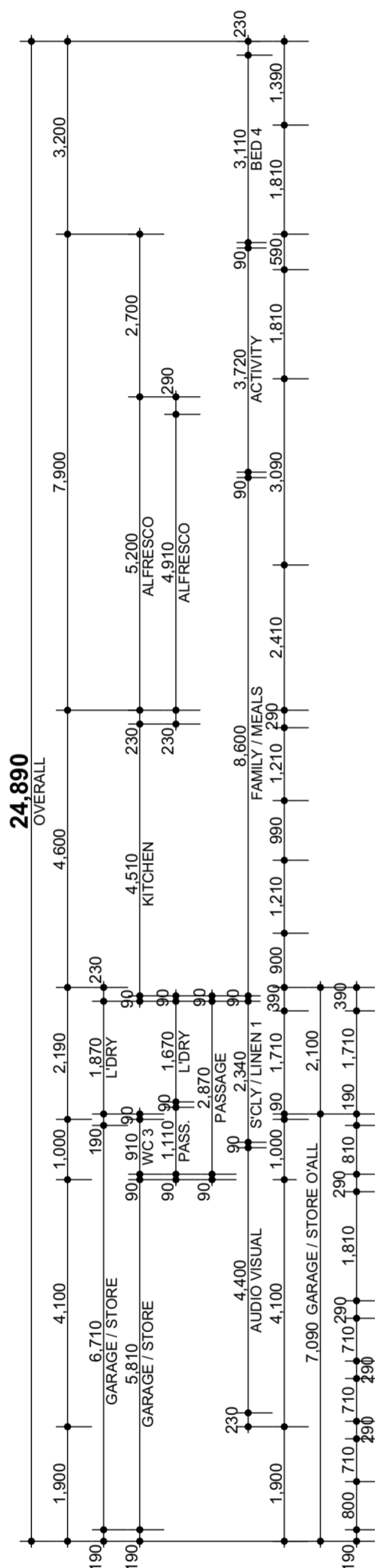
DIMENSIONS SHOWN ON PLAN RELATE TO BRICKWORK SET OUT ONLY. PLEASE ALLOW AN ADDITIONAL 15mm TO EACH WALL FOR PLASTER. THIS ALLOWANCE SHOULD BE CONSIDERED WHEN CALCULATING CLEARANCES FOR FUTURE FITTINGS

BAL RATING APPLICABLE SITE IS CLASSIFIED BAL 12.5 AS PER ASSESSMENT (REFER TO SHEET 5)

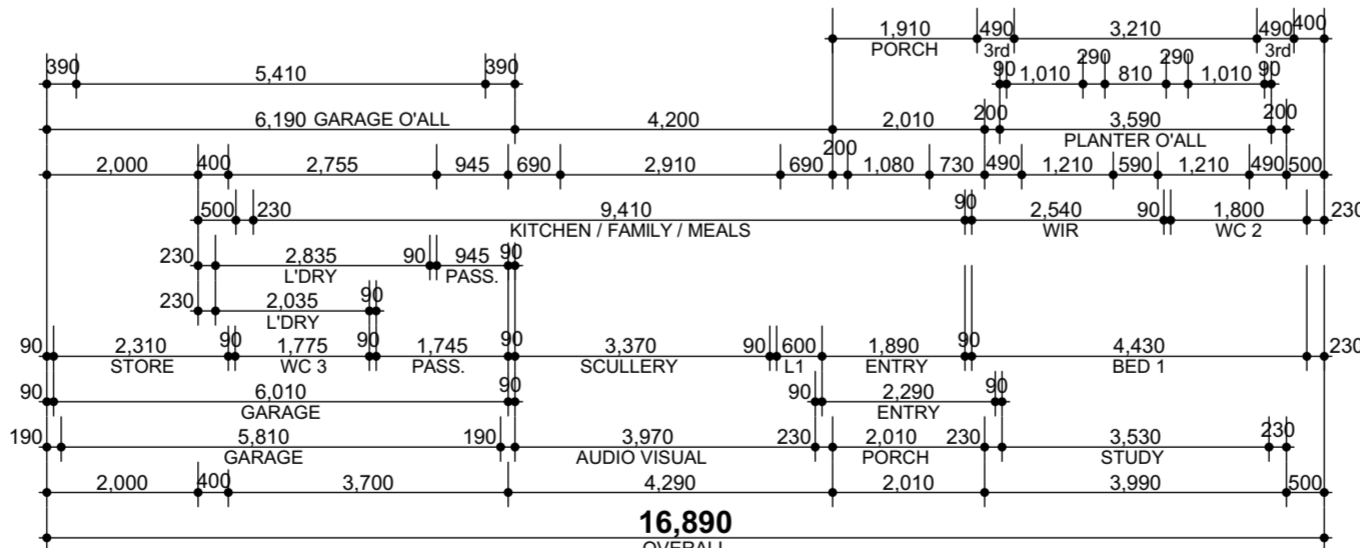
BRICK LAYER NOTE: EXTERNAL BRICKS TO BE 290 x 162 x 90 (1st external course to be a 2 course brick)



2/3



4/1



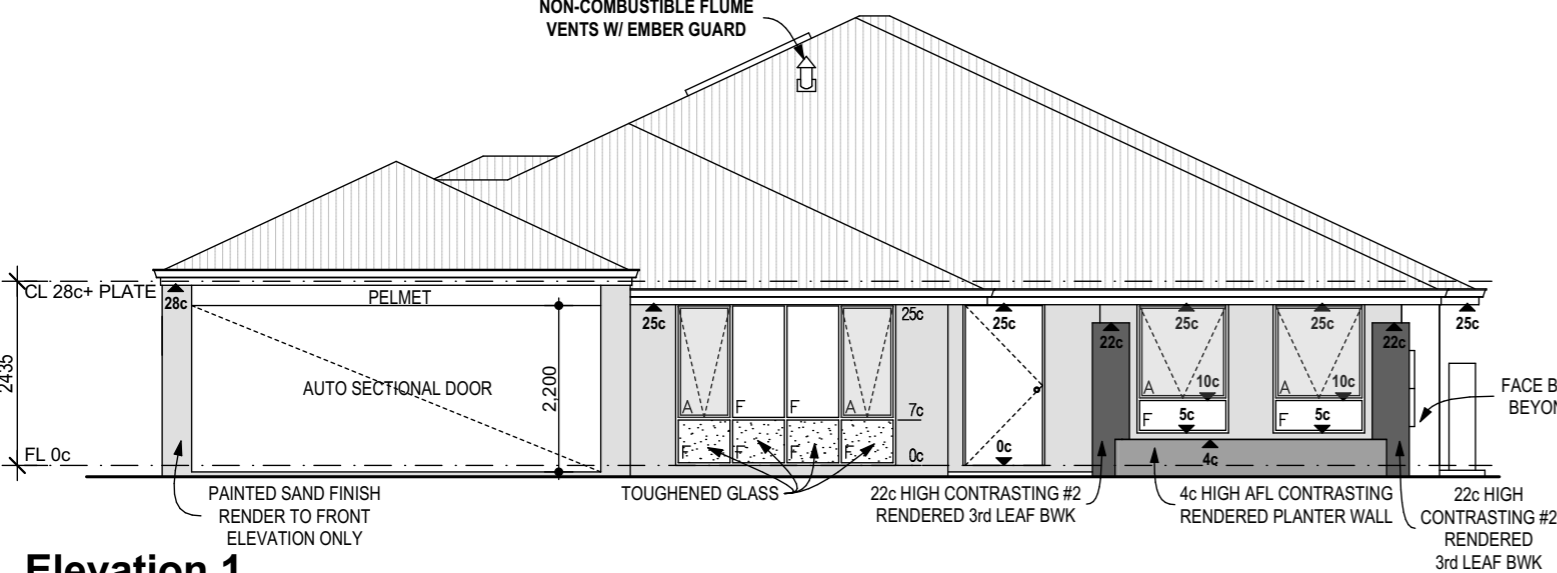
**NOTES:**  
 - EXTERNAL WALLS CONSIST OF 230 WIDE CAVITY BRICK CONST. UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF  
 - ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.  
 - CAVITY INSULATION AS REQUIRED - REFER SHEET 10  
 - R 4.0 FIBREGLASS BATT CEILING INSULATION TO HOUSE AND GARAGE AREAS ONLY AND VERTICALLY WHERE REQUIRED  
 - CAVITY BREACHES - BRICKLAYER TO BUILD IN CONCEALED, FULL HEIGHT FLASHING BETWEEN CAVITY CLOSER & INTERNAL LEAF.  
 - PROVIDE COLD WATER PLUMBING ONLY TO DW REC  
 - EUROPEAN BORER: TREATMENT PROTECTION FOR ALL TIMBER ROOF FRAMING TO BE H2 HAZARD LEVEL IN ACCORDANCE WITH A.S. 1604  
 - PROVIDE REFLUX VALVE  
 - PROVIDE 3 PHASE POWER TO M/BOX  
 - FINAL DOWNPIPE LOCATION IS DETERMINED ON SITE AND IS AT THE ROOF PLUMBERS DISCRETION  
 - PROVIDE 1170mm x 570mm FRAME OUT SIZE FOR A/C RETURN AIR GRILLE  
 - PROVIDE ANTICON TO ENTIRE ROOF AREA

Area Names	Area	Perimeter
HOUSE AREA	284.97	78.56
GARAGE	36.77	24.38
ALFRESCO	25.77	20.78
PORCH	2.81	6.82
STORE	2.62	7.06
ROOF AREA	386.97	---

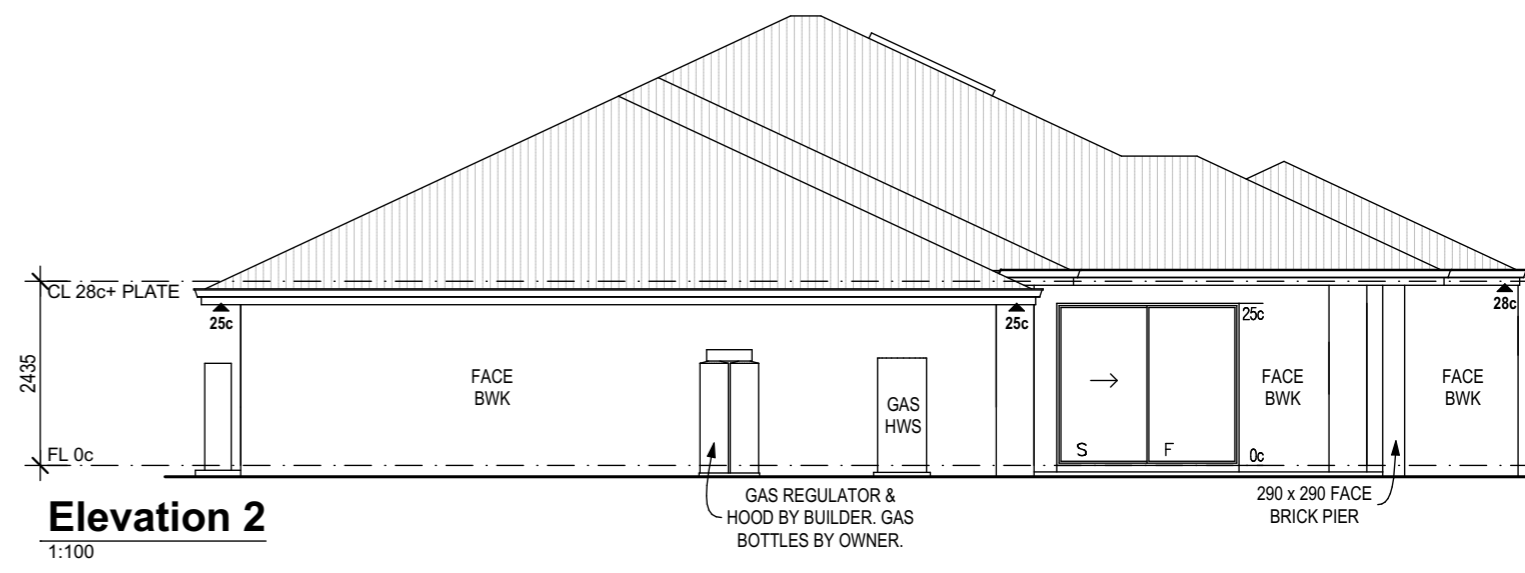
**FLOOR PLAN**

1:100

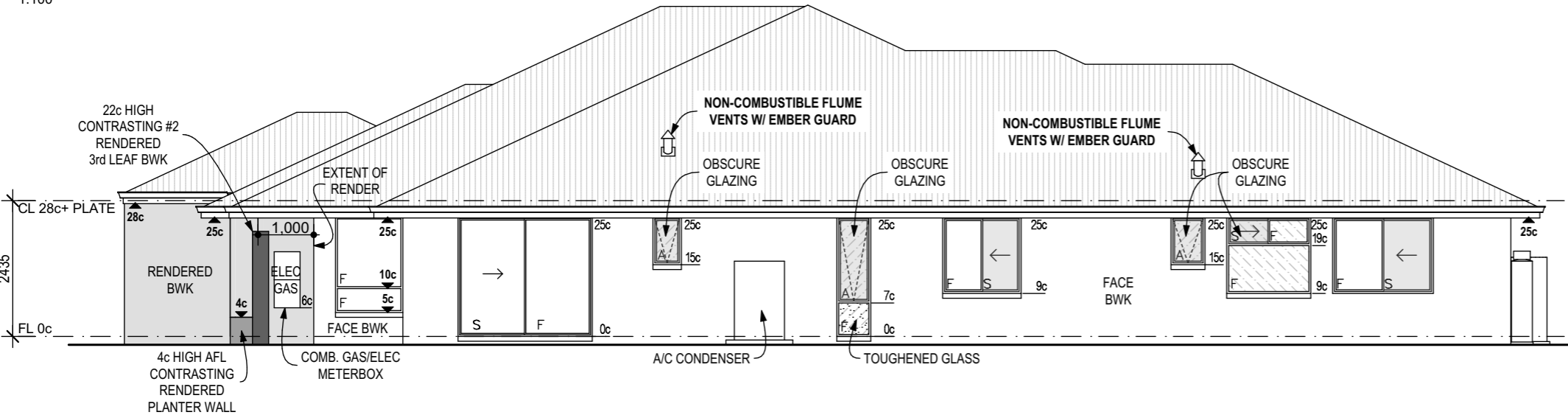
<p>Unit 22, 257 BALCATTA RD BALCATTA W.A. 6021                  PHONE : (08) 6241 4888                  www.blueprinthomes.au</p> <p>BluePrint Homes WA Pty Ltd reserves the right to vary dimensions and materials from those on display. Please check plans, specifications and addenda carefully. All dimensions to take preference over scaling.</p> <p>© COPYRIGHT This plan shall remain the sole property of the builder and must not be given, lent, resold or otherwise disposed or copied without the permission in writing of the builder.</p>	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT DATED: ..... OWNER: ..... OWNER: ..... BUILDER: .....	HOUSE NAME <b>THE MANLY</b> Spec INFINITY Elevation INCLUDED	DRAWING NAME <b>FLOOR PLAN</b> VARIATIONS Rev No. Variation: Date Dm: By: KDS 19-01-21 B ENG. UPDATE 16-02-21 KDS	SHEET No. 4 OF 10 CLIENT NAME <b>D'uva</b> SITE ADDRESS <b>Lot 247 (#10) Lenzo Court Gnarangara</b> SHIRE <b>City of Wanneroo</b> Drawn By: KDS Date Drawn: JAN '21 Salesperson: ML	REVISION No. JOB No. <b>B 20583b</b>
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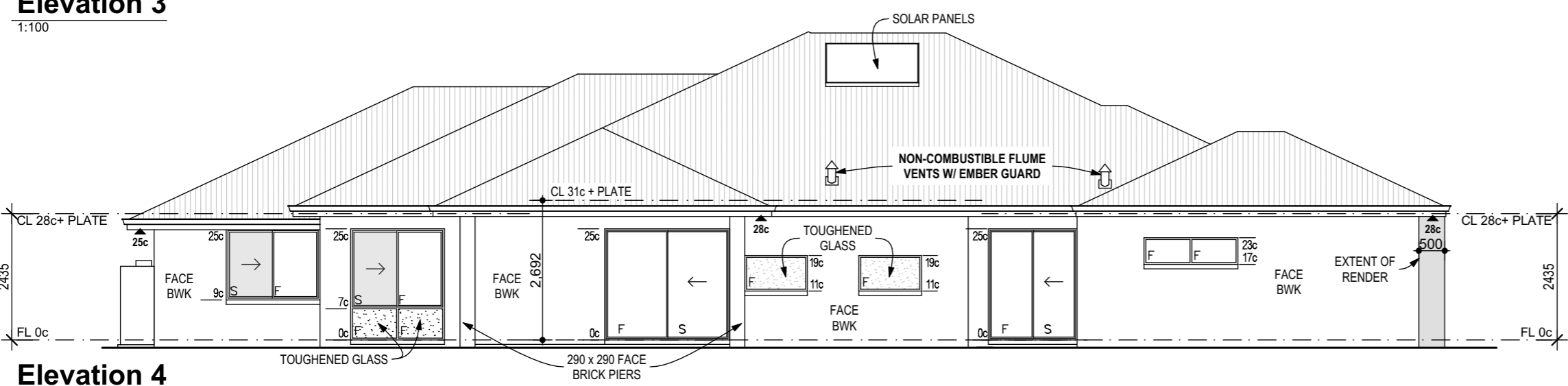
**Elevation 1**  
1:100



**Elevation 2**  
1:100



**Elevation 3**  
1:100



**Elevation 4**  
1:100

**CUSTOM ORB METAL DECK ROOF @ 25° PITCH**

**31c CEILINGS TO ENTRY, FAMILY / MEALS & KITCHEN ONLY**

**28c CEILINGS ELSEWHERE UNLESS NOTED OTHERWISE**

**BAL RATING APPLICABLE SITE IS CLASSIFIED BAL 12.5 AS PER ASSESSMENT**

**SCREENING TO WINDOWS & DOORS, OPENABLE PARTS THROUGHOUT SHOWN SHADED ON ELEVATIONS**

**ALL ABOVE GROUND EXPOSED WATER AND GAS PIPES TO BE METAL**

**NOTE: BAL 12.5 REQUIREMENTS**

- SCREENING MESH TO VENTS, WEEP HOLES & OPENABLE SECTIONS OF WINDOWS AND GLAZED DOORS TO BE MADE FROM ALUMINIUM, BRONZE OR STEEL AND ANY APERTURE NOT TO BE GREATER THAN 2mm.
- ROOF TO BE FULLY SEALED WITH ANTICON.
- PROVIDE NON-COMBUSTIBLE PIPES PENETRATING ROOF SPACE.
- VENT PIPES TO BE FITTED WITH EMBER GUARDS.
- EAVES LINING TO BE SEALED WITH PLASTIC JOINING STRIPS.
- WINDOW & GLAZED DOORS WITHIN 400mm OF THE GROUND REQUIRE PROTECTION, GLAZING TO BE GRADE 'A' SAFETY GLASS WITH A MINIMUM 4mm THICKNESS.
- SLIDING DOOR GLAZING IS TO BE GRADE 'A' SAFETY GLASS WITH A MINIMUM 4mm THICKNESS.
- WEATHER STRIPS TO ALL EXTERNAL DOORS.
- SOLID TIMBER DOOR PORTION 400mm ABOVE GROUND TO A MIN 35mm THICK.
- GABLES TO BE SEALED WITH NO GAPS GREATER THAN 3mm.
- GARAGE SECTIONAL DOOR PORTION WITHIN 400mm OF THE GROUND MUST BE NON-COMBUSTIBLE, NO VENT SLOTS & FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR GUIDE TRACKS SUITABLE TO DOOR TYPE W/ MAX. GAP NO GREATER THAN 3mm.

**blueprint HOMES**

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OWNER: ..... WITNESS: .....

BUILDER: ..... WITNESS: .....

HOUSE NAME <b>THE MANLY</b>		DRAWING NAME <b>ELEVATIONS</b>		SHEET No. <b>5 OF 10</b>	REVISION No. <b>B</b>	JOB No. <b>20583b</b>
Spec <b>INFINITY</b>		VARIATIONS		CLIENT NAME <b>D'uva</b>		
Elevation <b>INCLUDED</b>		Rev No. A B	Variation: POST PPA 06-01-21 ENG. UPDATE	Date Dm: 19-01-21 16-02-21	By: KDS KDS	SITE ADDRESS <b>Lot 247 (#10) Lenzo Court Gnangara</b>
				SHIRE <b>City of Wanneroo</b>		
		Drawn By KDS	Date Drawn. JAN '21	Salesperson. ML		