



# PRO WEST SURVEYING

Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au  
 F (08) 9242 8296 Web: www.prowestsurveying.com.au  
 Po Box 1463 Osborne Park DC 6916 DWG# 4624001

## Feature & Contour Survey of: Lot 900, No. 30A Kinsale Drive, MINDARIE

REVISION: A

SHEET: 1 OF 1

|                             |                              |                             |                       |
|-----------------------------|------------------------------|-----------------------------|-----------------------|
| CLIENT:                     | PLAN: DP 406781              | LOT AREA: 506m <sup>2</sup> | SURVEY DATE: 26/02/21 |
| BUILDER: STANNARD HOMES     | C/T Vol: 2892 Fol: 317       | MAP REFERENCE:              |                       |
| BUILDER JOB # 5216          | HEIGHT DATUM: AHD            | COASTAL ZONE: 0.15KM        |                       |
| AUTHORITY: CITY OF WANNEROO | HEIGHT CORRECTION TO AHD: NO | SEWER INFORMATION: YES      |                       |

### FEATURE SYMBOL LEGEND

NOTES  
 (1) ALL FEATURES IN GOOD CONDITION  
 (2) DEVELOPMENT AREA: ESTABLISHED

NOTE: SAND PAD LEVEL TO BE WITHIN 40mm OF NOMINATED LEVEL

|                     |     |
|---------------------|-----|
| WIND CLASSIFICATION | N3  |
| TERRAIN CATEGORY    | TC2 |
| SHIELDING           | NS  |
| TOPOGRAPHY          | T1  |

NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-19. CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.

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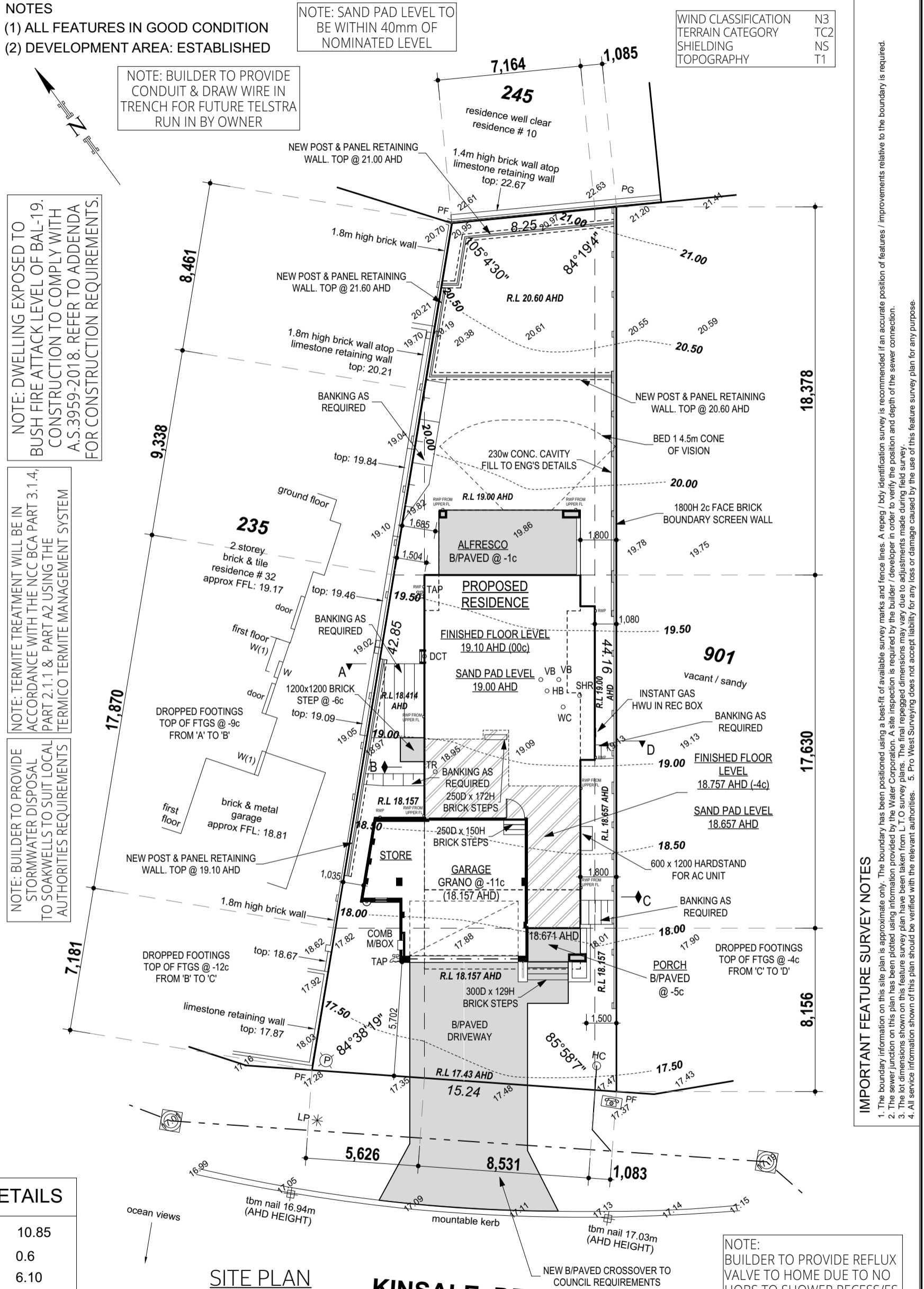
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| POWER        |                 |
|--------------|-----------------|
| CABLE DOME   | POWER POLE      |
| CABLE BOX    | CONSUMER POLE   |
| POWER MARKER | EXPOSED CABLES  |
| LIGHT POLE   | STAYWIRE ANCHOR |

| WATER             |              |
|-------------------|--------------|
| WATER METER / TAP | FIRE HYDRANT |
| TAP               | STOP VALVE   |
| FLUSHING POINT    | RETIC VALVE  |
| BORE              | WATER MARKER |

| SEWERAGE               |                       |
|------------------------|-----------------------|
| SEWER M/H (SQUARE LID) | SEWER M/H (ROUND LID) |
| INSPECTION SHAFT       | INSPECTION OPENING    |
| HOUSE CONNECTION       |                       |

| TELSTRA        |                 |
|----------------|-----------------|
| TELSTRA PIT    | TELSTRA MANHOLE |
| TELSTRA MARKER |                 |

| DRAINAGE               |                       |
|------------------------|-----------------------|
| DRAIN M/H (SQUARE LID) | DRAIN M/H (ROUND LID) |
| SIDE ENTRY PIT         | DRAINAGE GRATE        |
| COMBINED ENTRY PIT     |                       |

| GAS        |           |
|------------|-----------|
| GAS METER  | GAS VALVE |
| GAS MARKER |           |

| SURVEY MARKS |              |      |
|--------------|--------------|------|
| PEG FOUND    | PEG GONE     | PEG  |
| DRILL HOLE   | BENCH MARK   |      |
| PEN MARK     | NAIL & PLATE | NAIL |

| MISCELLANEOUS INFO.    |                  |
|------------------------|------------------|
| STREET SIGN            | SPOT HEIGHT      |
| UNKNOWN SERVICE MARKER | BOLLARD          |
| OVERHEAD POWER LINE    | SEWER LINE       |
| FENCE LINE             | WINDOW / OPENING |

**SERVICE DETAILS**

WATER: A, TBC  
 OVERHEAD POWER: NS  
 U/G POWER: L  
 TELSTRA: L  
 GAS: A, TBC  
 SEWER: L

**SERVICE NOTES**

L: LOCATED NS: NO SERVICE  
 A: AVAILABLE BUT NOT LOCATED  
 TBC: LOCATION TO BE CONFIRMED

| SEWER JUNCTION DETAILS    |       |
|---------------------------|-------|
| HOUSE CONNECTION (HC) IL: | 10.85 |
| UP DISTANCE:              | 0.6   |
| DEPTH TO CONNECTION:      | 6.10  |



**SITE PLAN**  
 1:200

PROPOSED RESIDENCE FOR  
 MR E. & MRS T. HILL  
 LOT 900 (#30a)  
 KINSALE DRIVE, MINDARIE

| INDIVIDUAL 2 STOREY |                   |                  |          |
|---------------------|-------------------|------------------|----------|
| DRAWN               | AMENDMENTS        | VARIATION        | SHEET    |
| SSJ                 | AMD-001-00-00-000 | VO-000-00-00-000 | 13 OF 13 |
| DATE                | JOB No            |                  |          |
| 26-03-2021          | 5216              |                  |          |

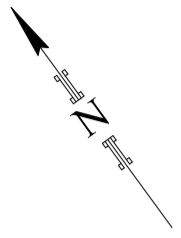
**IMPORTANT FEATURE SURVEY NOTES**

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A boundary identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repeated dimensions may vary due to adjustments made during field survey.
- All service information shown on this plan should be verified with the relevant authorities.

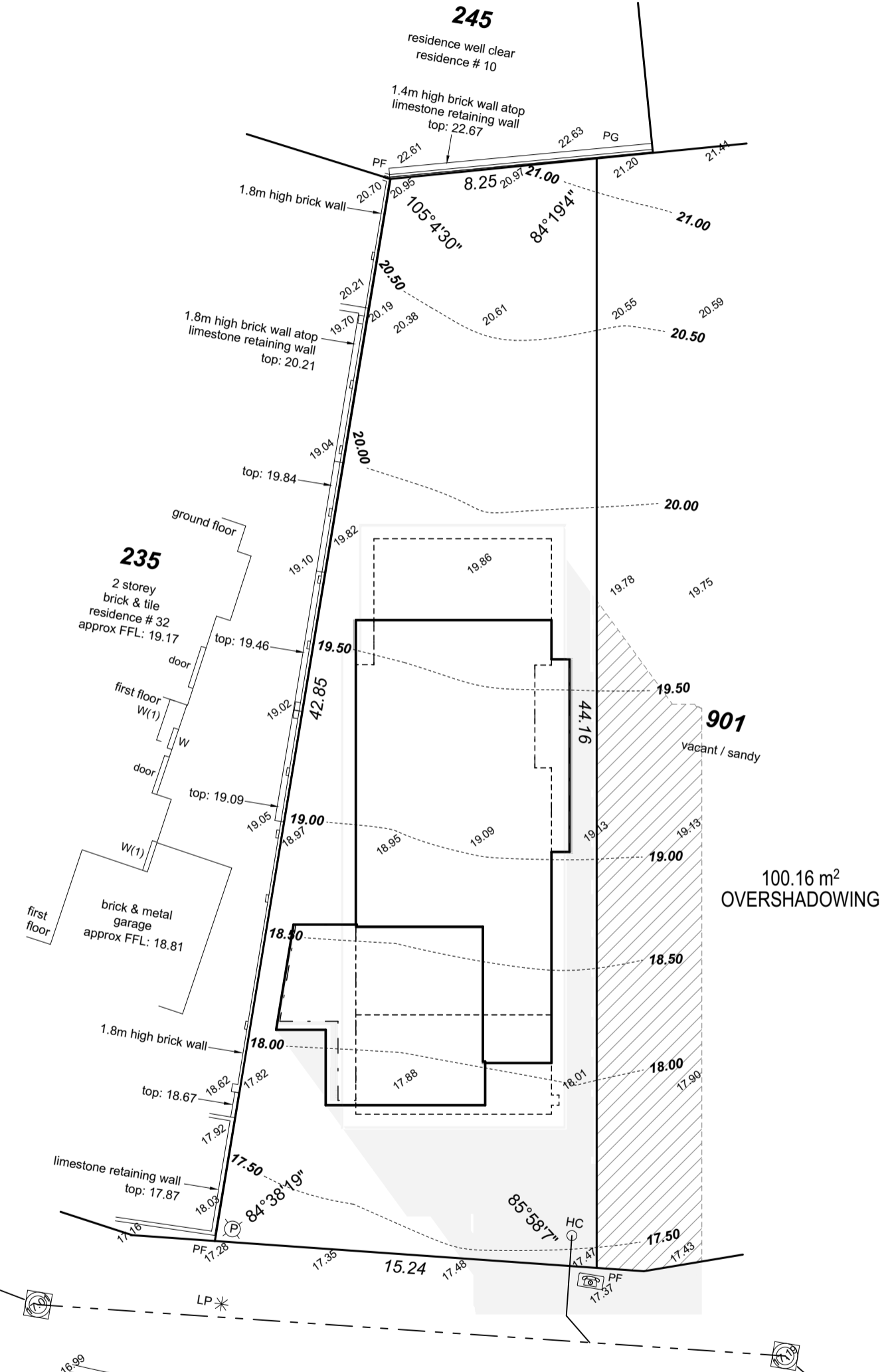
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|  | NAIL                  |
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| UNKNOWN SERVICE MARKER   | BOLLARD               |
| OVERHEAD POWER LINE  | SEWER LINE            |
| FENCE LINE   | WINDOW / OPENING      |
| SERVICE DETAILS  |                       |
| WATER: A, TBC<br>OVERHEAD POWER: NS<br>U/G POWER: L<br>TELSTRA: L<br>GAS: A, TBC<br>SEWER: L |                       |
| SERVICE NOTES  |                       |
| L: LOCATED NS: NO SERVICE<br>A: AVAILABLE BUT NOT LOCATED<br>TBC: LOCATION TO BE CONFIRMED   |                       |
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- All service information shown on this plan should be verified with the relevant authorities.
- Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

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| UP DISTANCE:              | 0.6   |
| DEPTH TO CONNECTION:      | 6.10  |

**SHI STANNARD HOMES**  
 VISION SPECIFICATION

42 Hasler Road, Osborne Park  
 Western Australia 6017

Telephone (08) 9446 5500  
 Facsimile (08) 9446 1825

PROPOSED RESIDENCE FOR  
 MR E. & MRS T. HILL  
 LOT 900 (#30a)  
 KINSALE DRIVE, MINDARIE

email: enquiries@stannardgroup.com.au  
 www.stannardgroup.com.au

Stannard Group Pty Ltd  
 ABN 27 008 828 082 BC 6583

**INDIVIDUAL 2 STOREY**

DRAWN: SSJ  
 AMENDMENTS: AMD-001-00-00-00-000  
 VARIATION: V0-000-00-00-00-000

DATE: 26-03-2021

SHEET: 15 OF 13  
 JOB No: 5216

SHADOW DIAGRAM  
1:200

- NOTE:**
- All plans subject to council/developers approval.
  - Dimensions are to brick sizes & do not allow for plaster, render or set.
  - Ceiling height dimensions are approximate & are subject to change due to roof construction & lining thickness.
  - All dimensions noted on all sheets are approximate & are subject to change during the construction process.
  - Some floor coverings will require additional preparation by owner after handover.
  - Final location of downpipes, stormwater system & HWU to be determined on site by builder.
  - Wall and floor tiles as drawn are indicative representation only of the surface area to be covered.
  - Notify builders of any discrepancies prior to commencing.
  - All roof timbers to be as per engineer's details & to comply with AS 1684 & NCC.

WIND CLASSIFICATION N3  
 TERRAIN CATEGORY TC2  
 SHIELDING NS  
 TOPOGRAPHY T1

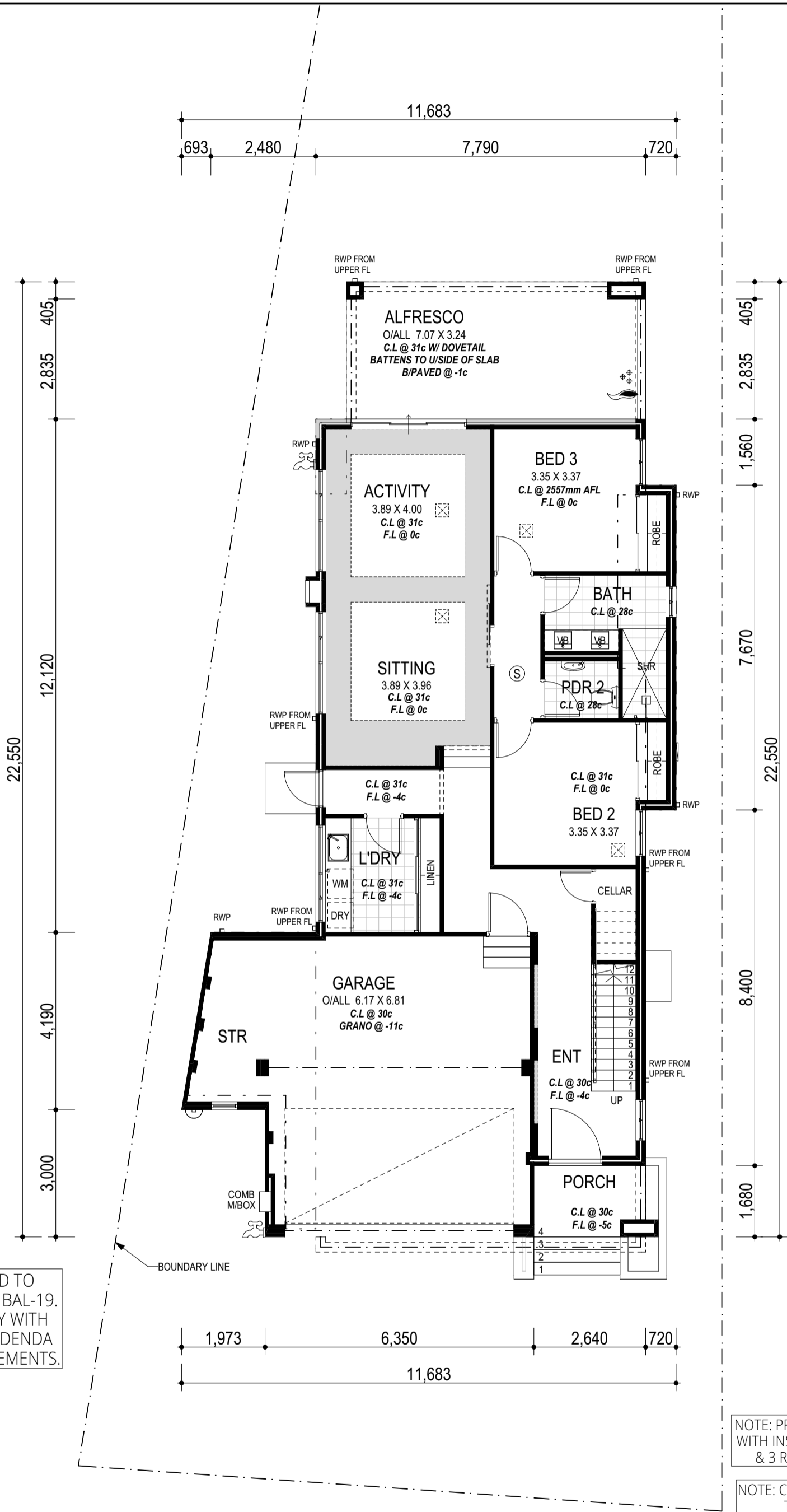
Ⓢ DENOTES SMOKE DETECTOR  
 NOTE : SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC REQUIREMENTS & AS 3786.

ZONED R20  
 OPEN SPACE REQUIRED = 50%

LOT AREA: 506m<sup>2</sup>  
 - TOTAL FOOTPRINT 166.96m<sup>2</sup> = 339.04m<sup>2</sup>  
 ÷ TOTAL LOT AREA %  
 = 67.00% OPEN SPACE PROVIDED

NOTE: THIS HOUSE IS DESIGNED FOR ACRYLIC RENDERED FINISH AS PER THE ADDENDA COURSING HEIGHTS SHOWN IN STD BRICK FORMAT 2c FACE BRICKS - 1/3RD BOND TO GARAGE INTERNALLY & BOUNDARY WALLS EXTERNALLY

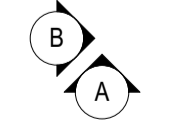
NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-19. CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.



NOTE: PROVIDE DROPPED CEILINGS WITH INSULATION TO BED 3, BED 2 & 3 ROBES, BATH & ACTIVITY.

NOTE: CAVITY WALL INSULATION TO ENTIRE HOME

GROUND FLOOR PLAN  
 1:100



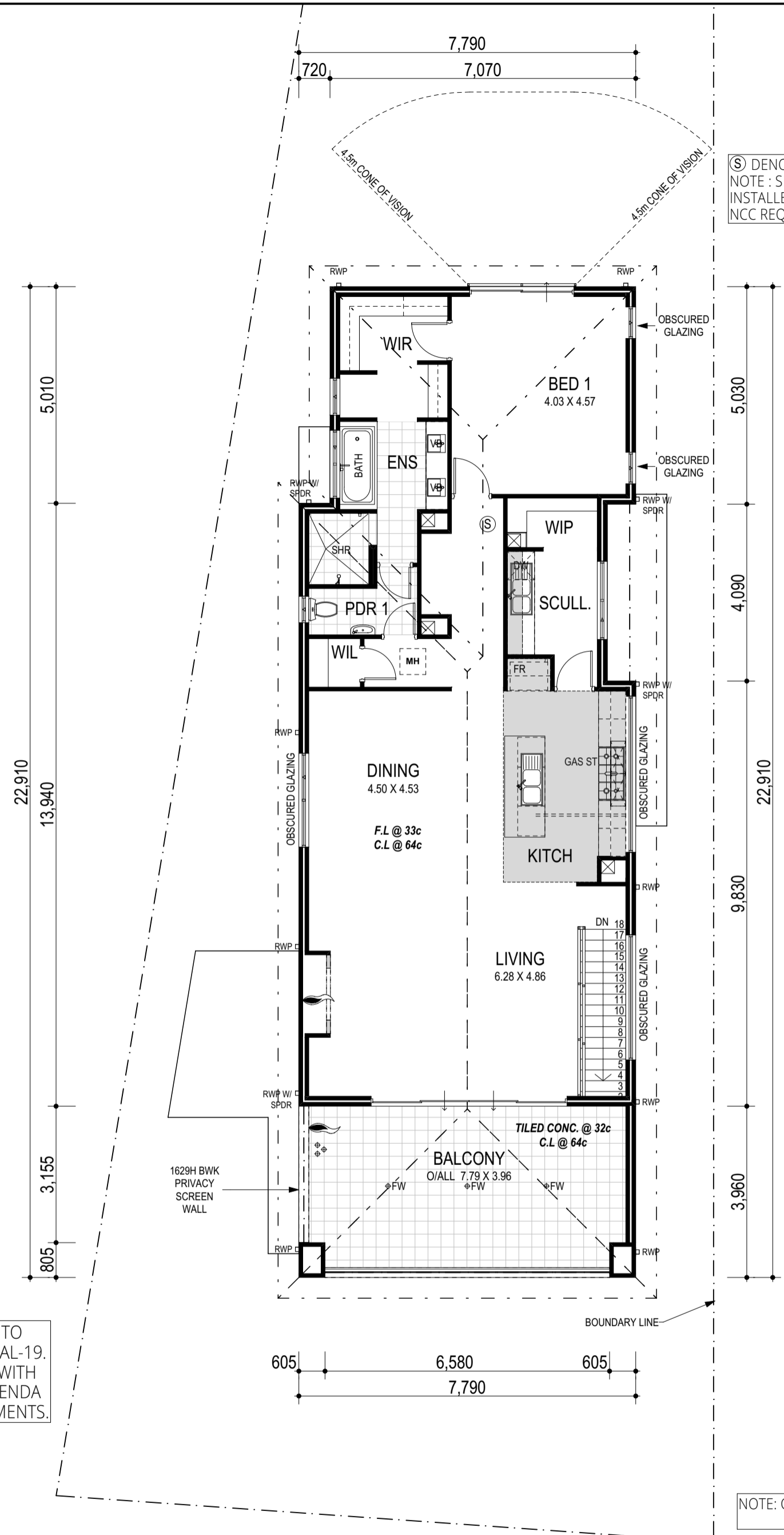
|  |  |  |   |   |                       |
|--|--|--|---|---|-----------------------|
|  |  | INDIVIDUAL 2 STOREY                                  |   | COPYRIGHT ©<br>SHEET<br><b>01 OF 13</b> |                       |
|  |  | DRAWN<br>SSJ   | AMENDMENTS<br>AMD-001-00-00-00-000                                | VARIATION<br>V0-000-00-00-00-000        | JOB No<br><b>5216</b> |
| PROPOSED RESIDENCE FOR<br>MR E. & MRS T. HILL<br>LOT 900 (#30a)<br>KINSALE DRIVE, MINDARIE |  | DATE<br>26-03-2021                                   | STANNARD GROUP PTY LTD<br>ABN 27 008 828 082 BC 6583              |   |                       |
| 42 Hasler Road, Osborne Park<br>Western Australia 6017                                     |  | Telephone (08) 9446 5500<br>Facsimile (08) 9446 1825 | email: enquiries@stannardgroup.com.au<br>www.stannardgroup.com.au |   | VISION SPECIFICATION  |

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|                     |     |
|---------------------|-----|
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| TERRAIN CATEGORY    | TC2 |
| SHIELDING           | NS  |
| TOPOGRAPHY          | T1  |

C  
D

Ⓢ DENOTES SMOKE DETECTOR  
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FOR CONSTRUCTION REQUIREMENTS.

NOTE: CAVITY WALL INSULATION  
TO ENTIRE HOME

B  
A

**UPPER FLOOR PLAN**  
1:100

|  |  |   |  |                                  |                          |
|--|--|---|--|----------------------------------|--------------------------|
|  | PROPOSED RESIDENCE FOR<br>MR E. & MRS T. HILL<br>LOT 900 (#30a)<br>KINSALE DRIVE, MINDARIE | <b>INDIVIDUAL 2 STOREY</b>  |  |                                  |                          |
|  |  | DRAWN<br>SSJ  | AMENDMENTS<br>AMD-001-00-00-00-000                   | VARIATION<br>V0-000-00-00-00-000 | SHEET<br><b>02 OF 13</b> |
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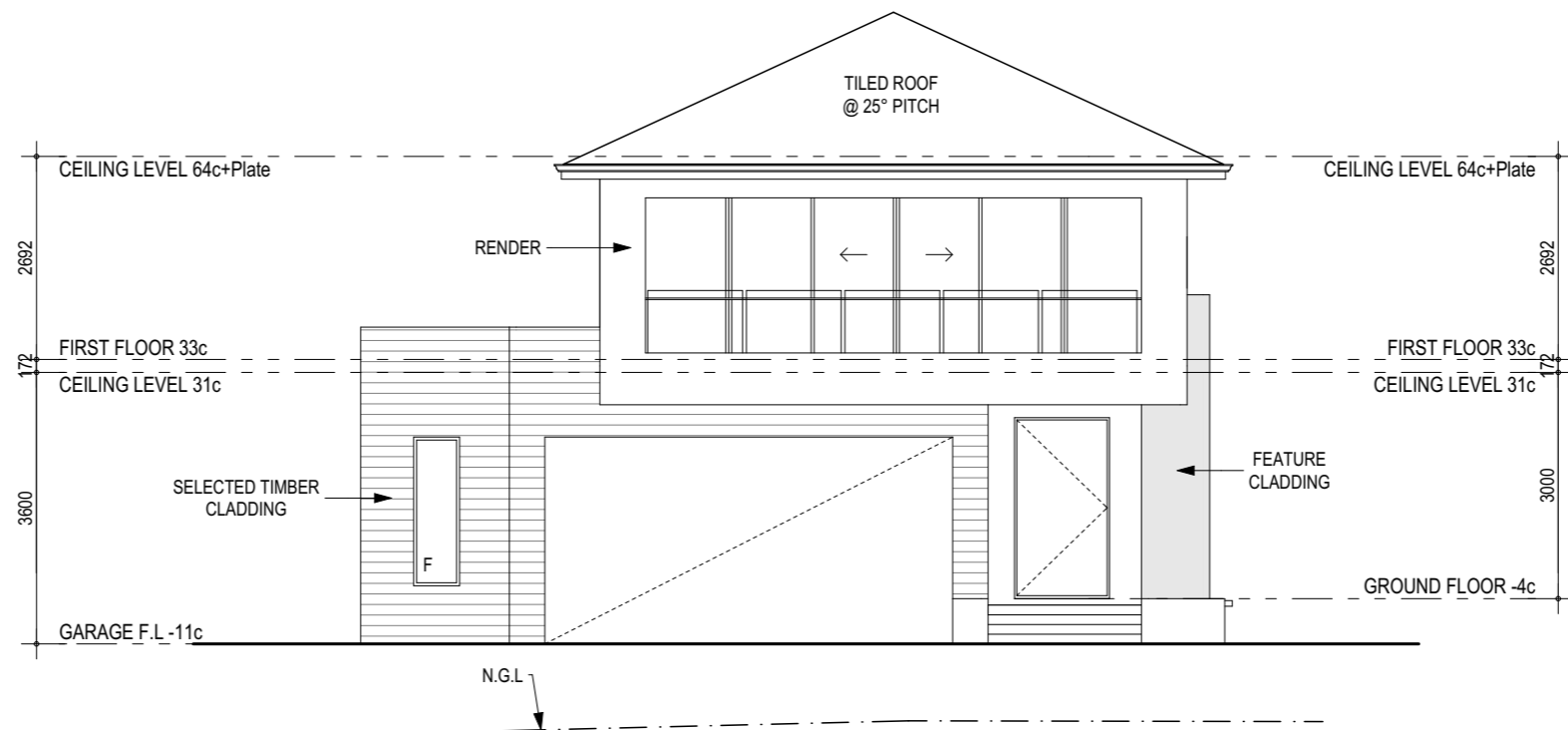
NOTE: ALL BEDROOM WINDOWS TO BE PROTECTED IN ACCORDANCE WITH NCC BCA 3.9.2.6 & ALL OTHER WINDOWS WITH NCC BCA 3.9.2.7

NOTE: THIS HOUSE IS DESIGNED FOR ACRYLIC RENDERED FINISH AS PER THE ADDENDA  
 COURSING HEIGHTS SHOWN IN STD BRICK FORMAT  
 2c FACE BRICKS - 1/3RD BOND TO GARAGE INTERNALLY & BOUNDARY WALLS EXTERNALLY


ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

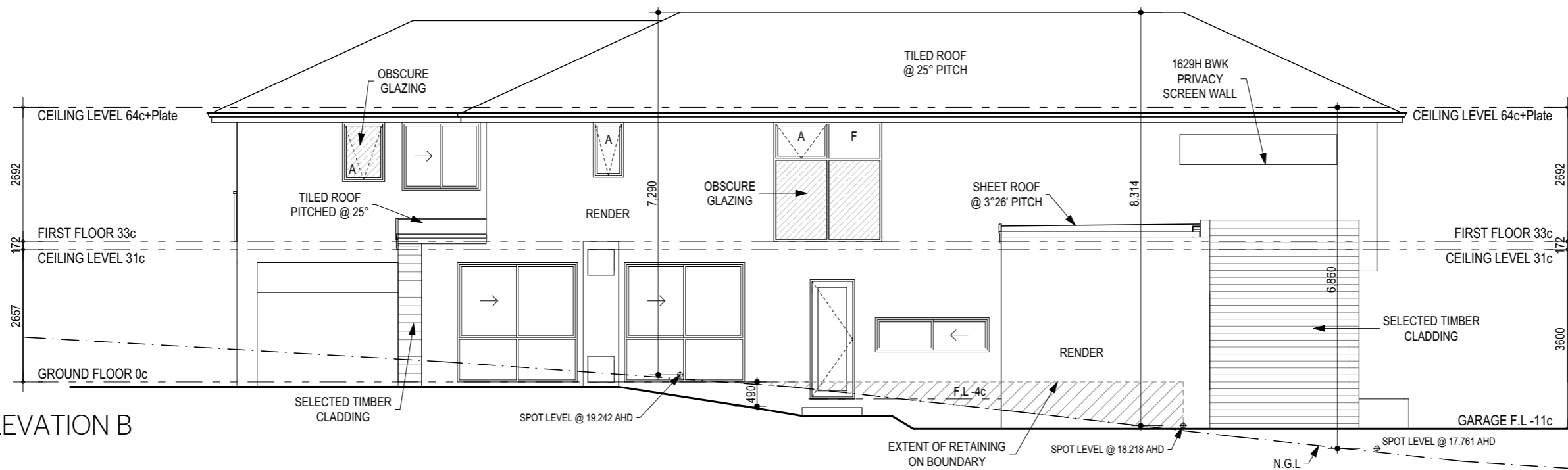
ROOF TIMBERS TO AS 1684.2 & ENGINEER'S DETAILS

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ELEVATION A

 DENOTES OBSCURE GLAZING



ELEVATION B

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|                     |                                    |                                  |                   |             |
|---------------------|------------------------------------|----------------------------------|-------------------|-------------|
| INDIVIDUAL 2 STOREY |                                    |                                  |                   | COPYRIGHT © |
| DRAWN<br>SSJ        | AMENDMENTS<br>AMD-001-00-00-00-000 | VARIATION<br>V0-000-00-00-00-000 | SHEET<br>03 OF 13 |             |
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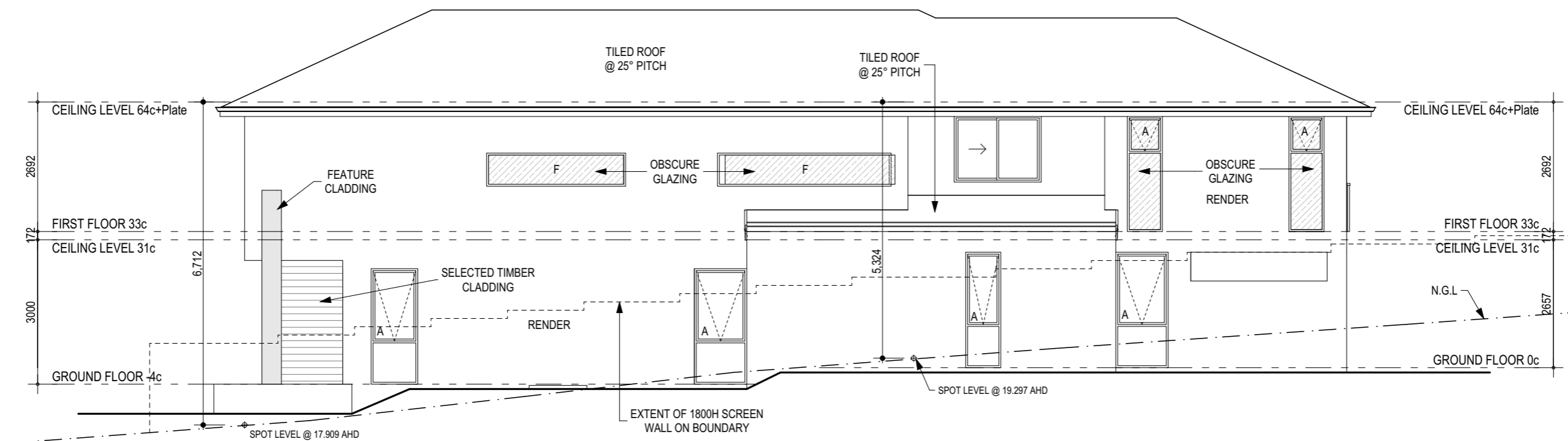
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ROOF TIMBERS TO AS 1684.2 & ENGINEER'S DETAILS



ELEVATION C

 DENOTES OBSCURE GLAZING



ELEVATION D

**SH STANNARD HOMES**  
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 ABN 27 008 828 082 BC 6583

DRAWN  
 SSJ

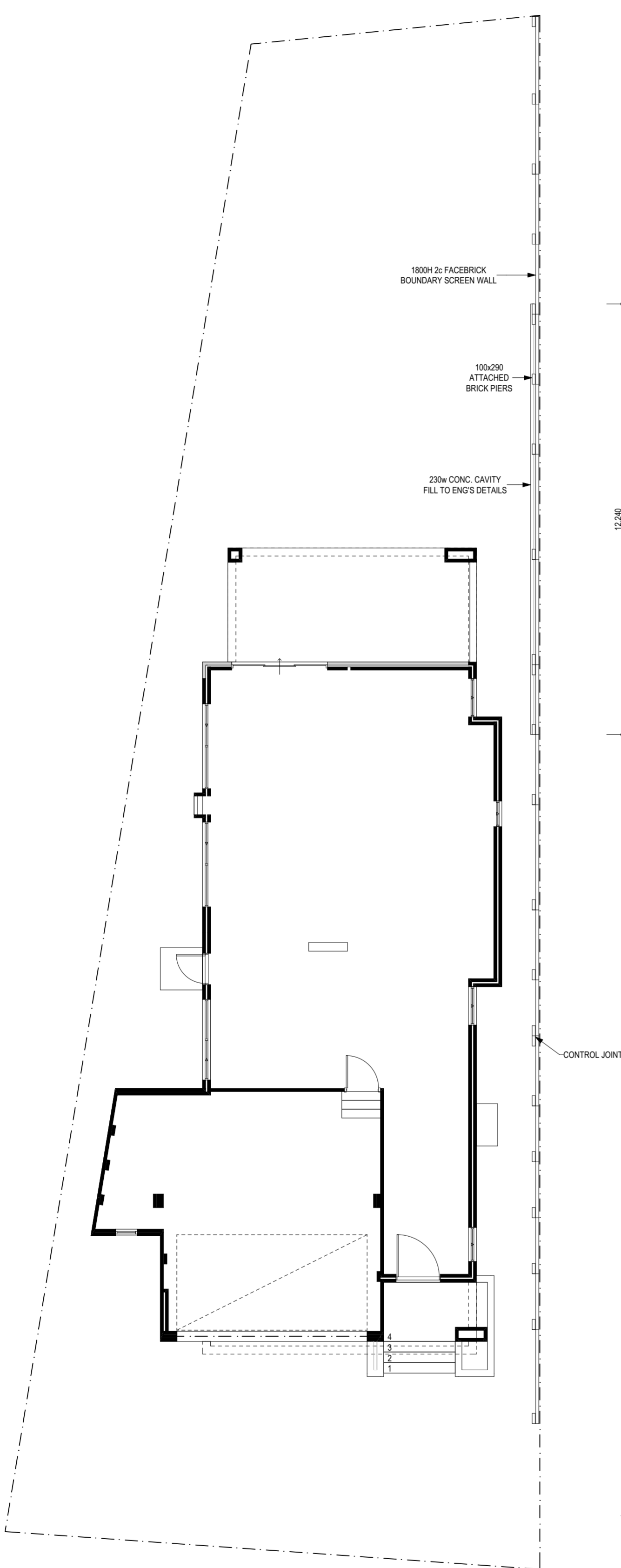
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VARIATION  
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SHEET  
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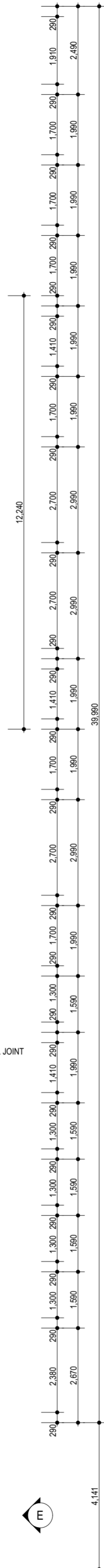


1800H 2c FACEBRICK  
BOUNDARY SCREEN WALL

100x290  
ATTACHED  
BRICK PIERS

230w CONC. CAVITY  
FILL TO ENG'S DETAILS

CONTROL JOINT



ELEVATION E

BOUNDARY WALL PLAN



VISION SPECIFICATION

PROPOSED RESIDENCE FOR  
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LOT 900 (#30a)  
KINSALE DRIVE, MINDARIE

INDIVIDUAL 2 STOREY

|  |  |   |  |                    |                                 |                               |                   |
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|--|--|---|--|--------------------|---------------------------------|-------------------------------|-------------------|

JOB No  
**5216**