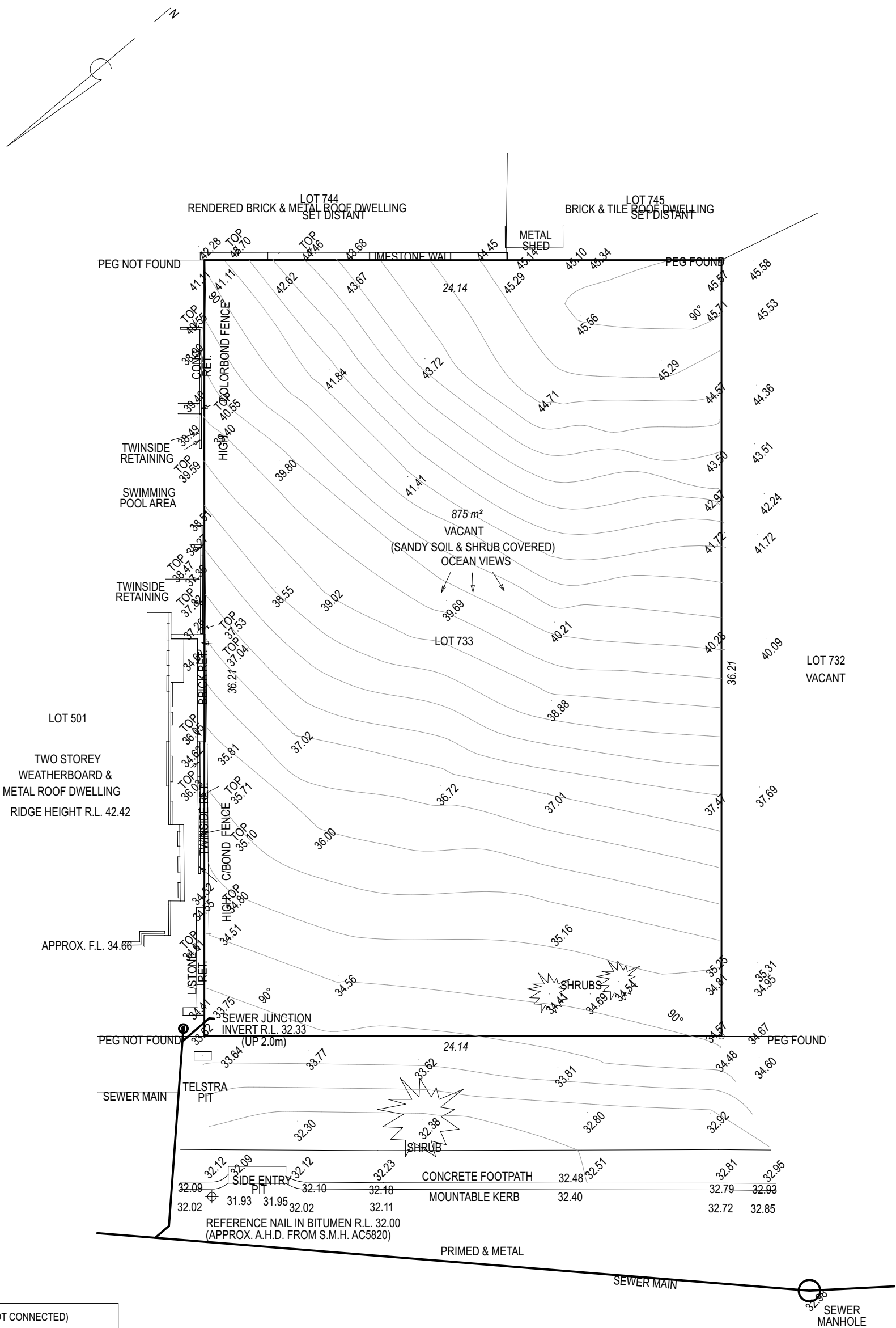
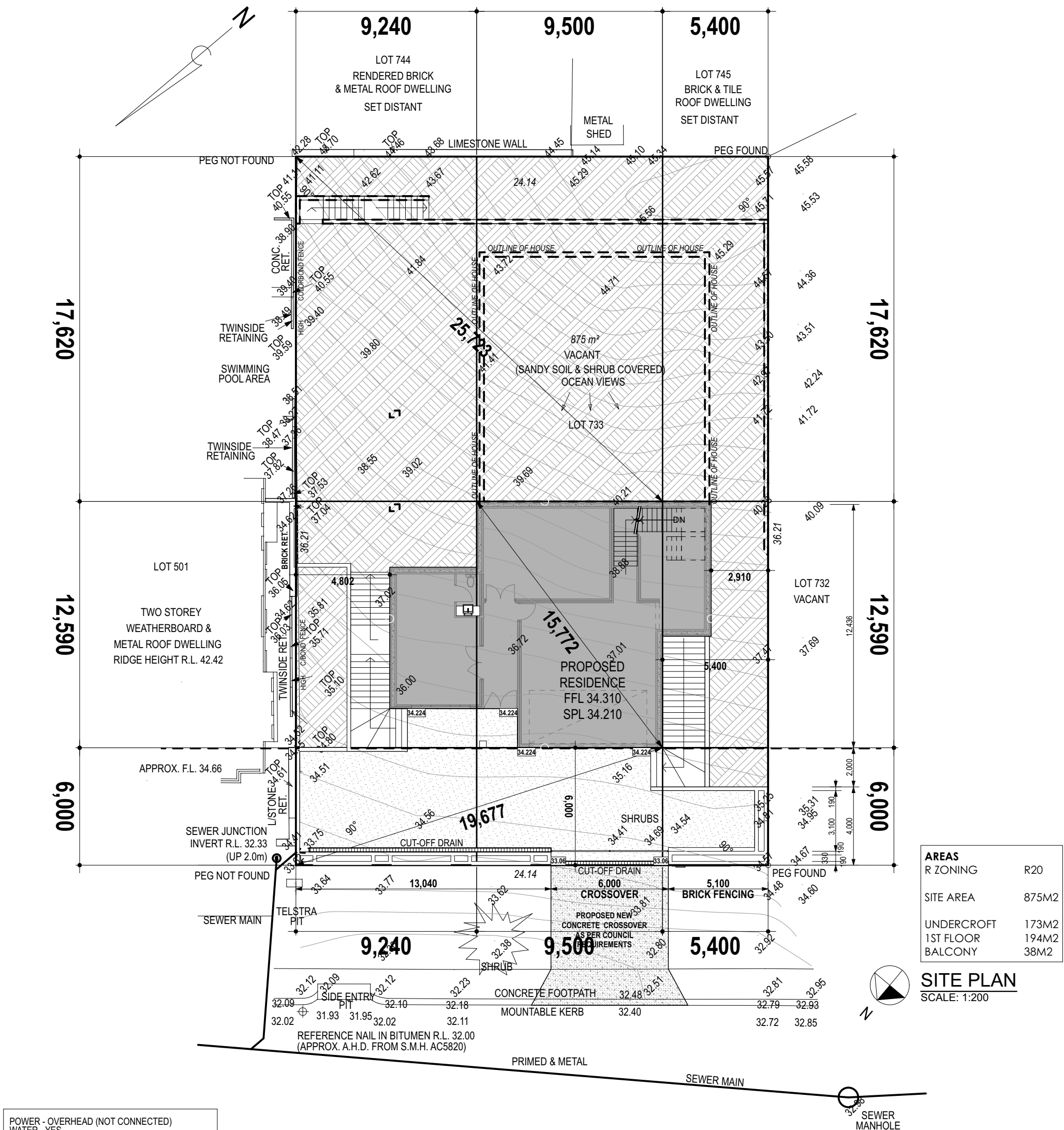




VIEW TERRACE

POWER - OVERHEAD (NOT CONNECTED) WATER - YES SEWERAGE - YES GAS - YES TELSTRA - YES HYDRANTS - REFER TO WATER CORP E-PLAN DRAINAGE - GOOD ROAD - PRIMED & METAL KERB - MOUNTABLE FOOTPATH - LOCATED VIEWS - NONE OVERHANGING TREES - NONE OBVIOUS ENCROACHMENTS - NONE DIAL 1100 BEFORE YOU DIG		———— GROUND FLOOR BUILDING ———— FIRST FLOOR BUILDING	
CONTOUR & FEATURE SURVEY OF LOT 733		HEIGHT DATUM A.H.D.	
#28 VIEW TERRACE, QUINNS ROCKS		CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS. A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION. INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.	
PLAN : 8602 C/T : 104-105A AUTHORITY : CITY OF WANNEROO TOTAL LOT AREA : 875 m² SCALE : 1 : 200 @ A3 SURVEY DATE : 22-01-2018 JOB : 15949		0 5 10 DRAFTED BY : GO DATE : 24-01-2018 CHECKED BY : DKM	

REVISED



AREAS	
R ZONING	R20
SITE AREA	875M2
UNDERCROFT	173M2
1ST FLOOR	194M2
BALCONY	38M2

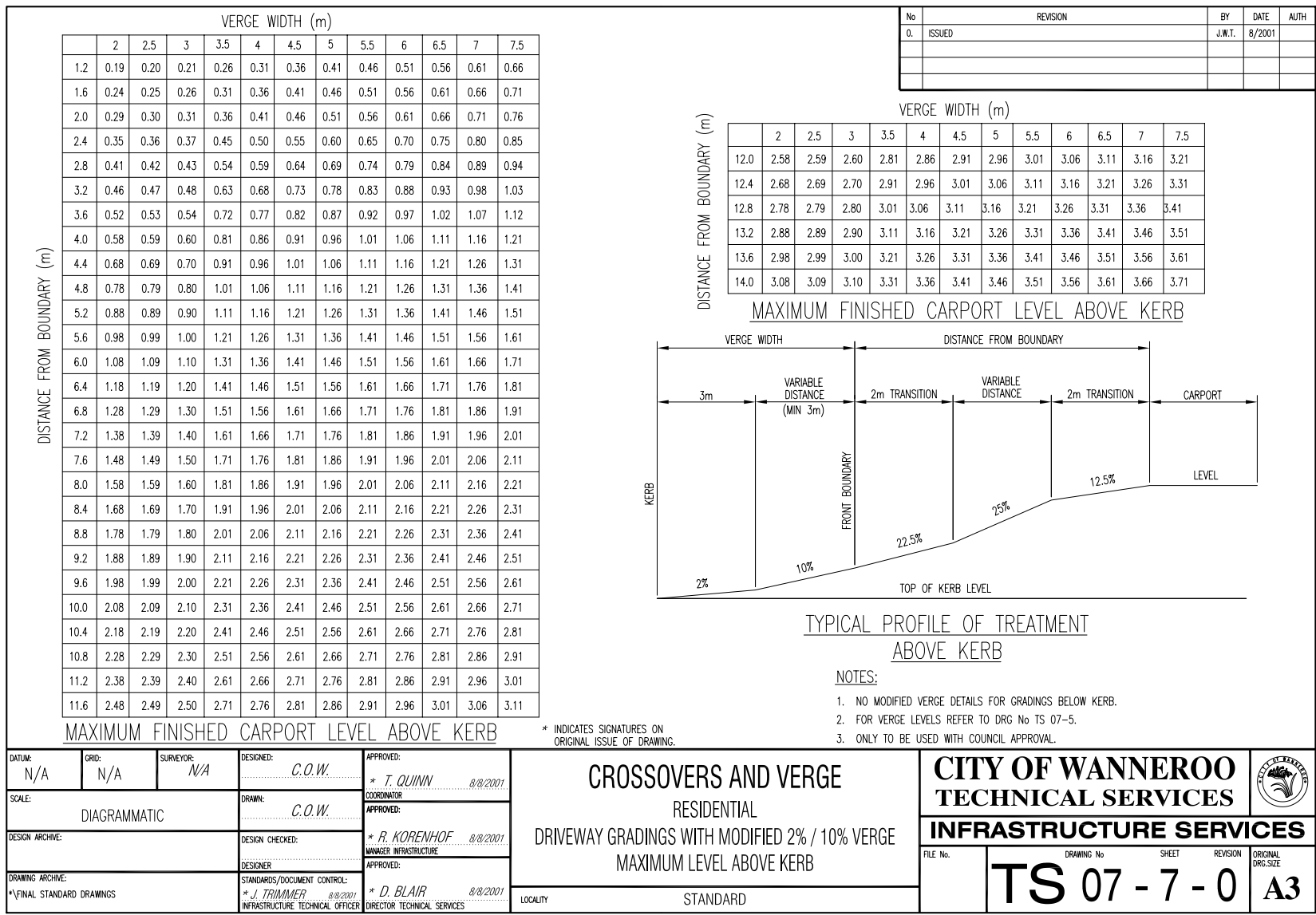
SITE PLAN
SCALE: 1:200

POWER - OVERHEAD (NOT CONNECTED)
WATER - YES
SEWERAGE - YES
GAS - YES
TELSTRA - YES
HYDRANTS - REFER TO WATER CORP E-PLAN
DRAINAGE - GOOD
ROAD - PRIMED & METAL
KERB - MOUNTABLE
FOOTPATH - LOCATED
VIEWS - NONE
OVERHANGING TREES - NONE
OBVIOUS ENCROACHMENTS - NONE
DIAL 1100 BEFORE YOU DIG

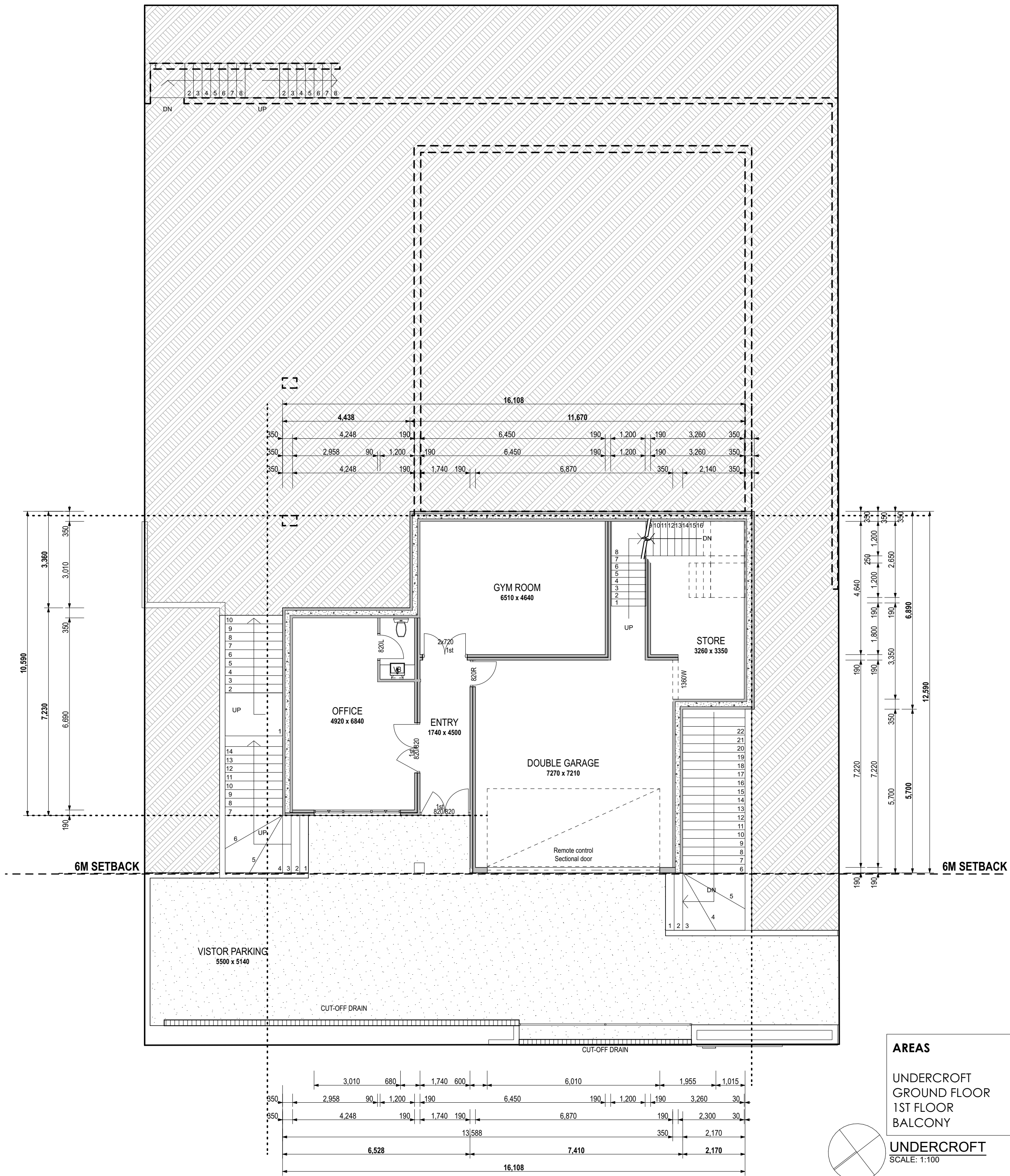
GROUND FLOOR BUILDING
FIRST FLOOR BUILDING

VIEW TERRACE

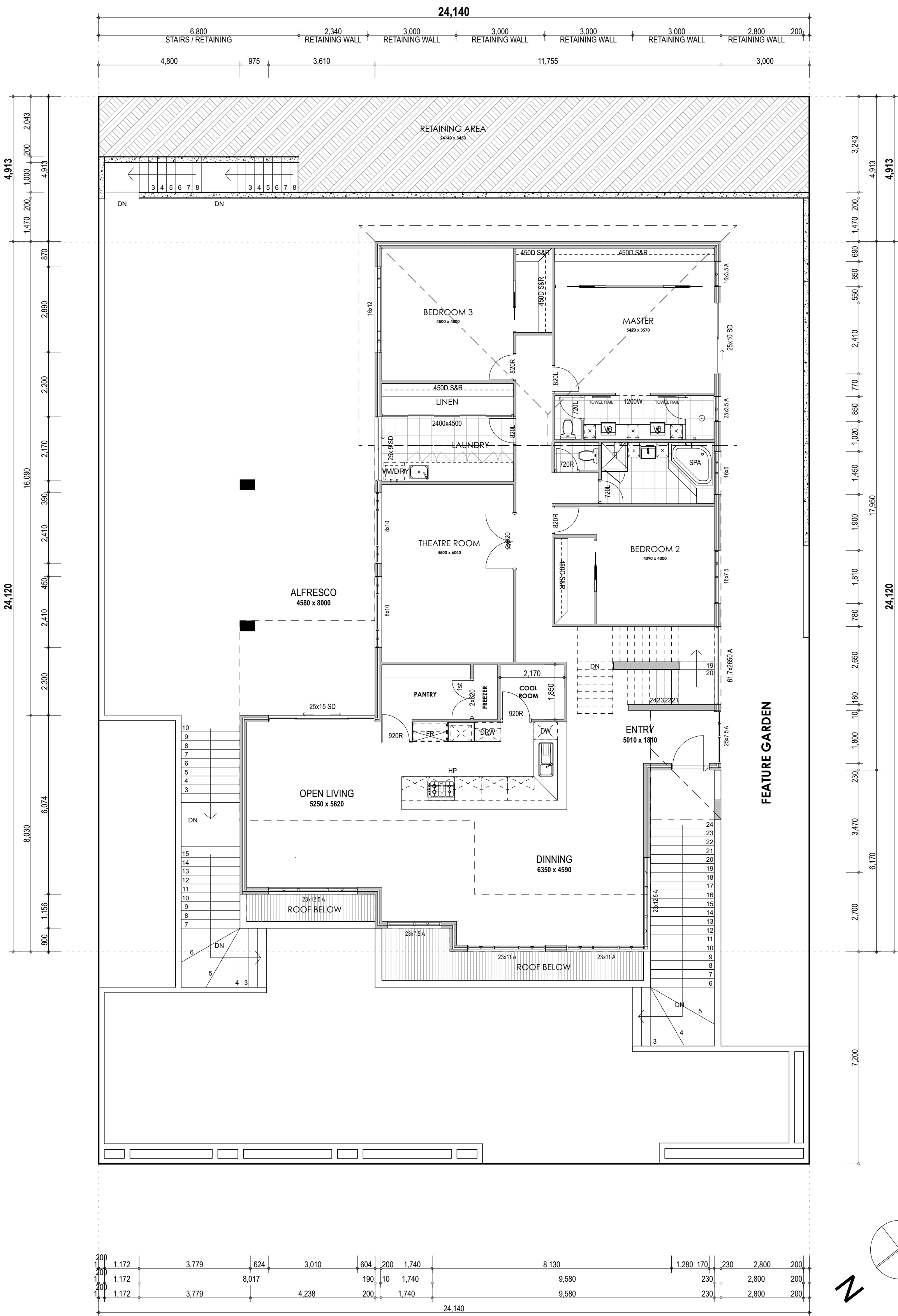
CONTOUR & FEATURE SURVEY OF LOT 733		HEIGHT DATUM A.H.D.	
#28 VIEW TERRACE, QUINNS ROCKS		CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN. UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS. A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION. INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.	
PLAN : 8602 C/T : 104-105A AUTHORITY : CITY OF WANNEROO TOTAL LOT AREA : 875 m² SCALE : 1:200 @ A3 SURVEY DATE : 22-01-2018 JOB : 15949	0 5 10 DRAFTED BY : GO DATE : 24-01-2018 CHECKED BY : DKM		



REVISED



REVISED

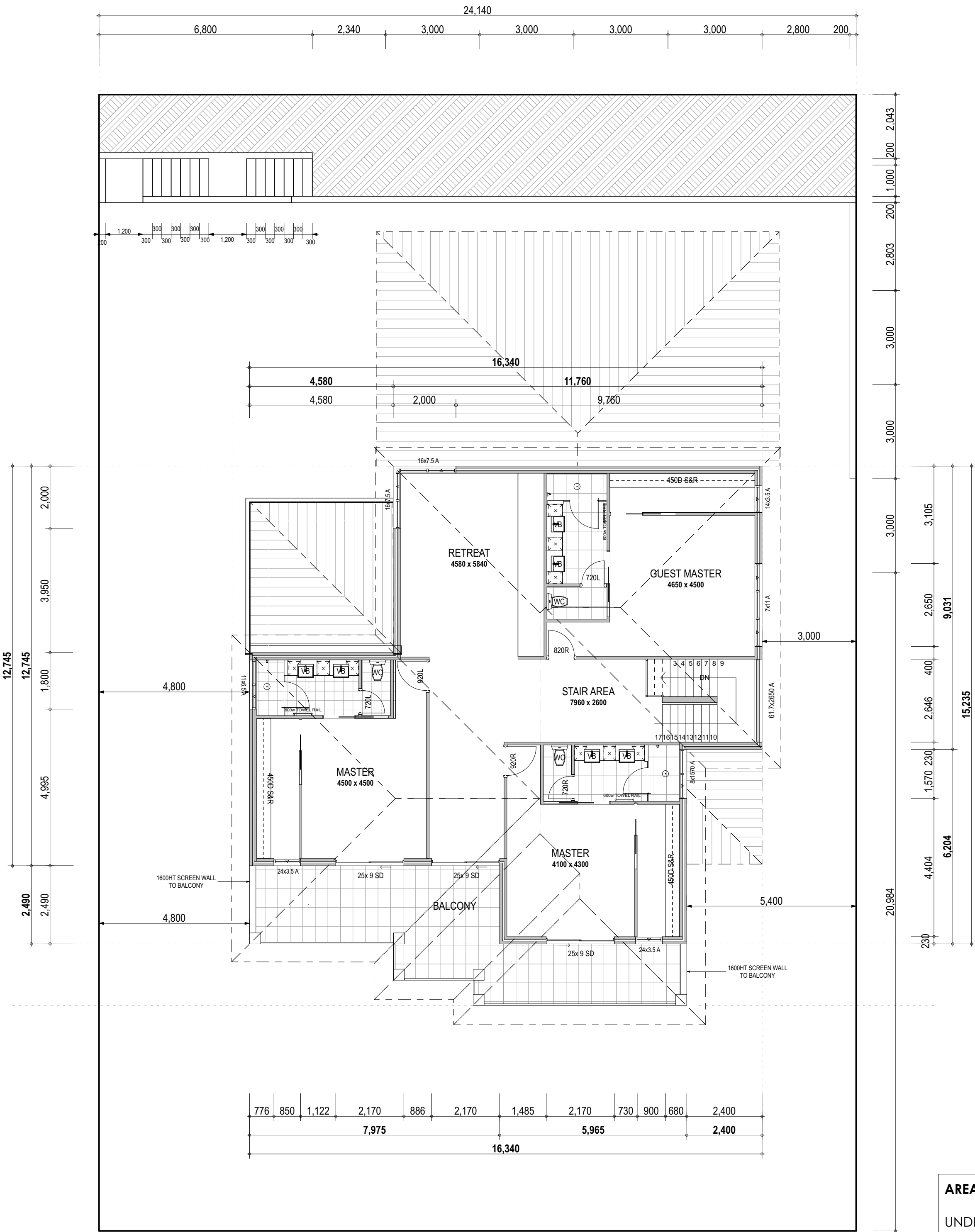


AREAS	
UNDERCROFT	173M ²
GROUND FLOOR	300M ²
1ST FLOOR	194M ²
BALCONY	38M ²

GROUND FLOOR
SCALE: 1:100

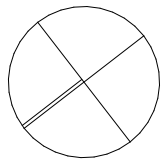
DATE	REV	DESCRIPTION
19/01/21		PLANNING APPLICATION CONDITIONS
01/09/20		PLANNING APPLICATION

REVISED



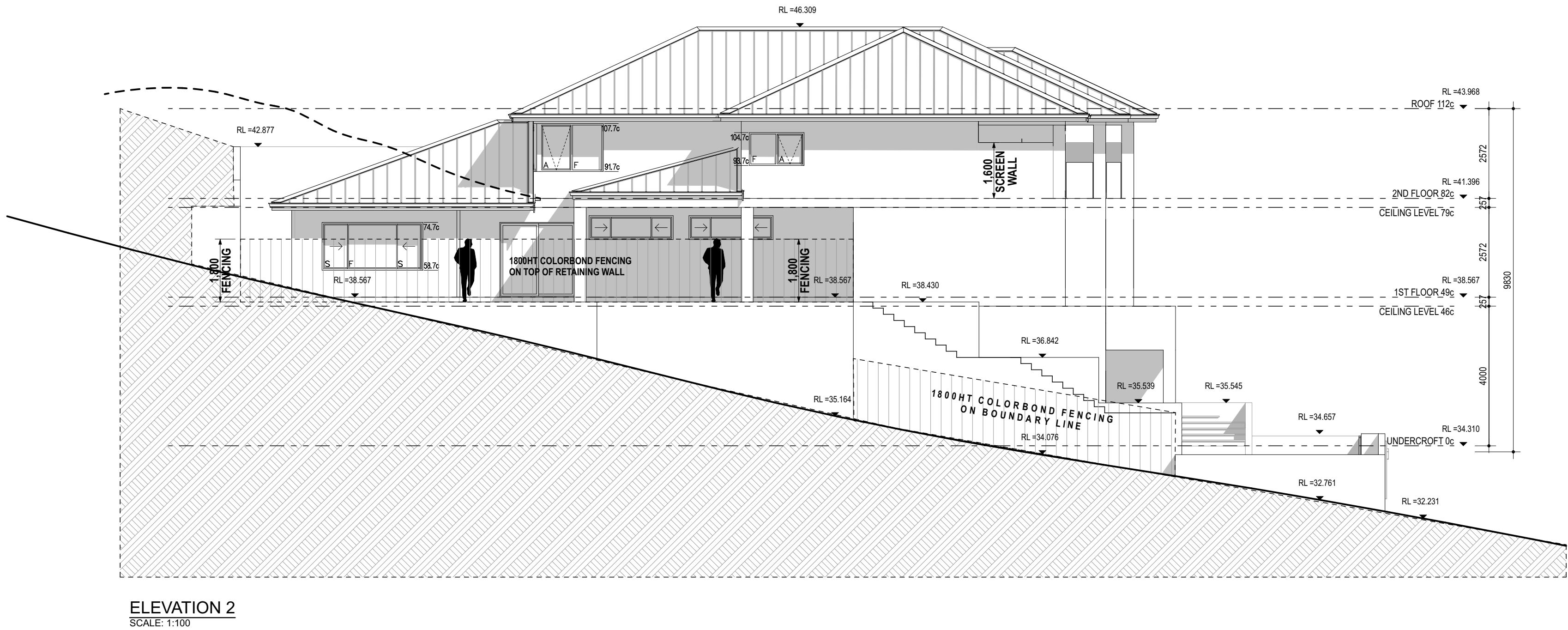
AREAS	
UNDERCROFT	173M ²
GROUND FLOOR	300M ²
1ST FLOOR	194M ²
BALCONY	38M ²

2ND FLOOR
SCALE: 1:100

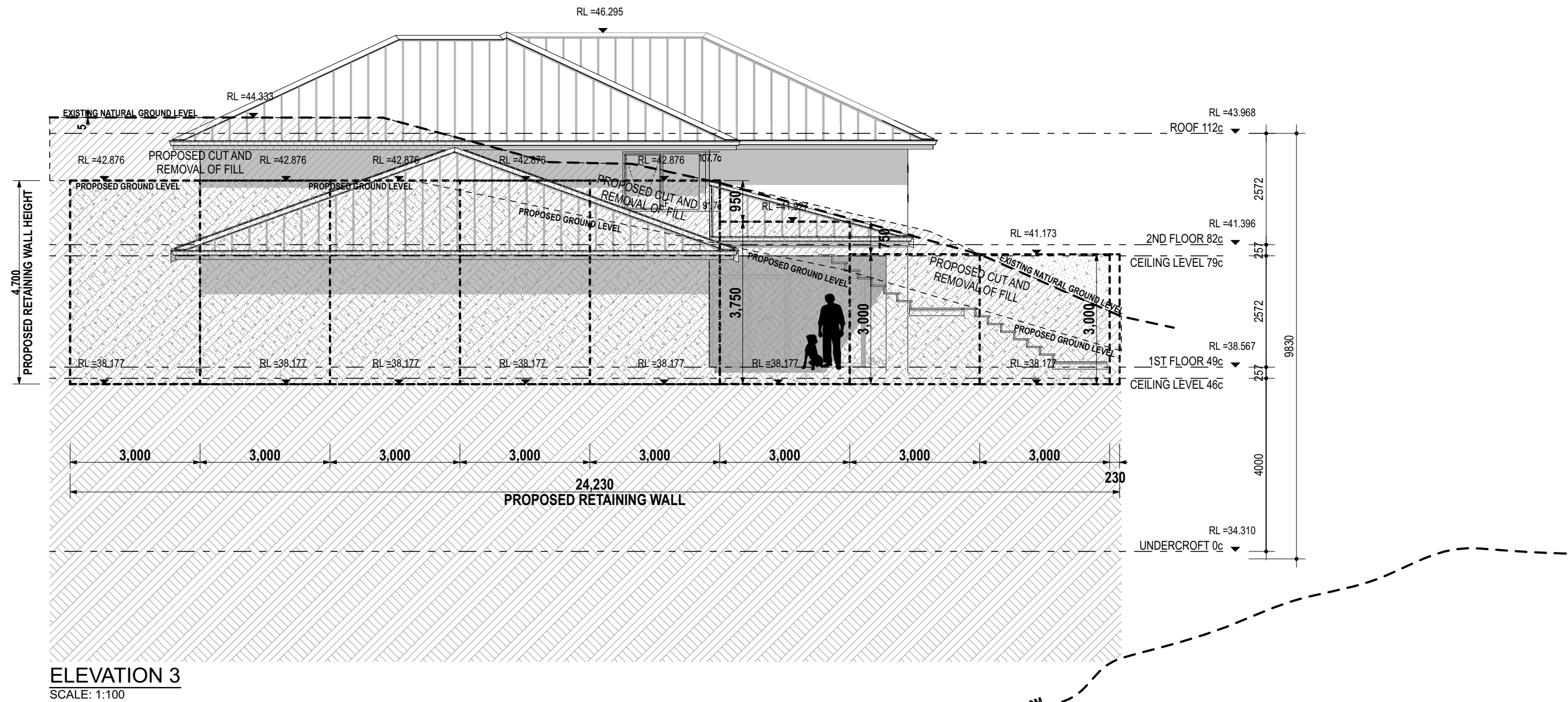


DATE	REV	DESCRIPTION
19/01/21		PLANNING APPLICATION CONDITIONS
01/09/20		

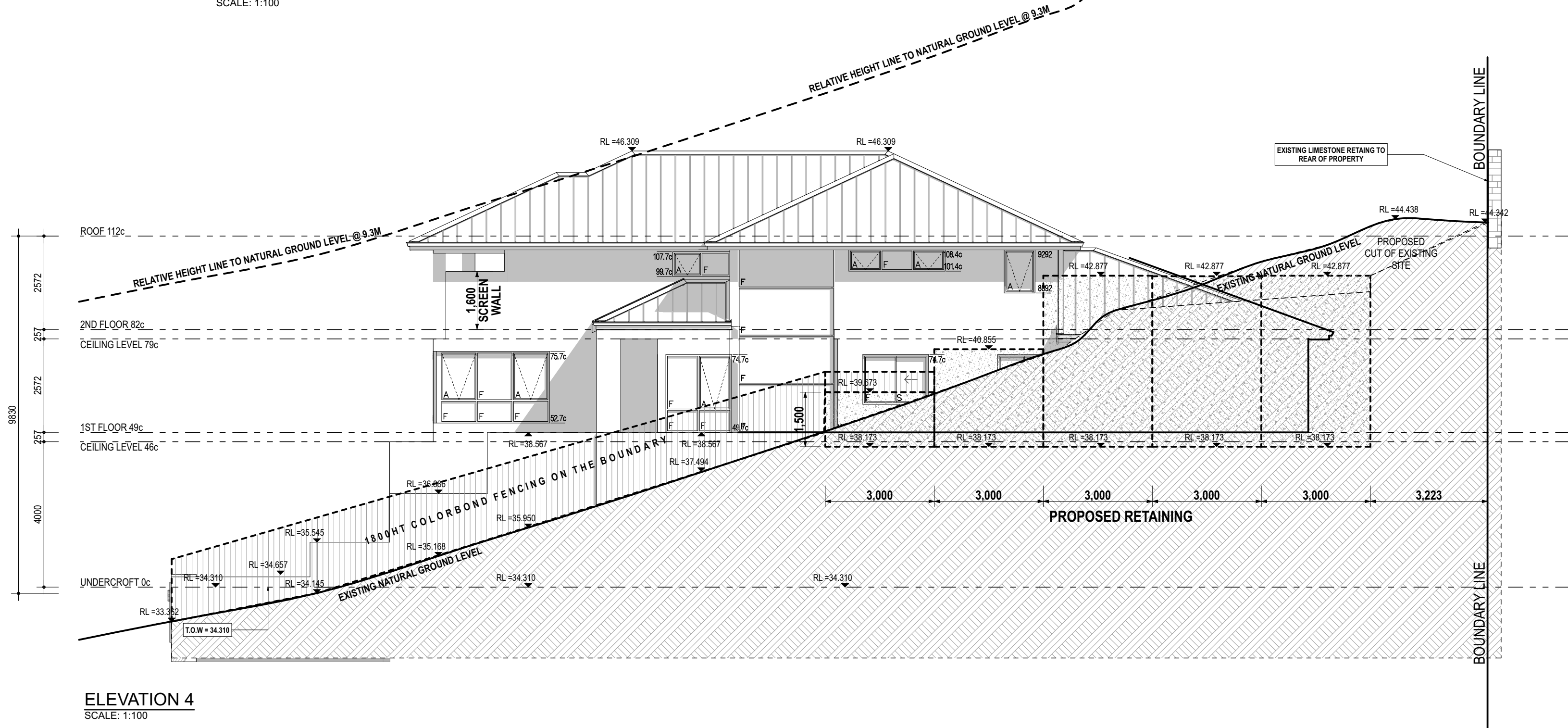
REVISED
8/4/21



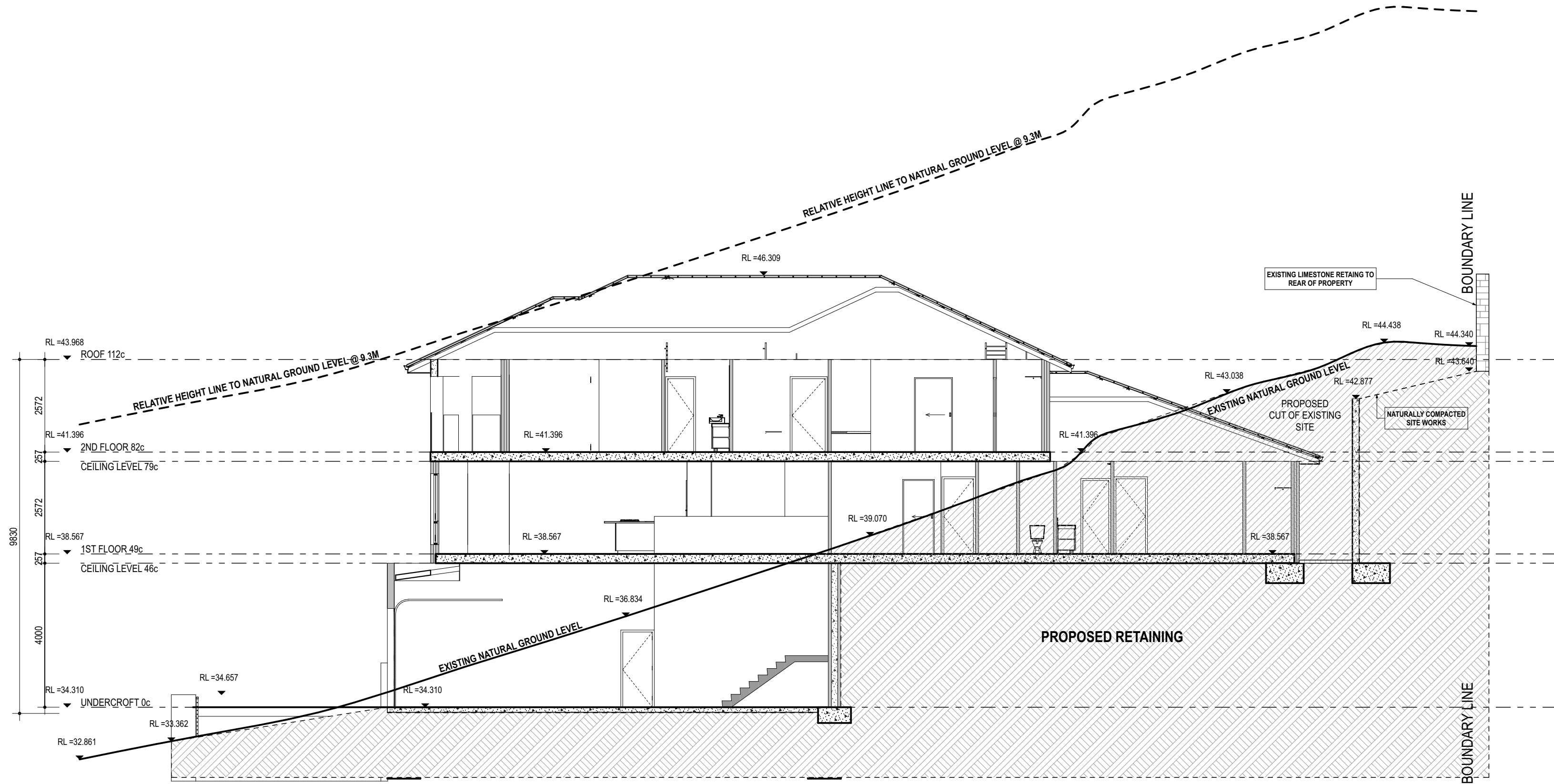
REVISED
8/4/21



ELEVATION 3
SCALE: 1:100



ELEVATION 4
SCALE: 1:100



SITE SECTION X-X
SCALE: 1:100