

St. LOT 2

393m²

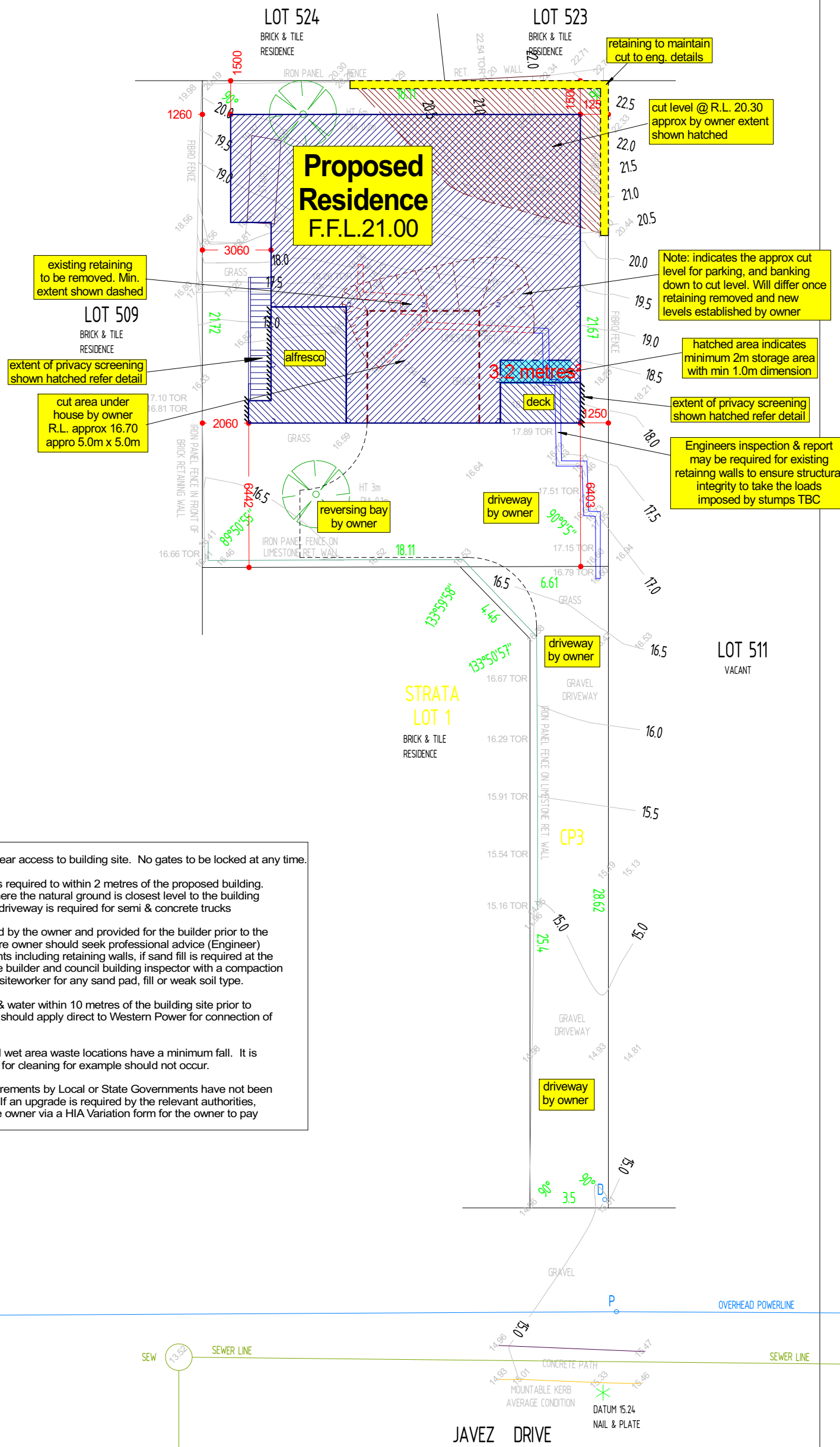
SERVICE INFORMATION

| | | | |
|------------|-------------|----------|-----|
| AREA | ESTABLISHED | | |
| SEWERAGE | YES | DEPTH | N/A |
| WATER | YES | PRELAI | TBC |
| ELECTRICAL | YES | UG | |
| TELECOM | TBC | | |
| GAS | TBC | | |
| DRAFTED | MR | SURVEYOR | TS |

SERVICE LEGEND

| SURVEY | |
|--|--------------------|
| | DATUM |
| | PEG FOUND |
| | PEG GONE |
| SEWERAGE | |
| | SEWER MANHOLE |
| | INSPECTION OPENING |
| | INSPECTION SHAFT |
| WATER | |
| | WATER METER |
| | HYDRANT |
| | FLUSH POINT |
| | STOP VALVE |
| ELECTRICAL | |
| | POWER DOME/PILLAR |
| | POWER POLE |
| | LAMP POST |
| | CONSUMER POLE |
| | STAY WIRE ANCHOR |
| STORMWATER | |
| | STORMWATER MANHOLE |
| | GRATE |
| | SIDE ENTRY PIT |
| GAS | |
| | GAS METER |
| | SERVICE VALVE |
| TELECOM | |
| | COMMUNICATION PIT |
| SEWER CONNECTION POSITION | |
| REFER TO DRAINAGE PLUMBING DIAGRAM FOR INTERNAL STRATA SERVICING | |

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.



- General Notes:**
- Owner to provide builder with full & clear access to building site. No gates to be locked at any time.
 - A clear all weather access driveway is required to within 2 metres of the proposed building. The driveway is required at the point where the natural ground is closest level to the building floor level above or below. The access driveway is required for semi & concrete trucks
 - All building site works to be completed by the owner and provided for the builder prior to the commencement of construction. Be aware owner should seek professional advice (Engineer) for any special site condition requirements including retaining walls, if sand fill is required at the building site. The owner is to provide the builder and council building inspector with a compaction certificate from the owners earthworker/siteworker for any sand pad, fill or weak soil type.
 - Owner to provide builder with power & water within 10 metres of the building site prior to commencement of construction. Owner should apply direct to Western Power for connection of mains power to the site.
 - With suspended floor construction, all wet area waste locations have a minimum fall. It is important that excessive water volumes for cleaning for example should not occur.
 - Any additional energy efficiency requirements by Local or State Governments have not been allowed for in the construction contract. If an upgrade is required by the relevant authorities, any additional costs will be issued to the owner via a HIA Variation form for the owner to pay prior to commencement of construction.



Hosken
 Address:
 Lot 2 #17a Javez Drive
 Address:
 Quinns Rock
 Council/ Shire:
 City of Wanneroo

NOTES:

- Contractors are to check all dimensions & conditions on site prior to commencing fabrication or construction. Any discrepancies are to be brought to the supervisors attention
- Client Note:** All sizes and dimensions shown do not allow for plasterboard lining. Owner to make allowances for plasterboard thickness on site to suit Construction, Engineering or Site Conditions
- Builder reserves the right to alter dimensions on site to suit Construction, Engineering or Site Conditions
- Builder has full possession of the site whilst the home is under construction

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 Milford Homes

| | | |
|---------------------------|----------|----|
| Design | 5-9-20 | LC |
| Client changes | 1-10-20 | LC |
| client changes/ FFL/ Ng's | 12-11-20 | LC |
| re-surveyed block | 12-1-21 | LC |
| drop house FFL | 6-2-21 | LC |
| Part eng. amdts | 2-4-21 | LC |
| - | - | - |
| - | - | - |
| - | - | - |

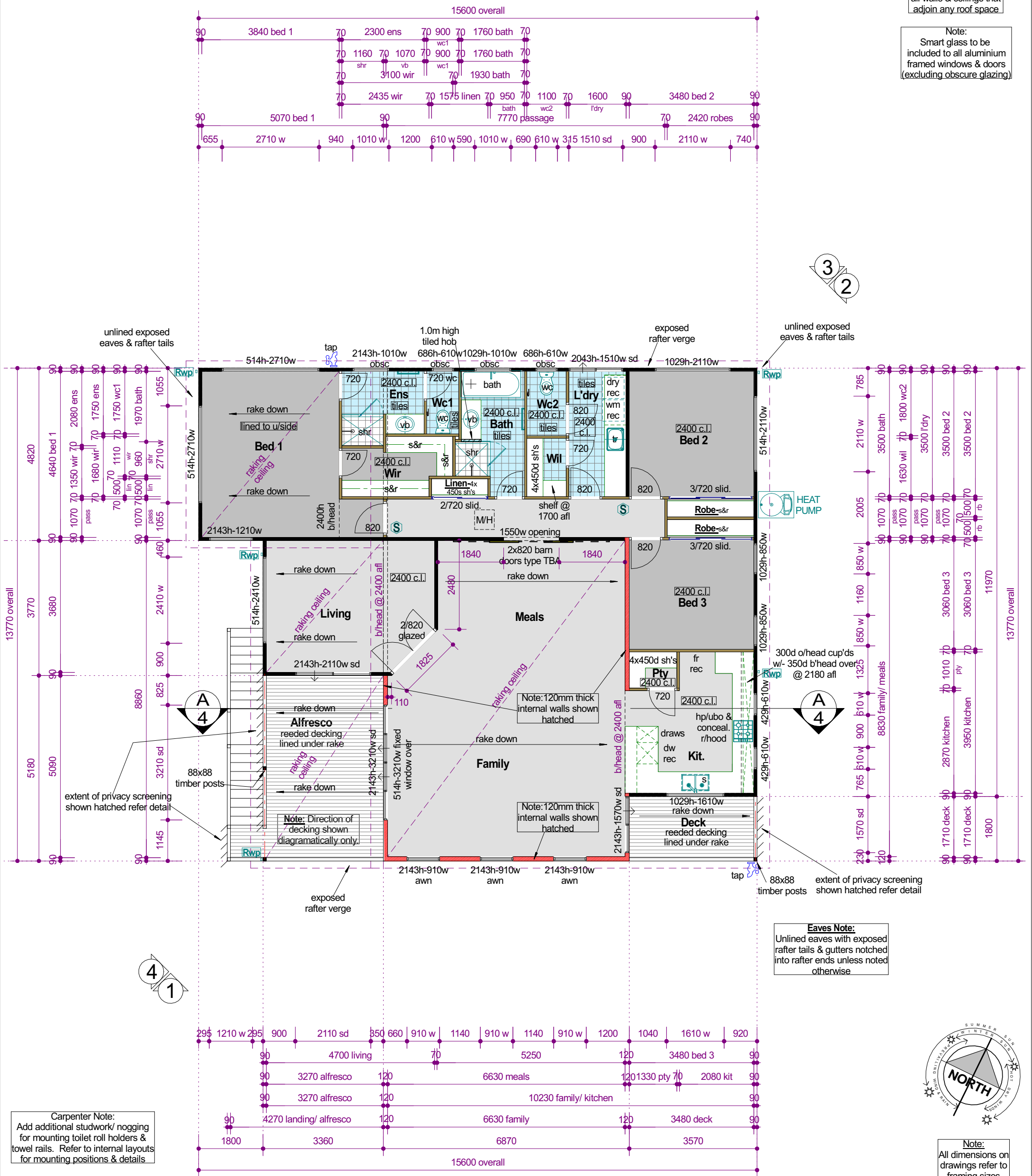
I/We the owners agree to the contents of this document and all initiated sheets

Owner 1:
 Owner 2:
 Builder:
 Witness:
 Date:

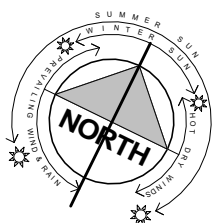
| Individual Design | | |
|-------------------|---------------|--------|
| House Version: | | |
| Date: | Draftsman: | Scale: |
| 5-09-20 | L.C. | 1:200 |
| BAL: | Climate Zone: | |
| TBC | 5 | |
| Sheet Name: | | |
| Site Plan | | |
| Job No: | Sheet No: | |
| 2029 | 01 | |

Insulation Note:
Insulation is included to all walls & ceilings that adjoin any roof space

Note:
Smart glass to be included to all aluminium framed windows & doors (excluding obscure glazing)



Eaves Note:
Unlined eaves with exposed rafter tails & gutters notched into rafter ends unless noted otherwise



Note:
All dimensions on drawings refer to framing sizes

| | |
|---------------|----------------------------|
| Area: | |
| House: | 174.87m ² |
| Alfresco: | 18.41m ² |
| Deck: | 6.43m ² |
| Total: | 199.71m² |

Carpenter Note:
Add additional studwork/ nogging for mounting toilet roll holders & towel rails. Refer to internal layouts for mounting positions & details

Wet Area Floor Note:
All wet areas to have 'Hardies tile underlay' fixed to structural floor sheeting. Waterproof membrane to be installed over underlay as per AS-3740 "Water proofing". Finished tiling to be laid over membrane



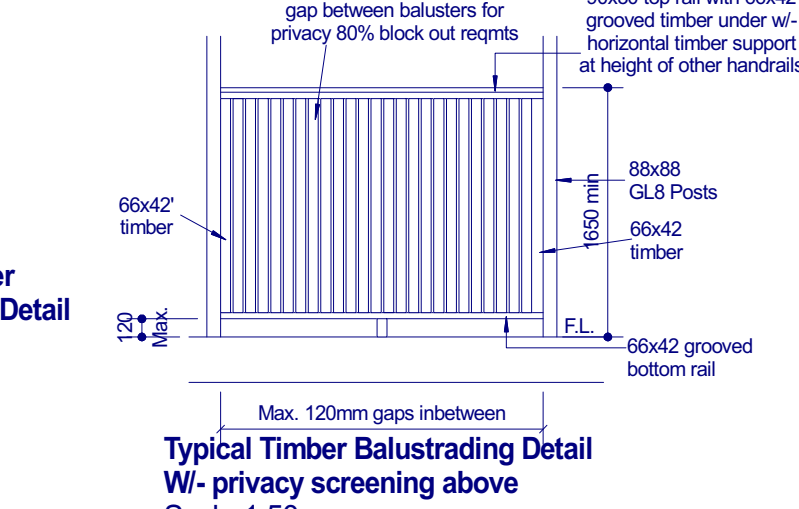
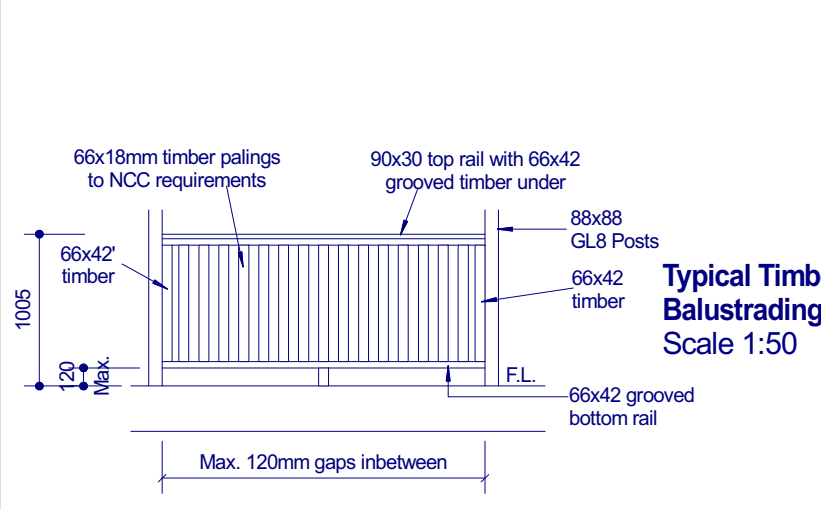
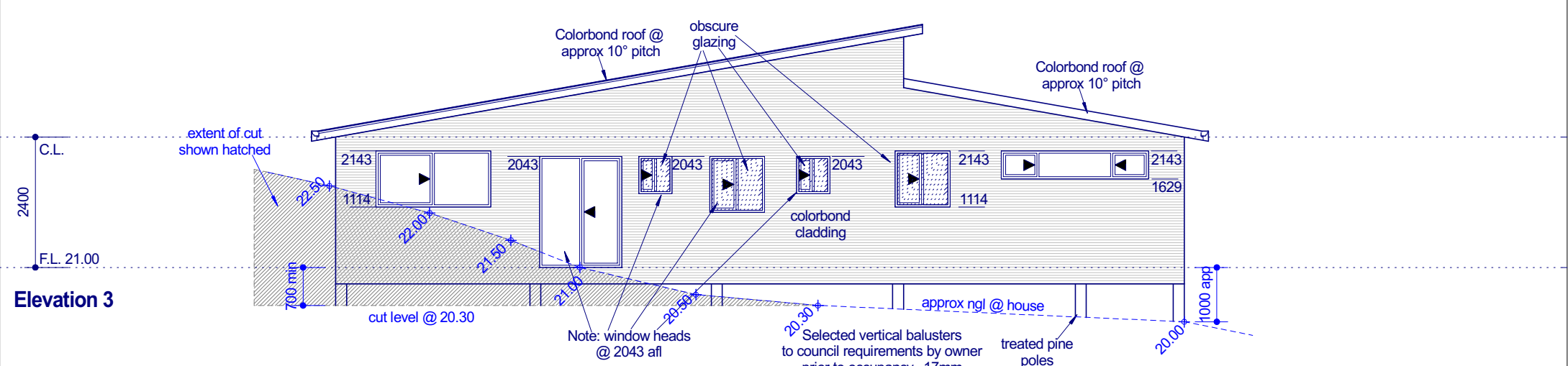
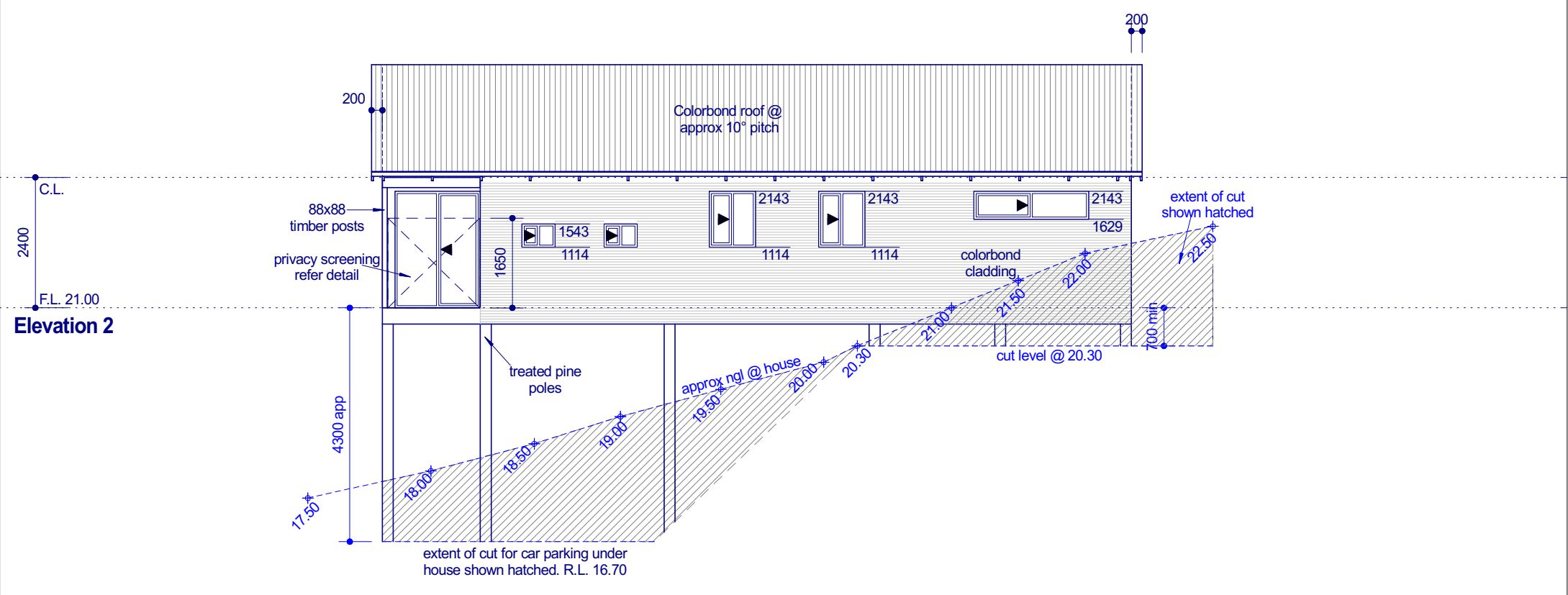
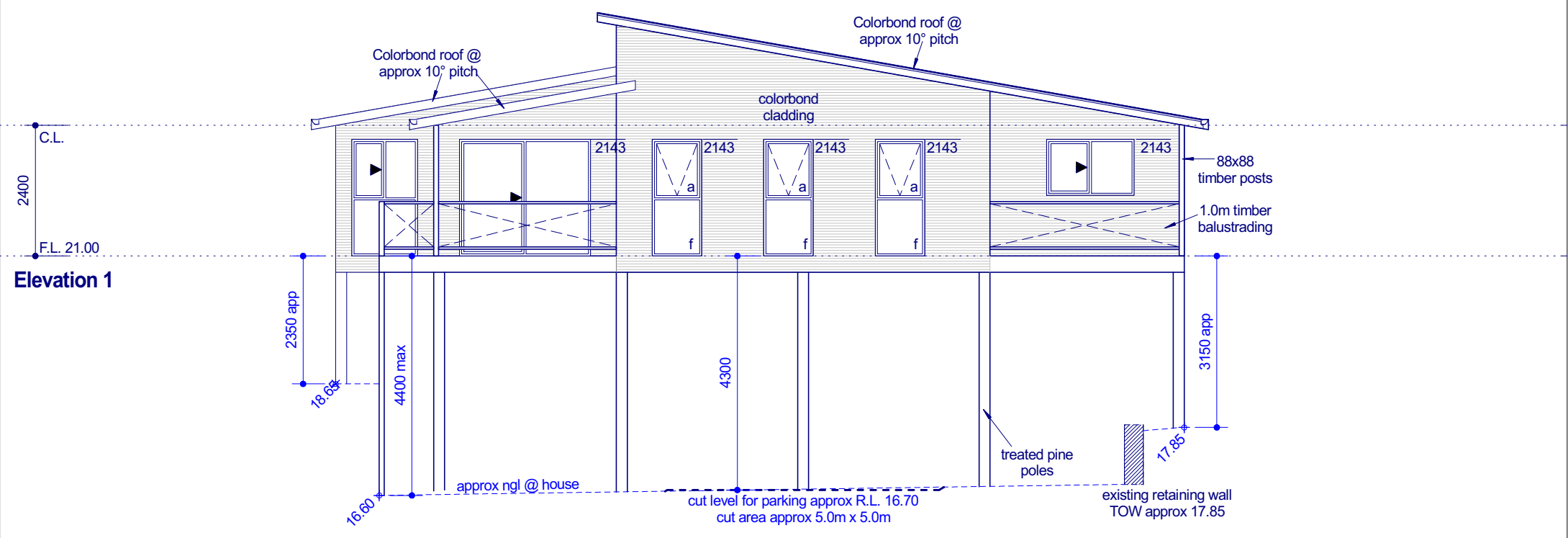
Owners Name:
Hosken
Address:
Lot 2 #17a Javez Drive
Quinns Rock
Council/ Shire:
City of Wanneroo

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|--------------------------|------------------|--------------|
| Individual Design | | |
| House Version: - | | |
| Date: 5-09-20 | Draftsman: L.C. | Scale: 1:100 |
| BAL: TBC | Climate Zone: 05 | |
| Ground Floor | | |
| Job No: 2029 | Sheet No: 02 | |



Note: All window heads @ approx 2143 A.F.L. All sliding door heads @ 2143 A.F.L.

Note: Position of stumps may vary to elevations subject to engineering

Note: Smart glass to be included to all aluminium framed windows & doors (excluding obscure glazing)

Note: All bracing & trussing etc to engineers details. All timbers to Australian Standard 1684.2-2010 for N2 wind loads unless upgrade by engineer is required



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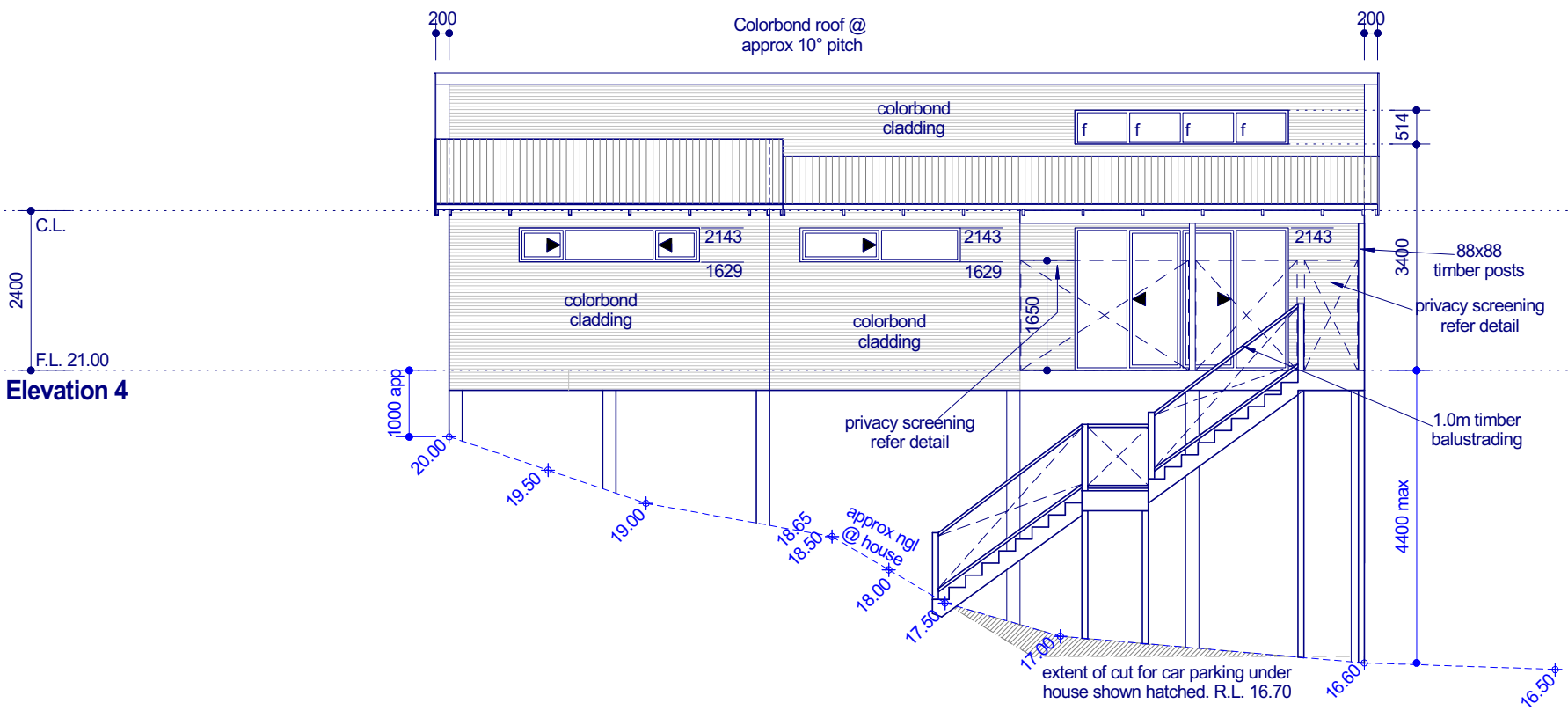
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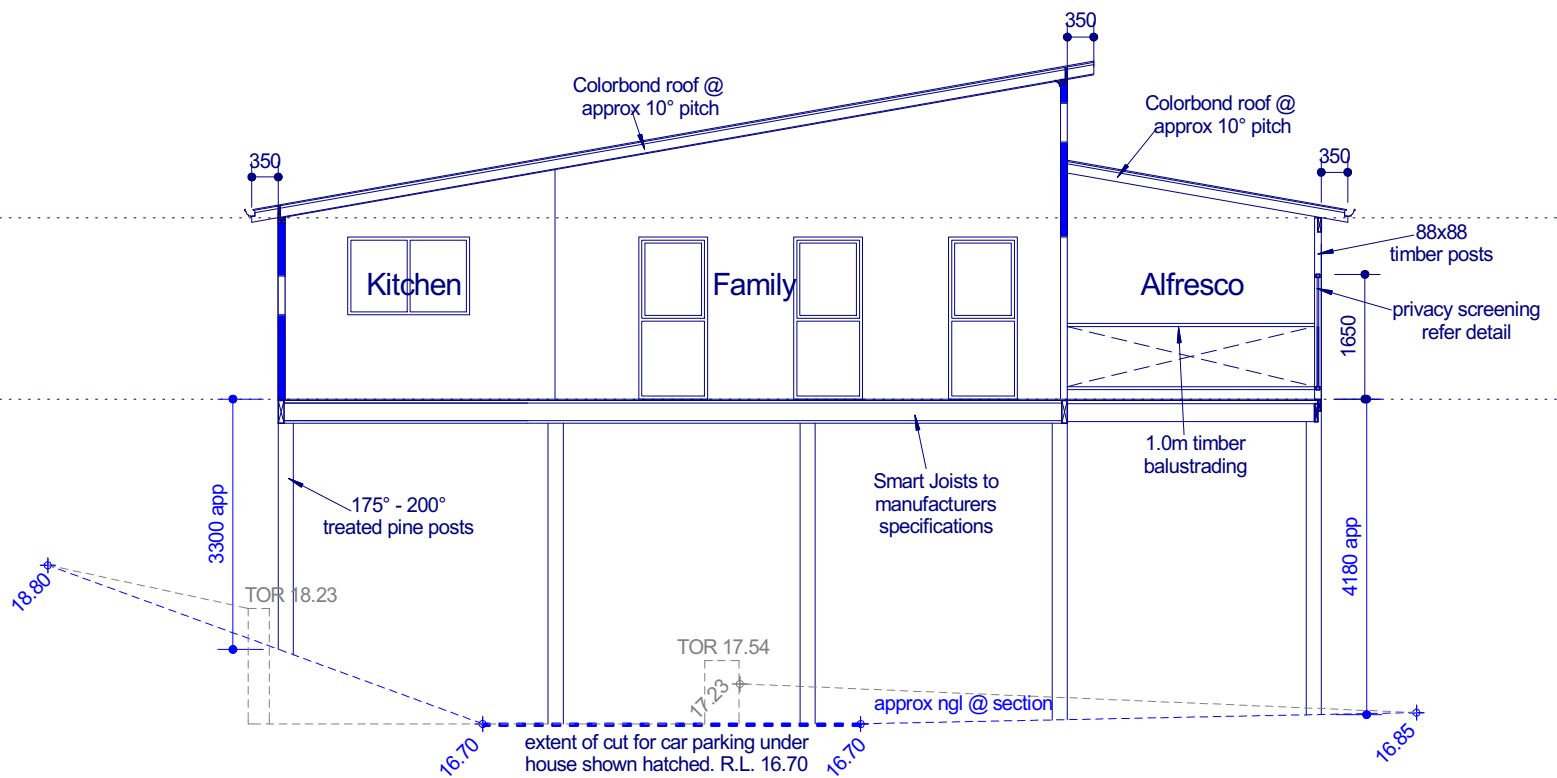
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| 5-09-20 | L.C. | 1:100 | |
| BAL: | Climate Zone: | | |
| TBC | 05 | | |
| Sheet Name: | | | |
| Elevations 1 | | | |
| Job No: | Sheet No: | | |
| 2029 | 03 | | |

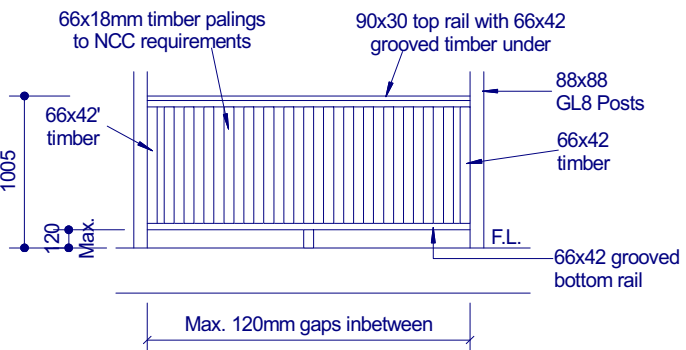


Elevation 4

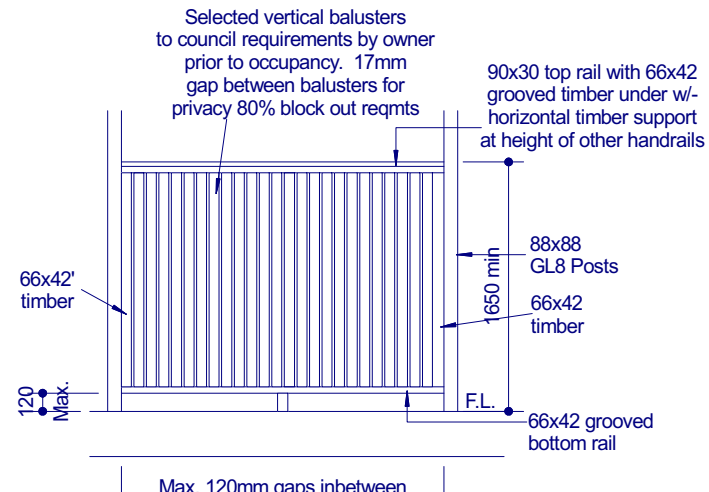


Section A-A
Scale 1:100

dashed line indicates the existing retaining walls and NGL's of block at section shown for clarity only



Typical Timber Balustrading Detail
Scale 1:50



Typical Timber Balustrading Detail W/- privacy screening above
Scale 1:50

Note: All window heads @ approx 2143 A.F.L.
All sliding door heads @ 2143 A.F.L.

Note: Position of stumps may vary to elevations subject to engineering

Note: Smart glass to be included to all aluminium framed windows & doors (excluding obscure glazing)

Note: All bracing & trussing etc to engineers details. All timbers to Australian Standard 1684.2-2010 for N2 wind loads unless upgrade by engineer is required



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| BAL: TBC | Climate Zone: 05 | |
| Sheet Name: Elevations 2 | | |
| Job No: 2029 | Sheet No: 04 | |