



Woolworths Mindarie

Corner Marmion Ave + Neerabup Rd, Mindarie

PLANNING APPLICATION PACKAGE

ISSUED FOR DEVELOPMENT APPROVAL 19 MARCH 2021

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02	SURVEY	A
03	SITE PLAN	A
04	FLOOR PLAN	A
05	ELEVATIONS	A
06	SECTIONS	A
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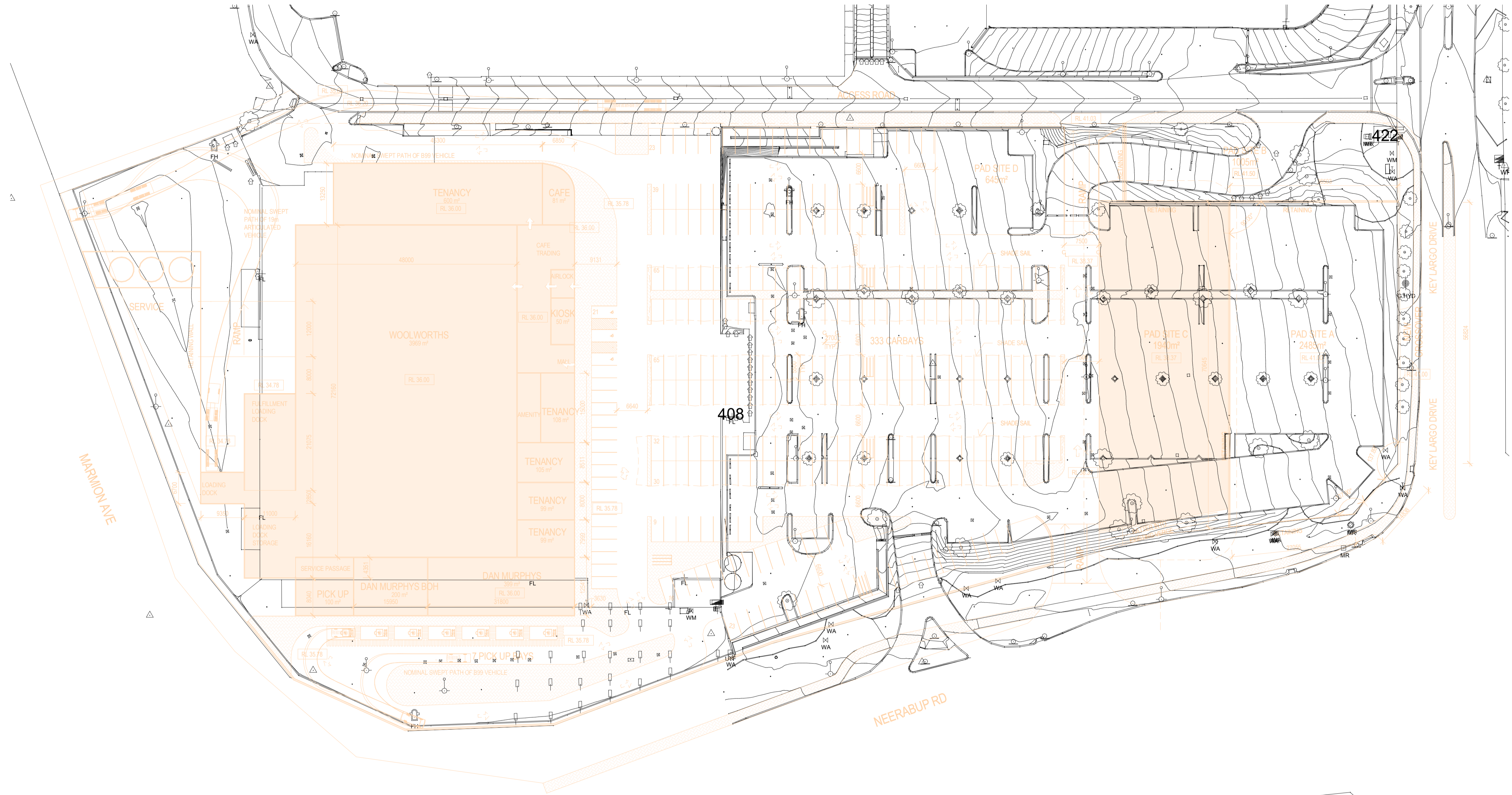
9/300 Rokeby Road, Subiaco, Western Australia 6004
Telephone : 08 6382 0303 ABN 65 007 846 586
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WOOLWORTHS MINDARIE

COVER SHEET

Scale		
Drawn	BF	Checked BF
Date	17/03/21	
Job No.	2020045	
Dwg No.	3348 01	Rev: A A1 SHEET



SURVEY PLAN

1 : 500

SURVEY PLAN WITH PROPOSED CONCEPT OVERLAYED [ORANGE]

PRODUCED BY OTHERS

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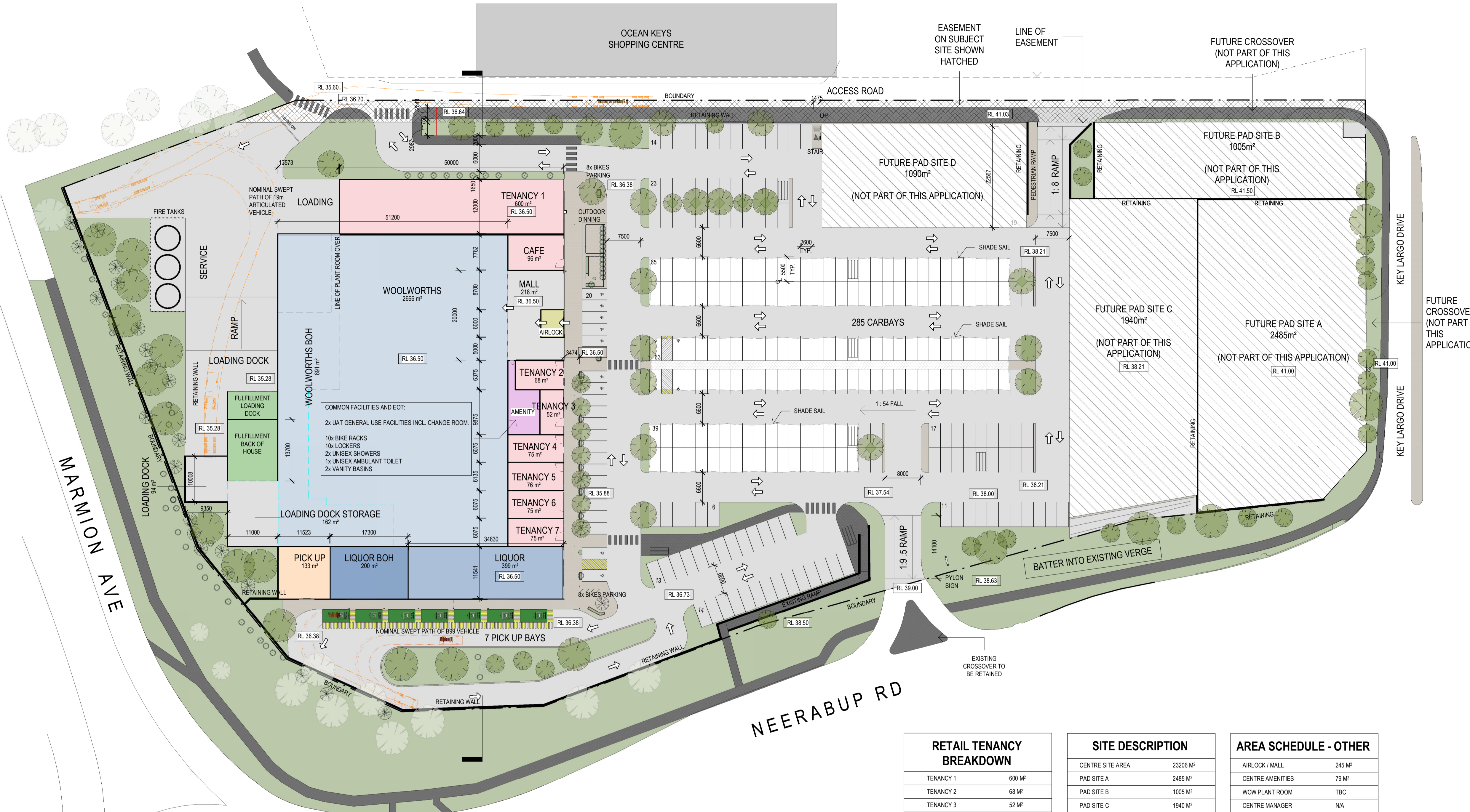
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SURVEY

Scale 1 : 500
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 Date 17/03/21
 Job No. 2020045
 Dwg No. 3348 02 Rev. A A1 SHEET

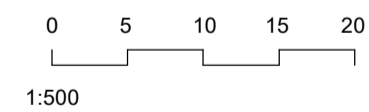


KIT COMPLIANCE CHECKLIST	Y/N
(A) CAR PARK RATIO 5 CAR SPACE PER 100M ² OF GLA	Y 5.00/100
(B) SHADE SAILS MINIMUM 35% OF CAR BAYS REQUIRED TO BE COVERED	Y 159/291 54.6%
(C) CAR BAY SIZE MINIMUM 2.6 x 5.5m	Y
(D) CAR PARK AISLE WIDTH MINIMUM 6.5m	Y
(E) 80% OF CARS WITHIN 100m RADIUS OF SUPERMARKET ENTRY	Y 273/291 93.8%
(F) 2 WAY CAR PARK CIRCULATION THROUGHOUT	Y
(G) MAX. 1:40 FALL ACROSS CARPARK	Y
(H) TROLLEY BAYS MINIMUM 1 PER 40 CARS	N 1 / 41.6
(I) CAR PARK ACCESS POINTS MINIMUM 7.2m WIDE SPLAY	Y



SITE PLAN

1: 500



RETAIL TENANCY BREAKDOWN	
TENANCY 1	600 M ²
TENANCY 2	68 M ²
TENANCY 3	52 M ²
TENANCY 4	75 M ²
TENANCY 5	76 M ²
TENANCY 6	75 M ²
TENANCY 7	75 M ²
CAFE	96 M ²
TOTAL TENANCIES	1117 M²

SITE DESCRIPTION	
CENTRE SITE AREA	23206 M ²
PAD SITE A	2485 M ²
PAD SITE B	1005 M ²
PAD SITE C	1940 M ²
PAD SITE D	1060 M ²
TOTAL SITE AREA	29686 M²

AREA SCHEDULE [GLAR]	
WOW SUPERMARKET (INC. DOCK)	3814 M ²
FULFILLMENT CENTRE	151 M ²
PICKUP	133 M ²
MEZZANINE	N/A
LIQUOR	599 M ²
RETAIL TENANCY	1117 M ²
KIOSK	N/A
MINI MAJOR	N/A
OFFICES	N/A
MEDICAL CENTRE	N/A
TOTAL GLAR	5814 M²

AREA SCHEDULE [NLA]	
WOW SUPERMARKET	2666 M ²
LIQUOR	399 M ²
PICKUP	133 M ²
RETAIL TENANCY	1117 M ²
TOTAL NLA	4315 M²

AREA SCHEDULE - OTHER	
AIRLOCK / MALL	245 M ²
CENTRE AMENITIES	79 M ²
WOW PLANT ROOM	TBC
CENTRE MANAGER	N/A

CAR PARKING SCHEDULE	
STANDARD PARKING	271
PWD PARKS	6
PARENT PARKS	7
PICKUP BAYS	7
TOTAL PARKING SPACES	291

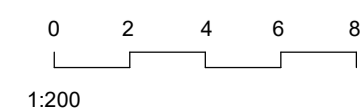
CAR PARKING RATIO	
ASSESSABLE AREA	5814 M ²
CARPARK REQUIRED (@ 5/100)	291
CARPARK PROPOSED	291
PARKING RATIO	5.0 / 100

LANDSCAPING RATIO	
TOTAL SITE AREA	23176 M ²
TOTAL LANDSCAPE AREA	2606 M ²
LANDSCAPING RATIO	8.8%



FLOOR PLAN

1:200



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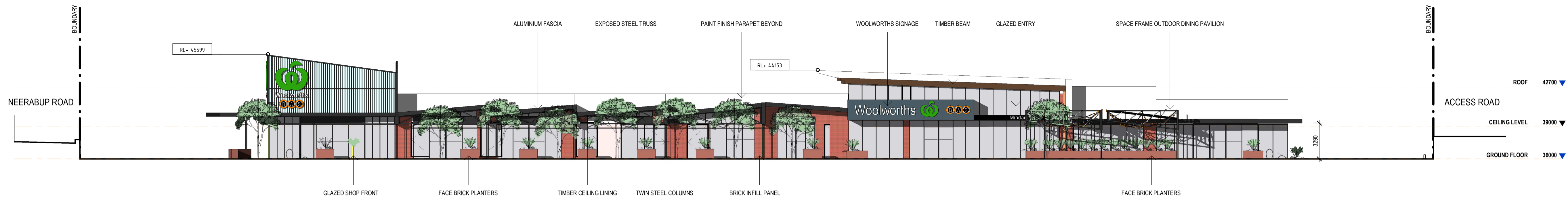
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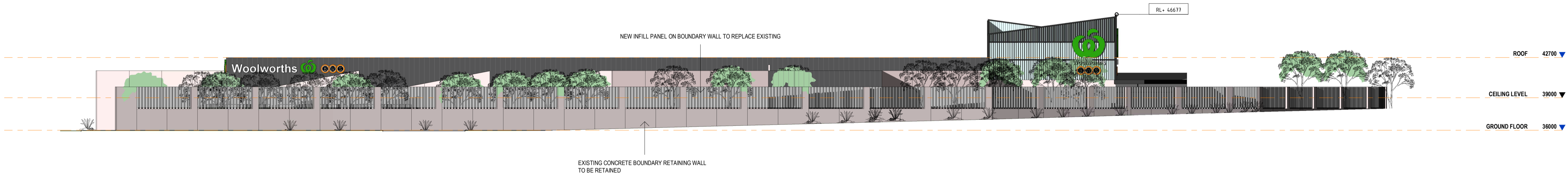
FLOOR PLAN

Scale 1 : 200
 Drawn BF Checked BF
 Date 17/03/21
 Job No. 2020045
 Dwg No. **3348 04** Rev. **A** A1 SHEET



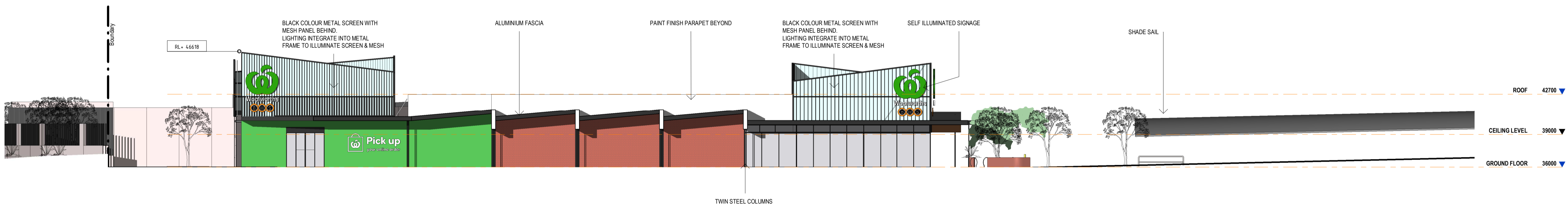
1 - EAST ELEVATION

1:200



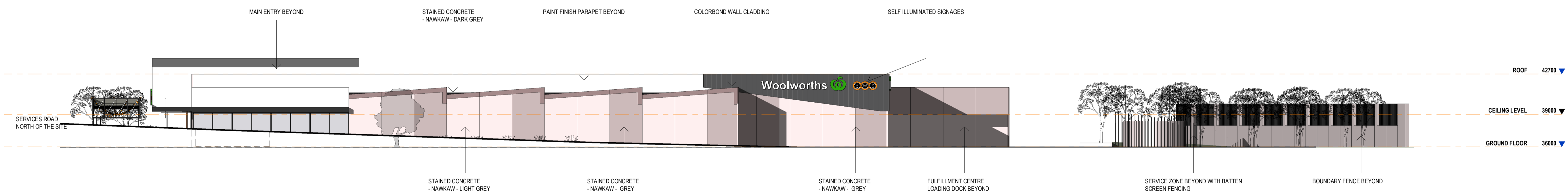
2 - MARMION AVE ELEVATION (WEST)

1:200



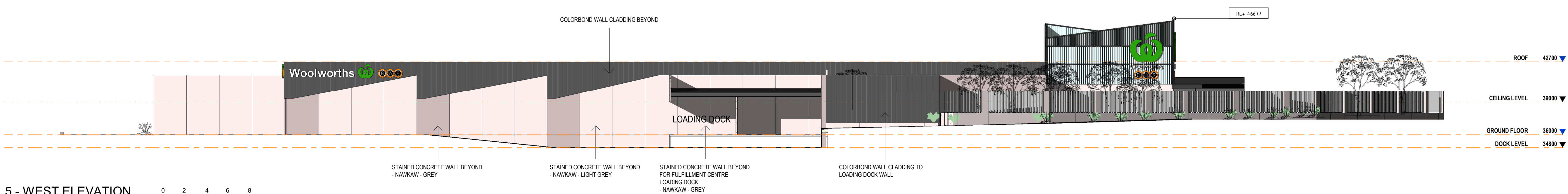
3 - NEERABUP RD ELEVATION (SOUTH)

1:200



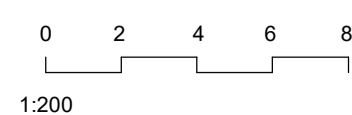
4 - NORTH ELEVATION

1:200



5 - WEST ELEVATION

1:200



ALL GLAZING IS CLEAR UNLESS NOTED OTHERWISE

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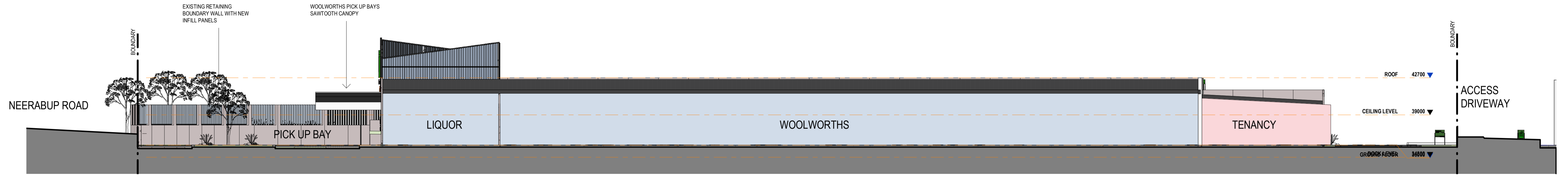
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ELEVATIONS

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1 SECTION
03 1:200

SECTIONS



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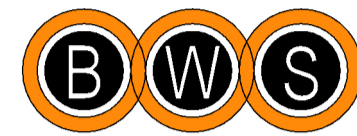
3D VIEWS

Scale
Drawn BF Checked BF
Date 17/03/21
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WOOLWORTHS & BWS SIGNAGE PACKAGE

19 NEERABUP ROAD, CLARKSON, WESTERN AUSTRALIA



SIGNAGE QUESTIONS PLEASE TRY

1. ARE WE MAXIMISING BRANDING FROM EXTERNAL ROADS?
2. WILL THE SIGNAGE CLEARLY HELP CUSTOMERS NAVIGATE FROM EXTERNAL ROADS TO OUR CARPARK FOR BOTH VEHICLES AND PEDESTRIANS?
3. DOES THE MALL SIGNAGE CLEARLY HELP THE CUSTOMER NAVIGATE FROM THE CARPARK TO THE STORE SHOPFRONT?

APPROVAL SIGN OFF			
	NAME	INITIAL	DATE
PROPERTY			
BRAND			

1 - FLOOR PLAN

1:1500



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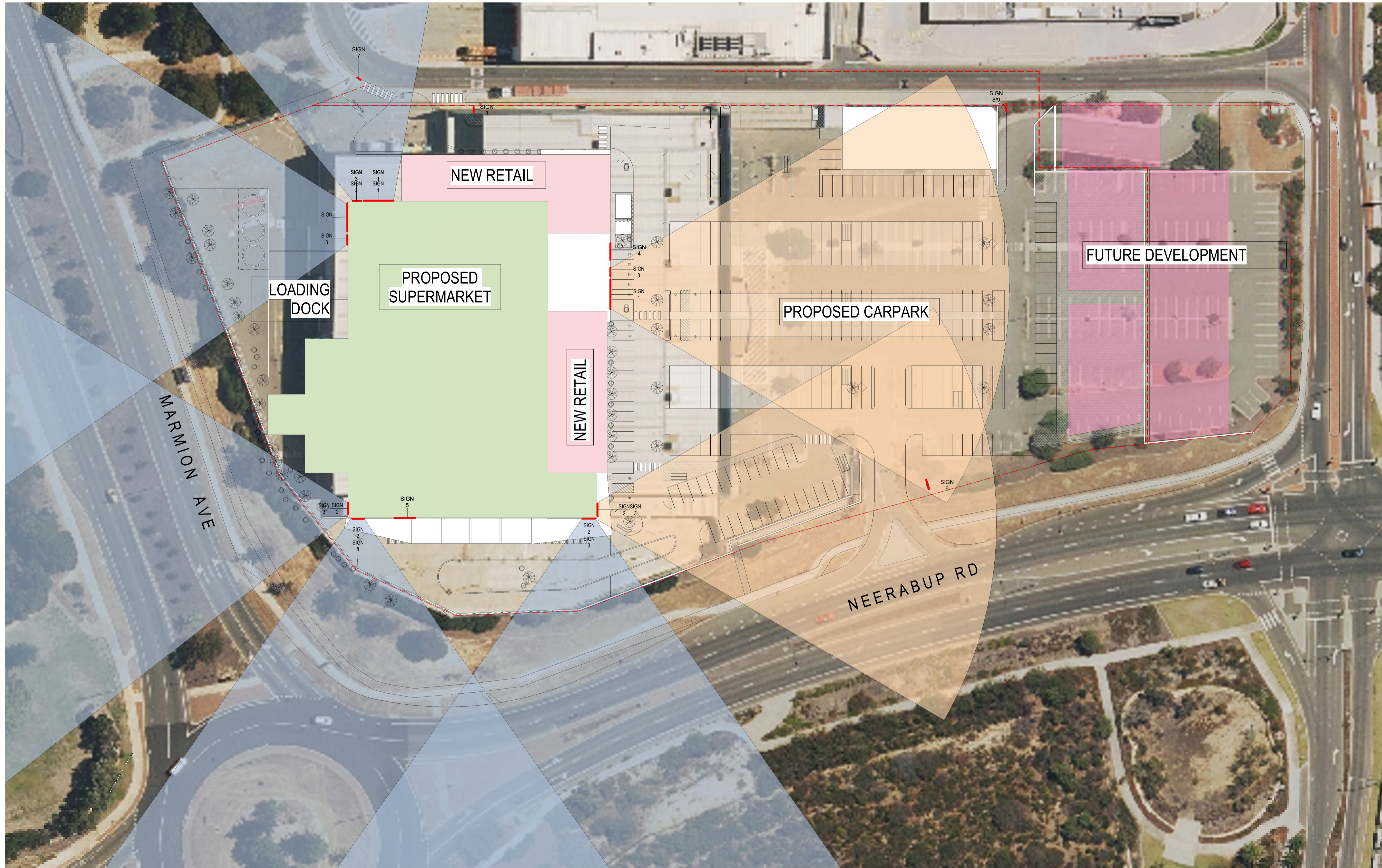
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SIGNAGE - LOCALITY

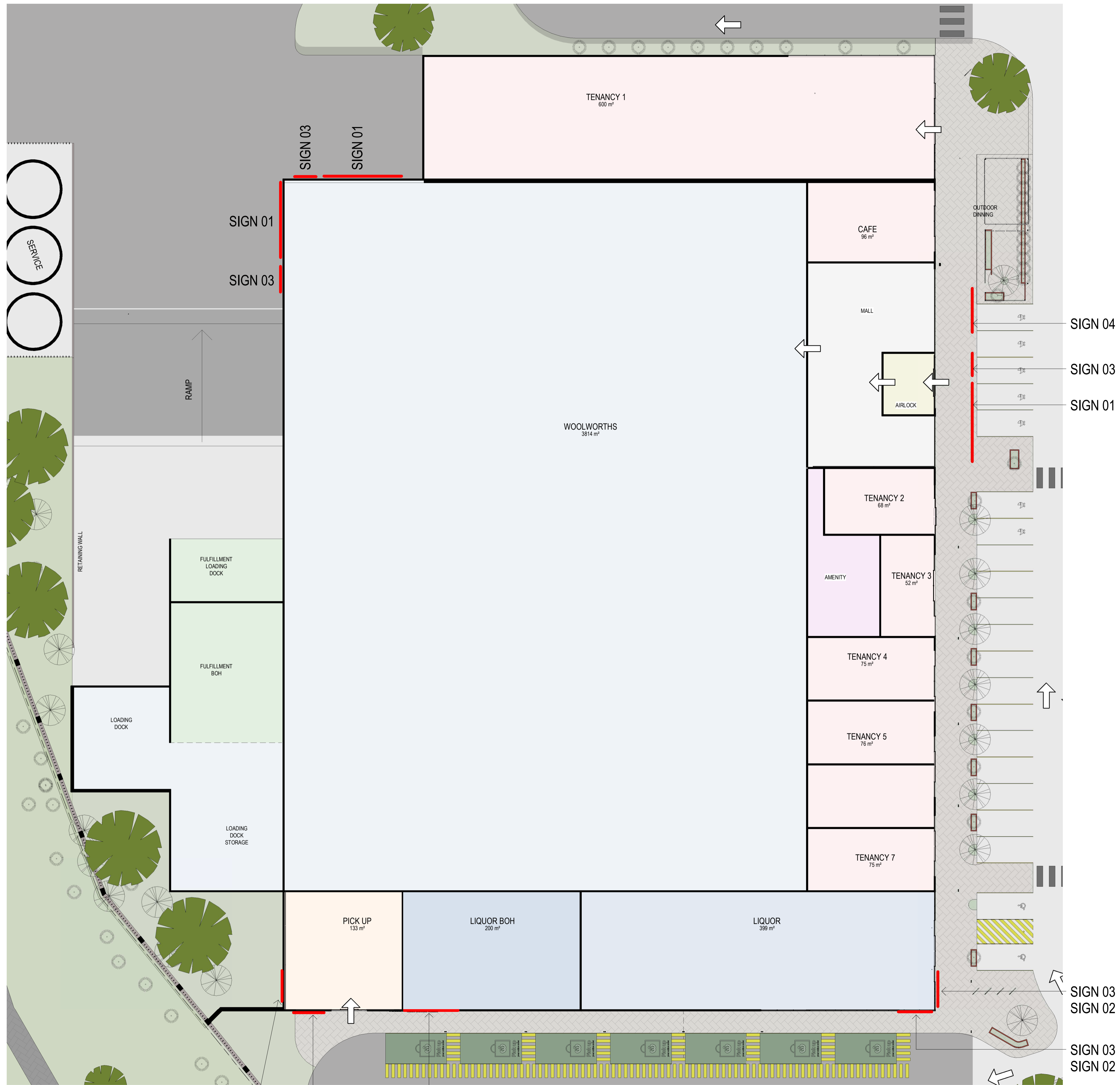
Scale As indicated
 Drawn BF Checked BF
 Date 16.03.21
 Job No. 2020045

Dwg No. 3348 SG01 Rev: 1 A1 SHEET



1 - SLIGHT LINES - SIGNAGE

1 : 500



1 - FLOOR PLAN
1:200

SIGN 03
SIGN 02

SIGN 03
SIGN 02

SIGN 05

SIGN 03
SIGN 02

SIGN 03
SIGN 02

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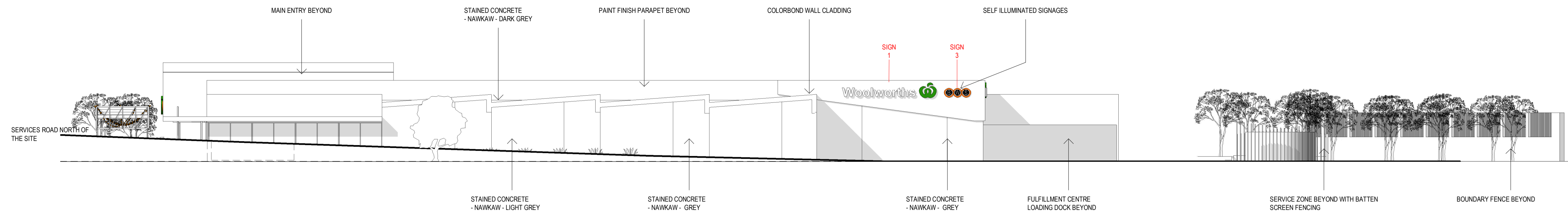
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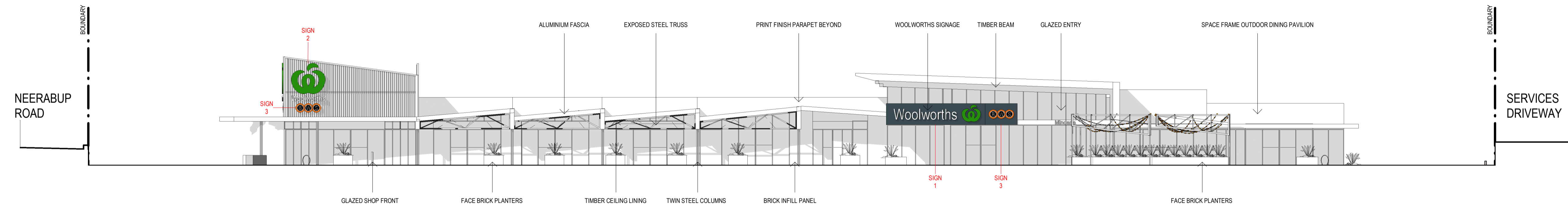
SIGNAGE - FLOOR PLAN

Scale 1 : 200
Drawn BF Checked BF
Date 16.03.21
Job No. 2020045
Dwg No. 3348 SG03 Rev. 1 A1 SHEET



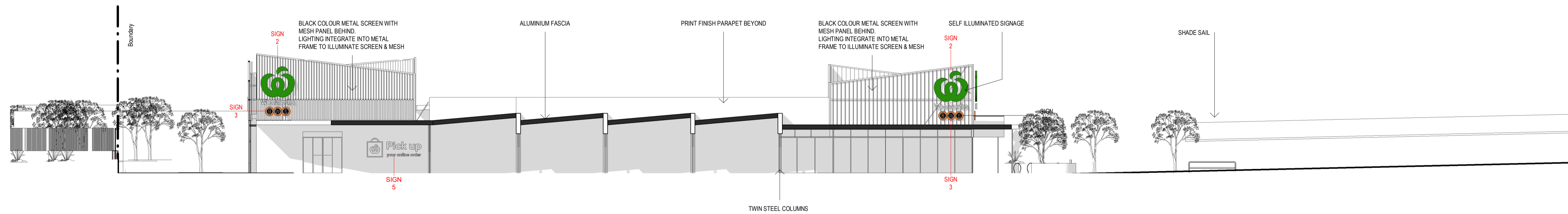
1 - SIGNAGE - NORTH ELEVATION

1 : 200



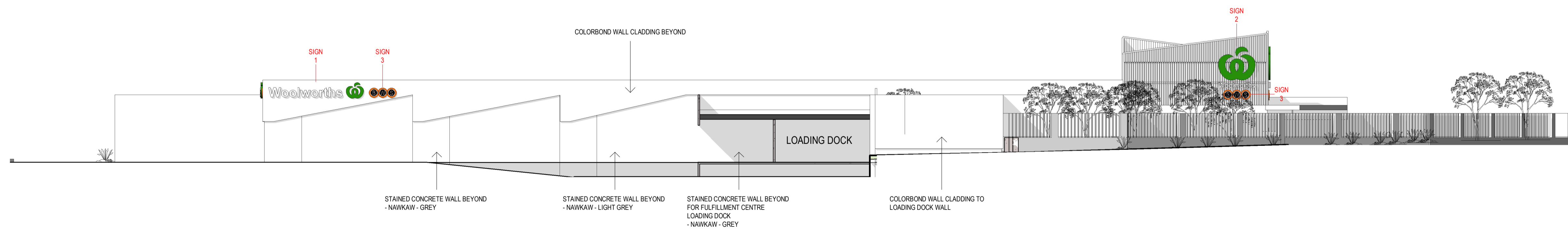
2 - SIGNAGE - EAST ELEVATION

1 : 200



3 - SIGNAGE - SOUTH ELEVATION

1 : 200



4 - SIGNAGE - WEST ELEVATION

1 : 200



1 - SIGNAGE - WOOLWORTHS LINEAR

1 : 20



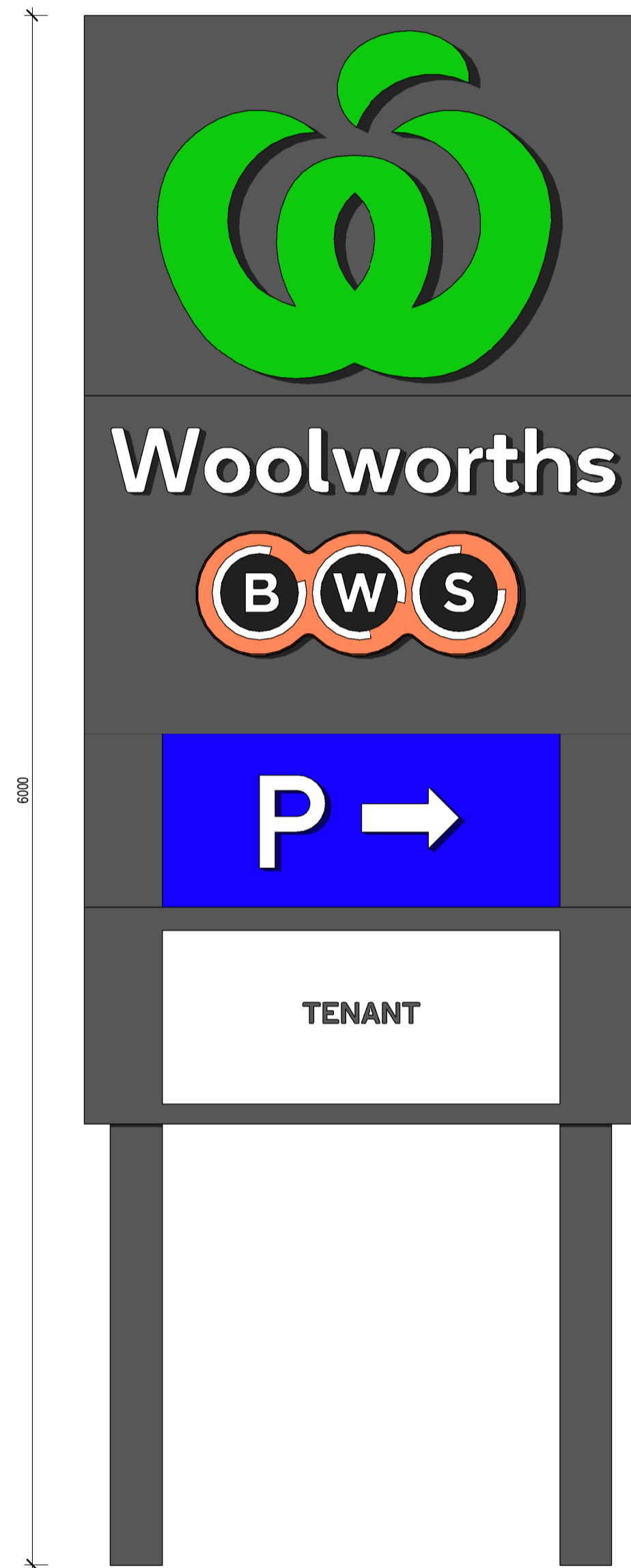
5 - SIGNAGE - PICK UP

1 : 20



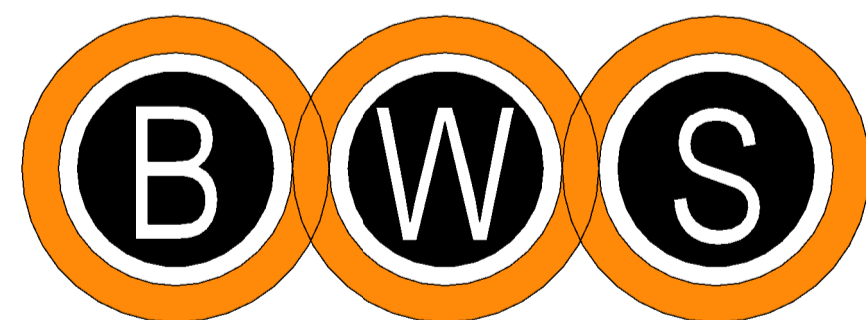
2 - SIGNAGE - WOOLWORTHS STACKED

1 : 20



6 - SIGNAGE - PYLON

1 : 20



3 - SIGNAGE - BWS BUTTON

1 : 20



4 - SIGNAGE - LOCATION

1 : 20



7 - SIGNAGE - LOADING DOCK

1 : 20



8 - SIGNAGE - PARKING

1 : 20



9 - SIGNAGE - THANK YOU

1 : 20