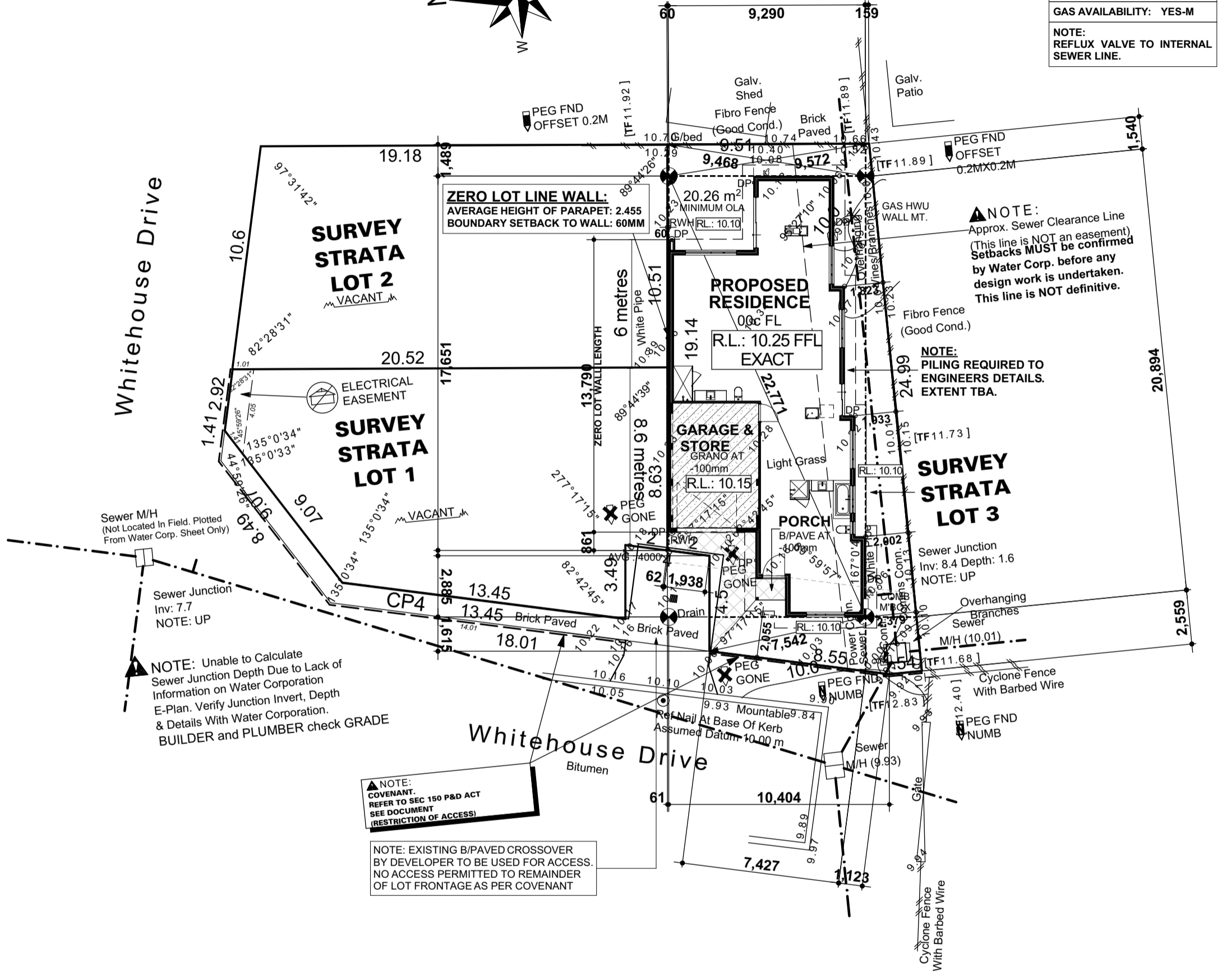
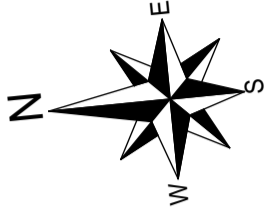


S:\Drafting\Working Drawings\FHOC\F1587 Chapman\Archicad Files\F1587 Chapman R02.pln  
 Last accessed: mark.burton on 3/02/2021

# CONTRACT PLANS

AVELING HOMES HAS THE COPYRIGHT PROTECTION ON ANY DRAWINGS OR PRELIMINARY DESIGNS THAT ARE ISSUED TO CLIENTS. THESE PLANS CANNOT BE COPIED OR UTILISED BY ANYONE OTHER THAN AVELING HOMES PTY. LTD. WITHOUT THE EXPRESS PERMISSION OF AVELING HOMES PTY. LTD.

REFER TO ENGINEERS SITE INSPECTION REPORT FOR FOUNDATION & FOOTING REQUIREMENTS:	
SITE CLASS:	A
WIND CLASS:	N1
TERRAIN CAT:	TC3
TOPOGRAPHY:	T0
CORR. CLASS:	R3
NOTE: REFER TO SLAB SETOUT PLAN FOR SLAB, PLUMBING PRELAY AND WET AREA SETOUT	
NOTE: REFLUX VALVE TO INTERNAL SEWER LINE.	
STORMWATER DISPOSAL BY BUILDER TO MINIMUM COUNCIL REQUIREMENTS (SOAKWELLS)	
GAS AVAILABILITY: YES-M	
NOTE: REFLUX VALVE TO INTERNAL SEWER LINE.	



NOTE: Unable to Calculate Sewer Junction Depth Due to Lack of Information on Water Corporation E-Plan. Verify Junction Invert, Depth & Details With Water Corporation. BUILDER and PLUMBER check GRADE

NOTE: COVENANT. REFER TO SEC 150 P&D ACT SEE DOCUMENT (RESTRICTION OF ACCESS)

NOTE: EXISTING B/PAVED CROSSOVER BY DEVELOPER TO BE USED FOR ACCESS. NO ACCESS PERMITTED TO REMAINDER OF LOT FRONTAGE AS PER COVENANT

NOTE: Approx. Sewer Clearance Line (This line is NOT an easement) Setbacks MUST be confirmed by Water Corp. before any design work is undertaken. This line is NOT definitive.

NOTE: PILING REQUIRED TO ENGINEERS DETAILS. EXTENT TBA.

SITE COVERAGE	
ZONED	R40
% ALLOWED	55%
SITE AREA	252.99m <sup>2</sup>
SITE COV. AREA	143.47m <sup>2</sup>
<b>OPEN SPACE = 43.3%</b>	

LEGEND	
	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

Elec. <input type="checkbox"/>	(See Note)	U/Ground(To be Est)	Water	(See Note)	Yes	Sewer	(See Note)	Yes
Gas	(See Note)	Check Your Lot With Alinta Call 13 13 58	Phone Comm	(See Note)	Not loc.	Footpath	Brick	
Road	Bitumen	Kerb	Mountable	Drainage	Good			

**COTTAGE & ENGINEERING SURVEYS**  
 Licensed Surveyors  
 87-89 Guthrie Street, Osborne Park, Western Australia  
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
 Email: perth@cottage.com.au Website: www.cottage.com.au  
 J/No: 488752 Drawn: B. Saliba

PLANNING REQ'D:	YES
CODE VARIATION REQ'D:	YES
<b>BOUNDARY WALL LENGTH, PARKING</b>	
<b>ENERGY EFFICIENCY REQUIREMENTS</b>	
CAVITY WALL INSULATION:	NIL
LIVING CEILING INSULATION:	R4.1
GARAGE CEILING INSULATION:	NIL
ROOF INSULATION:	NIL or BAL SPEC.
DESIGN CHANGES:	NIL
WINDOW GLAZING:	SINGLE CLEAR
ENERGY RATING COMPLETE:	NO

PAVING & GRANO AREA	
GRANO - GARAGE / STORE	24.29
PAVING - DRIVE	10.28
PAVING - PORCH	1.38
<b>TOTAL</b>	<b>35.95 m<sup>2</sup></b>

**FIRST HOME OWNERS CENTRE**  
 Anything's possible  
 BUILDING CONTRACTOR N° 12788  
 Level 1, 42 Cedric Street, Stirling WA 6021  
 Phone (08) 6144 1000 Fax (08) 6144 1004  
 © Copyright 2020 FIRST HOME OWNERS CENTRE

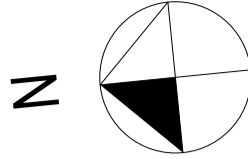
Drwg: **SITE PLAN**  
 Client: **CHAPMAN**  
 Site: **SSL3 (#18) WHITEHOUSE DRIVE, KOONDOOLA**  
 Map Ref: StreetSmart® - 282-25/72

CONTRACTS		- CUSTOM	
OWNER.....	DATE.....	Rev: 01	Date: 14/01/21
OWNER.....	DATE.....	02	03/02/21
OWNER.....	DATE.....	03	
OWNER.....	DATE.....	04	
OWNER.....	DATE.....	05	
OWNER.....	DATE.....	06	
OWNER.....	DATE.....	07	

Local Authority:	<b>WANNEROO</b>	Job No:	<b>F1587</b>
Date Dm:	<b>18/12/20</b>	Dm By:	OT
Check:	FN	Sales:	MM
Scale:	1:200	Sheet #01	Rev: 02

# CONTRACT PLANS

AVELING HOMES HAS THE COPYRIGHT PROTECTION ON ANY DRAWINGS OR PRELIMINARY DESIGNS THAT ARE ISSUED TO CLIENTS. THESE PLANS CANNOT BE COPIED OR UTILISED BY ANYONE OTHER THAN AVELING HOMES PTY. LTD. WITHOUT THE EXPRESS PERMISSION OF AVELING HOMES PTY. LTD.



(U.N.O.) UNLESS NOTED OTHERWISE ON PLAN THE FOLLOWING SHALL APPLY:

**BRICKLAYER NOTE**  
6mm RODS & 3" OF LONGREACH BRICK TO TOP OF INTERNAL WALLS BETWEEN Z-Z.

EXTENT OF RENDER BETWEEN R-R.

REFER TO CONSTRUCTION DETAIL SHEET & ENGINEER CERTIFIED DETAILS

REFER TO ENGINEERS TIE DOWN DETAILS

**ROOF CARPENTER NOTE**

REFER TO ENGINEERS TIE DOWN DETAILS

REFER TO BUILDERS ROOF CARPENTER SPECIFICATION.

**FIXING CARPENTER NOTE**

PROVIDE GALLOW'S BRACKET SUPPORT TO SHELVES OVER 1800mm LONG (MAX. 1800<sup>CT</sup>)

ALL SHELVES 450 DEEP (U.N.O.)

HANG RAIL CENTRE TO BE 250mm OFF WALL/ BACK OF SHELF.

WIR/ROBE: SHELF & RAIL AT 1800mm A.F.L.

PANTRY: 4 SHELVES TOP SHELF AT 1800mm A.F.L. BOTTOM SHELF AT 600mm A.F.L. EQ. SPACE SHELVES BETWEEN

LINEN: 4 SHELVES TOP SHELF AT 1800mm A.F.L. EQ. SPACE ALL SHELVES TO F.F.L.

BROOM: 1 x SHELF AT 1800mm A.F.L.

PROVIDE DRAFTPROOF SEAL TO ENTRY, GARAGE/ENTRY & LAUNDRY EXTERNAL DOORS WHERE APPLICABLE

TOWEL RAILS FIXED AT 1100mm A.F.L.

**CLIENT NOTE**

NOTED DIMENSIONS WILL TAKE PREFERENCE TO SCALE.

DIMENSIONS SHOWN ON PLANS ARE TO BRICKWORK. INTERNAL SPACES WILL ALTER IN SIZE TO ACCOMMODATE WALL FINISHES

HIFLEX TO ALL EXTERNAL CEILINGS & EAVE LININGS U.N.O.

NUMBER AND SPACING OF RAIN WATER PIPES IS APPROXIMATE & GOVERNED BY ROOF STRUCTURE & AT THE PLUMBERS DISCRETION.

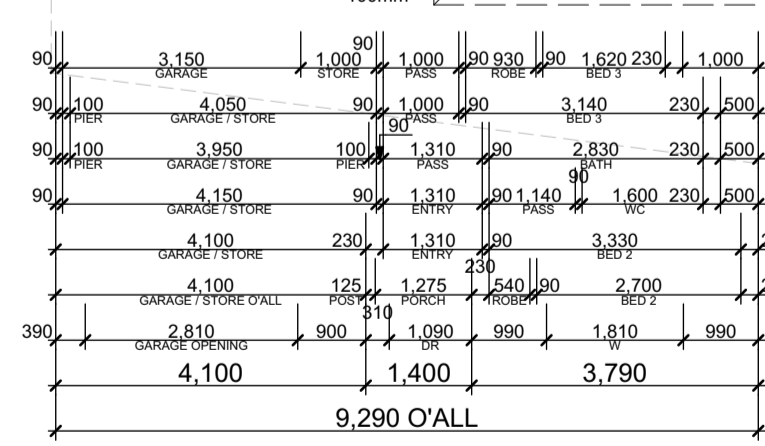
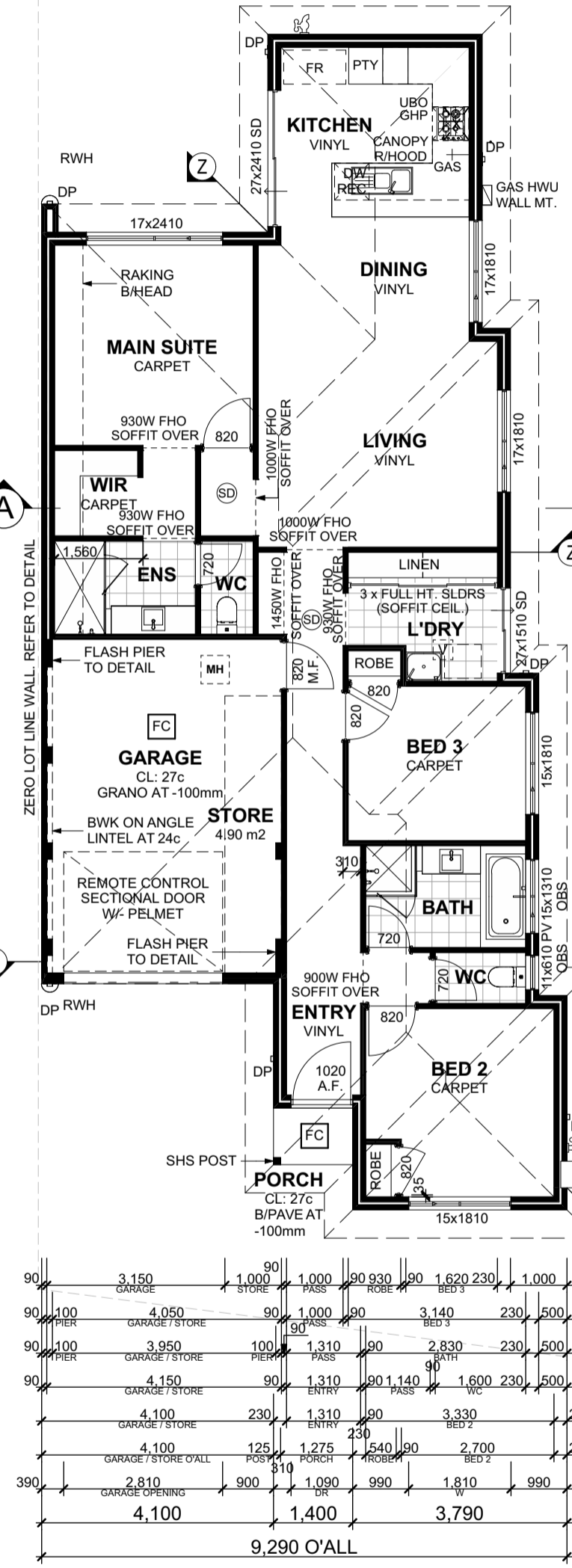
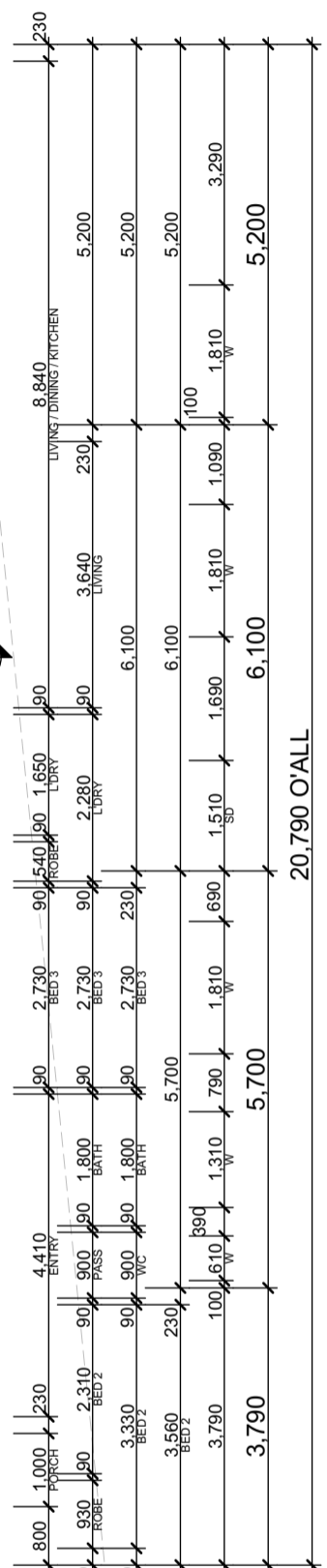
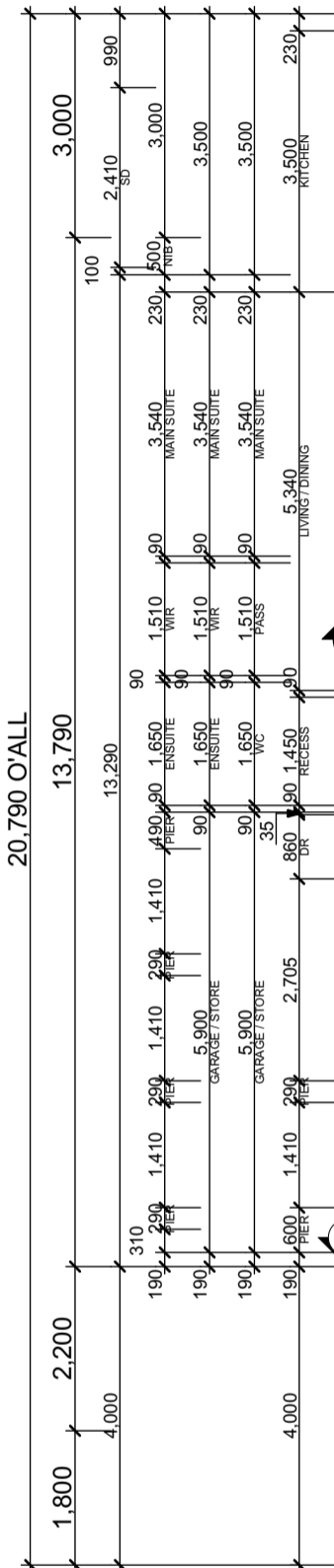
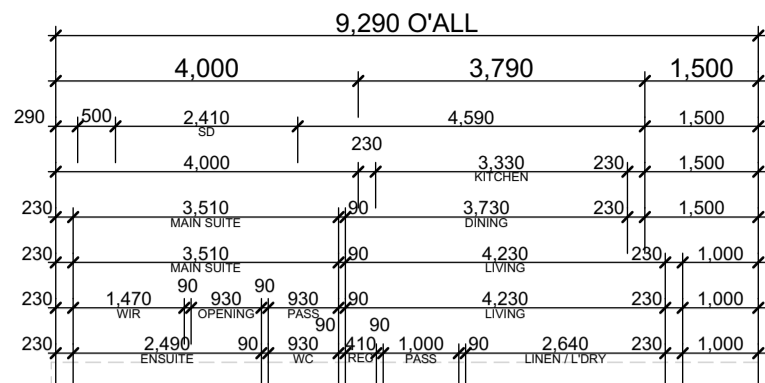
ALL STRUCTURAL BEAMS IN ACCORDANCE WITH THE ENGINEERS SIGNED DETAILS AND SPECIFICATIONS

**LEGEND:**

RL	REDUCED LEVEL
FFL	FINISHED FLOOR LEVEL
AFL	ABOVE FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
GF	GROUND FLOOR
FF	FIRST FLOOR
SF	SECOND FLOOR
FL	FLOOR LEVEL
CL	CEILING LEVEL
PD	PLUMBING DUCT
WP	WALL PLATE
AF	ALUMINIUM FRAME
MF	METAL FRAME
TF	TIMBER FRAME
CSD	CAVITY SLIDING DOOR
PL	PRIVACY LOCK
OBS	OBSOLETE GLASS
DG	DOUBLE GLAZING
DR	DOUBLE REBATE
GB	GLAZING BARS
PB	PLASTERBOARD
FC	FIBRE CEMENT
SC	SKIM COAT (PLASTER)
PF	PAINT FINISH
PFR	PAINT FINISH RENDER
AT	ACRYLIC TEXTURE
EPS	EXPANDED POLYSTYRENE
DP	DOWNPIPE
SPDR	SPREADER
RWH	RAIN WATER HEAD
NTB	NOT TO BOND
FW	FLOOR WASTE

**ENERGY EFFICIENCY REQUIREMENTS**

CAVITY WALL INSULATION: **NIL**  
(Extent between markers X-X)  
LIVING CEILING INSULATION: **R4.1**  
GARAGE CEILING INSULATION: **NIL**  
ROOF INSULATION: **NIL or BAL SPEC.**  
DESIGN CHANGES: **NIL**  
WINDOW GLAZING: **SINGLE CLEAR**  
ENERGY RATING COMPLETE: **NO**



**NOTE:**  
CEILING **30c + WALL PLATE** UNLESS NOTED OTHERWISE.  
**METAL DECK ROOF AT 25°, EAVE 500MM**  
02c DOUBLE HEIGHT FACE BRICK  
ACRYLIC TEXTURE ON RENDER FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.

**NOTE:**  
REFLUX VALVE TO INTERNAL SEWER LINE

**NOTE:**  
REFER TO SLAB SETOUT PLAN FOR SLAB, PLUMBING PRE-LAY AND WET AREA SETOUT

ID	FLOOR PLAN	M <sup>2</sup>	PERIM.
GF	PROPOSED RESIDENCE	117.67	60.44
GF	GARAGE & In STORE	25.80	20.66
GF	PORCH	1.40	4.80
		<b>144.87 m<sup>2</sup></b>	<b>85.90 m</b>
ID	ROOF	M <sup>2</sup>	PERIM.
GF	ROOF AREA GF	165.77	62.98

Drwg: **FLOOR PLAN GF**  
Client: **CHAPMAN**  
Site: **SSL3 (#18) WHITEHOUSE DRIVE, KOONDOOLA**  
Map Ref: StreetSmart® - 282-25/72

**CONTRACTS - CUSTOM**

OWNER..... DATE.....  
OWNER..... DATE.....  
BUILDER..... DATE.....

Local Authority: **WANNEROO**  
Job No: **F1587**  
Date Dm: **18/12/20**  
Dm By: OT  
Check: FN  
Sales: MM  
Scale: 1:100  
Sheet #02 Rev: 02

BUILDING CONTRACTOR N° 12788  
Level 1, 42 Cedric Street, Stirling WA 6021  
Phone (08) 6144 1000 Fax (08) 6144 1004  
© Copyright 2020 FIRST HOME OWNERS CENTRE

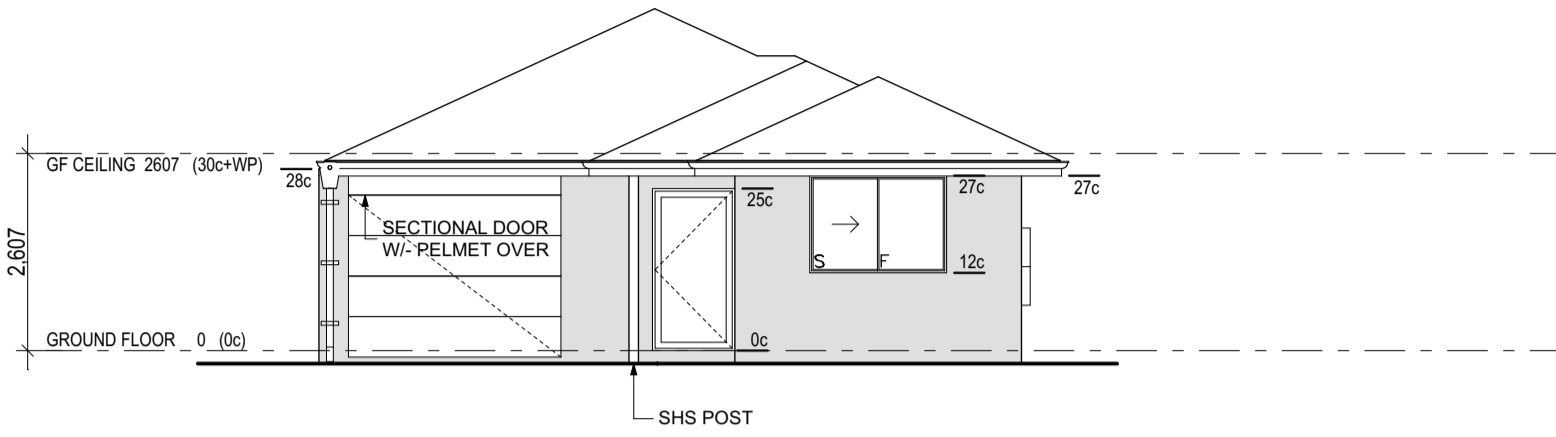
Last accessed: mark.burton on 3/02/2021

# CONTRACT PLANS

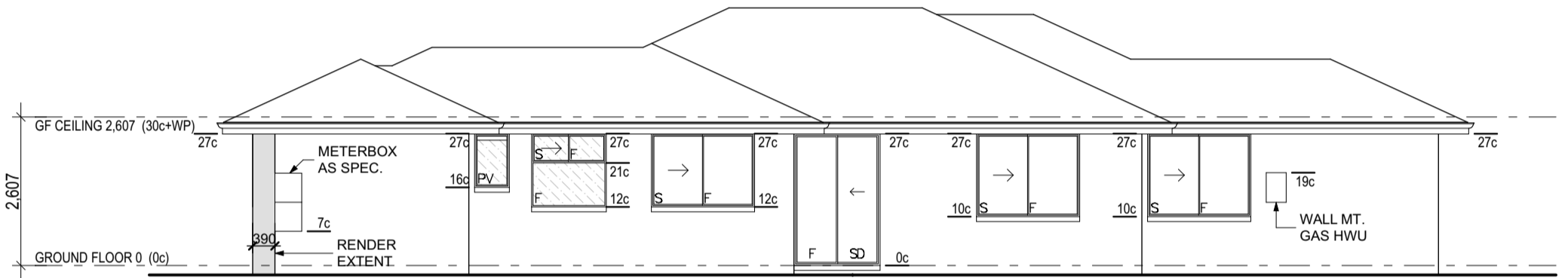
**NOTE:**  
LIGHT GREY SHADING TO RENDER INDICATES PRIMARY COLOUR

AVELING HOMES HAS THE COPYRIGHT PROTECTION ON ANY DRAWINGS OR PRELIMINARY DESIGNS THAT ARE ISSUED TO CLIENTS. THESE PLANS CANNOT BE COPIED OR UTILISED BY ANYONE OTHER THAN AVELING HOMES PTY. LTD WITHOUT THE EXPRESS PERMISSION OF AVELING HOMES PTY. LTD.

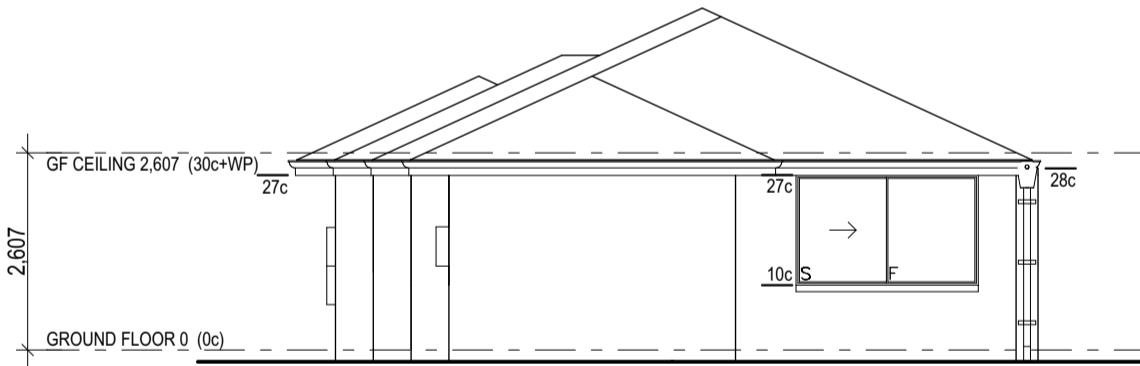
**NOTE:**  
CEILING 30c + WALL PLATE UNLESS NOTED OTHERWISE.  
**METAL DECK ROOF AT 25°, EAVE 500MM**  
02c DOUBLE HEIGHT FACE BRICK  
ACRYLIC TEXTURE ON RENDER FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.



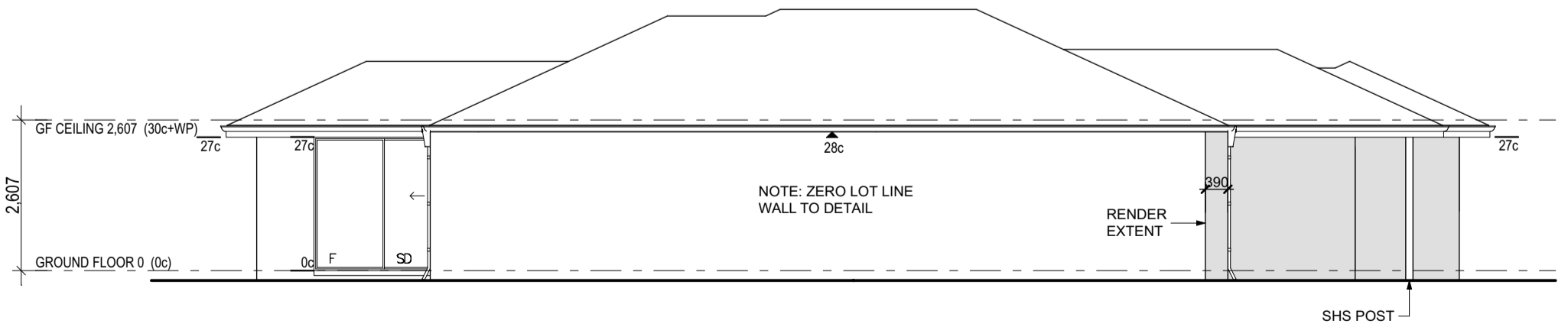
**ELEVATION 1**  
1:100



**ELEVATION 2**  
1:100



**ELEVATION 3**  
1:100



**ELEVATION 4**  
1:100

<p><b>FIRST HOME OWNERS CENTRE</b> <i>Anything's possible</i></p> <p>BUILDING CONTRACTOR N° 12788 Level 1, 42 Cedric Street, Stirling WA 6021 Phone (08) 6144 1000 Fax (08) 6144 1004 © Copyright 2020 FIRST HOME OWNERS CENTRE</p>	<p>Drwg: <b>ELEVATIONS</b></p> <p>Client: <b>CHAPMAN</b></p> <p>Site: <b>SSL3 (#18) WHITEHOUSE DRIVE, KOONDOOLA</b></p> <p>Map Ref: StreetSmart® - 282-25/72</p>	<p><b>CONTRACTS</b></p> <p>OWNER..... DATE.....</p> <p>OWNER..... DATE.....</p> <p>BUILDER..... DATE.....</p>	<p><b>- CUSTOM</b></p> <p>Rev: 01 Date: 14/01/21 02 Date: 03/02/21 03 04 05 06 07</p> <p>Amendment: Working Drawings add Site Plan</p>	<p>Local Authority: <b>WANNEROO</b></p>	<p>Job No: <b>F1587</b></p> <p>Date Dm: <b>18/12/20</b></p> <p>Dm By: OT</p> <p>Check: FN</p> <p>Sales: MM</p> <p>Scale: 1:100</p> <p>Sheet #03 Rev: 02</p>
---	--	---	--	---	---