



City of Wanneroo
23 Dundobar Road
Wanneroo
WA 6065

6th May 2021

Dear Sir/Madam

Lot 537, 96 Reflection Boulevard Jindalee 6036.

We would like to apply for the above property to have a change of use to allow the dwelling to be rented out for short term accommodation.

The property is located in Jindalee which is a beachside suburb and only a very short stroll to the beach and also the newly opened Beach House restaurant which is becoming very popular.

The property has three bedrooms – no more than 6 guests will be allowed on the property at any given time.

No group gatherings or parties will be allowed on the property

Guests will not be permitted to create noise which is offensive to occupiers of neighbouring properties, especially between the hours of 10pm and 7am on Monday to Saturday, and 10pm and 9am on Sunday and public holidays. This is mentioned in our short-term contract, plus a copy of the house rules are also inside the property and can be clearly seen.

Guests will need to sign a short-term contract agreeing to the above. Photo ID will also be required. If they do not abide by the contract, they will be asked to vacate the property immediately and forfeit the balance of their stay.

Kim Willett T/A Perth Holiday Stays
ABN 55 692 833 745

Contact details 08 9408 6212 Mobile 0402027948 email kim@perthholidaystays.com.au



The neighbouring properties will have the contact details of myself (Perth Holiday Stays) and also the owner Val Harrison. I can be contacted at any time. I personally live 9kms away which by car is approximately 12 minutes.

We will also have our contact details on the meter box of the property.

Guest bookings will be between 3 – 89 days at a time.

Guests are informed that they must not park on the verge or any neighbouring property.

The property is managed by myself Kim Willett T/A Perth Holiday Stays, I am a member of the Wanneroo Business Association, Experience Perth, ASTRA (Australian Short-Term Rental Association) and I am also accredited by the Tourism Council of WA and have received their Tick of Approval.

I look forward to your kind consideration of this application.

Kind Regards

*Kim Willett
T/A Perth Holiday Stays
www.perthholidaystays.com.au
Mobile 0402 027948
Office 08 9408 6212*

**Kim Willett T/A Perth Holiday Stays
ABN 55 692 833 745**

Contact details 08 9408 6212 Mobile 0402027948 email kim@perthholidaystays.com.au

Rubbish Collection

96 Reflection Boulevard Jindalee 6036

Rubbish collection days are Tuesday morning, please ensure the bin(s) are placed as per the photo below Monday evening to ensure collection.

Please see below the position the bins must be placed in to ensure collection – the handles must be facing the garage door



After collection, please return to the garage



SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - 'N1'
CORROSION CLASSIFICATION - 'R4'

BRICK NOTE
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O.

BUSHFIRE ATTACK LEVEL - 12.5

**CONSTRUCTION TO COMPLY FULLY
W/- NASH STANDARDS**

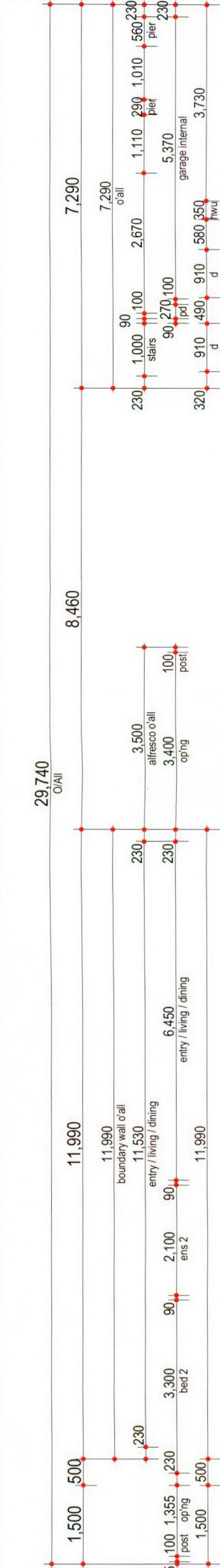
ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF FRAME
- CEILINGS TO U/SIDE OF TRUSS (TRUSS AT 31c)

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO
STORMWATER SYSTEM (NO KICK)

PLUMBER NOTE
- NO HOBBS TO SHOWERS UNLESS
SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX
VALVE.

BRICKLAYER NOTE
- FOR 2c GARAGE:
- 25c & 31c GARAGE HAS 4c LINTEL
- 28c GARAGE HAS 3c LINTEL

PROVIDE VINYL FROM BUILDERS
STANDARD RANGE TO LIVING,
DINING, KITCHEN, PTY, ENTRY, BED
2 (INC. ROBE) & BED PASS
PROVIDE INTERNAL PAINTING
THROUGHOUT (2 COATS OF PAINT
& 1 COAT OF SEALER)
PROVIDE BLINDS THROUGHOUT
(INC. WET AREAS)



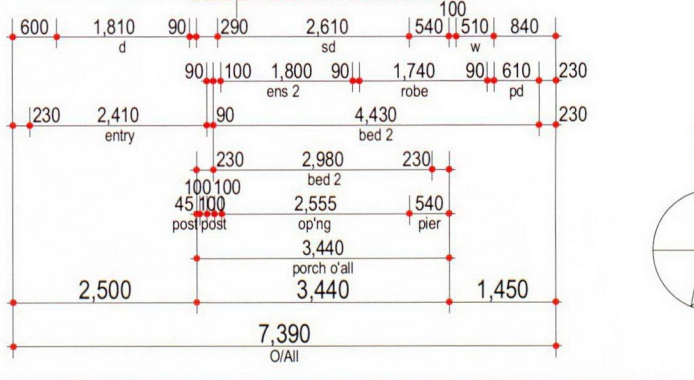
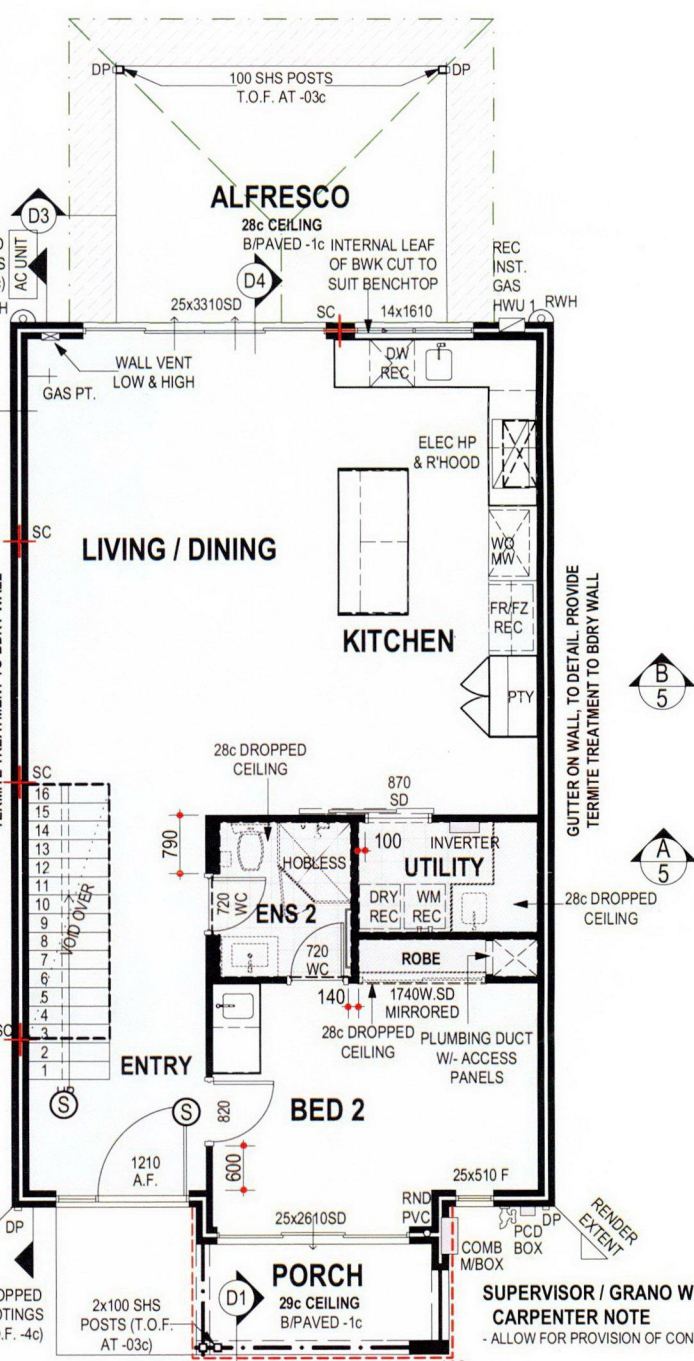
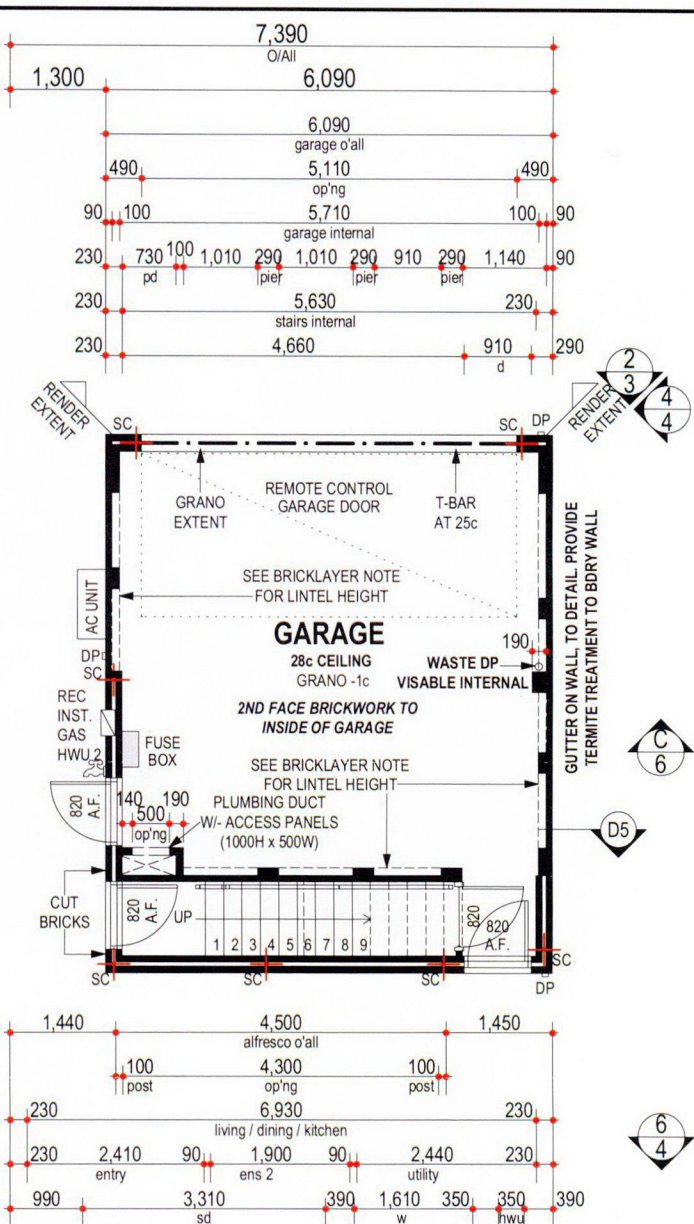
AIRCON NOTE
- PROVIDE REVERSE CYCLE AIR CONDITIONING TO MAIN
HOUSE. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

CEILING MATERIAL NOTE
- PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - PLASTERBOARD C.L.
- ALFRESCO - PLASTERBOARD C.L.

DOOR NOTE
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM
- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS U.N.O.

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX /
VERSILUX CEILINGS
- PROVIDE ACRYLIC RENDER



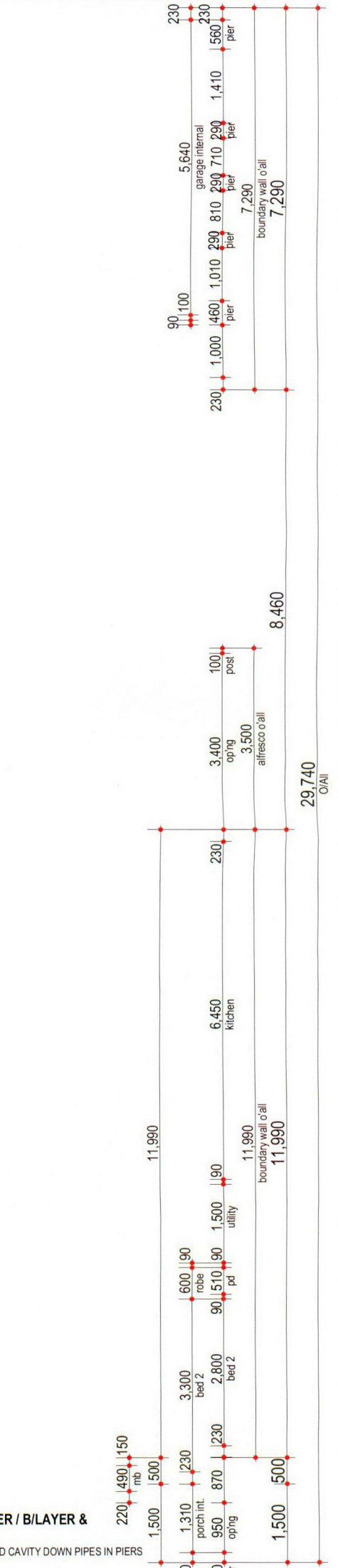
TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS &
STANDARD SPECIFICATION.
- FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE DETERMINED UPON
RECEIPT OF ENG'S CERT. PLANS.

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH ⑤
- AS3786-2014 AS INDICATED ON PLAN
- PROVIDE 3-PHASE POWER

FIXING CARPENTER NOTE
- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG



AIRCON NOTE
- PROVIDE SPLIT SYSTEM AIR CONDITIONING TO STUDIO.
OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

FLOOR PLAN

	Area m ²	Perim. L/m
1. FLOOR PLAN	90.41	40.48
2. STUDIO STAIRWELL	8.04	14.82
3. GARAGE	36.36	24.12
4. PORCH	5.08	9.88
5. ALFRESCO	15.75	16.00
6. TOTAL AREA	155.64	76.52
7. ROOF	23.93	19.84

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

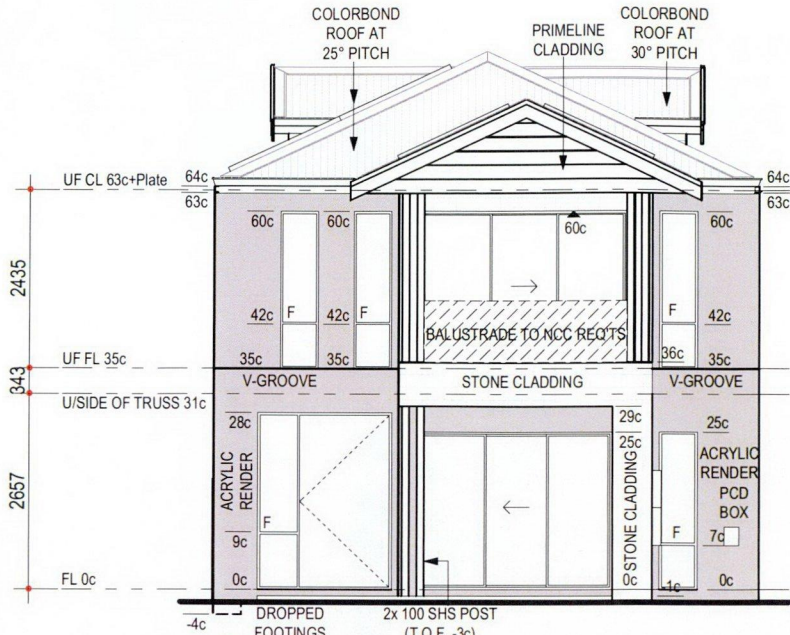
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

	Area in	Form 1.2
1. UPPER FLOOR PLAN	90.41	40.48
2. BALCONY	5.08	9.88
3. STUDIO FLOOR PLAN	44.40	26.76
4. TOTAL AREA	139.89	69.52
5. ROOF	140.59	69.62

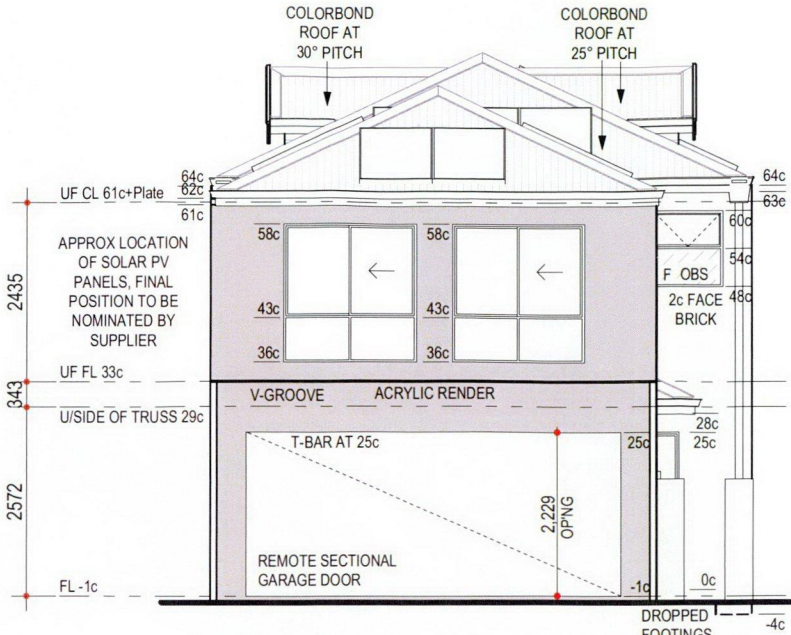
ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD

WINDOW SUPPLIER NOTE
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS TO STEEL FRAME WALLS ONLY:
WINDOW SUPPLIER TO CONTACT BACK BONE STEEL FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.

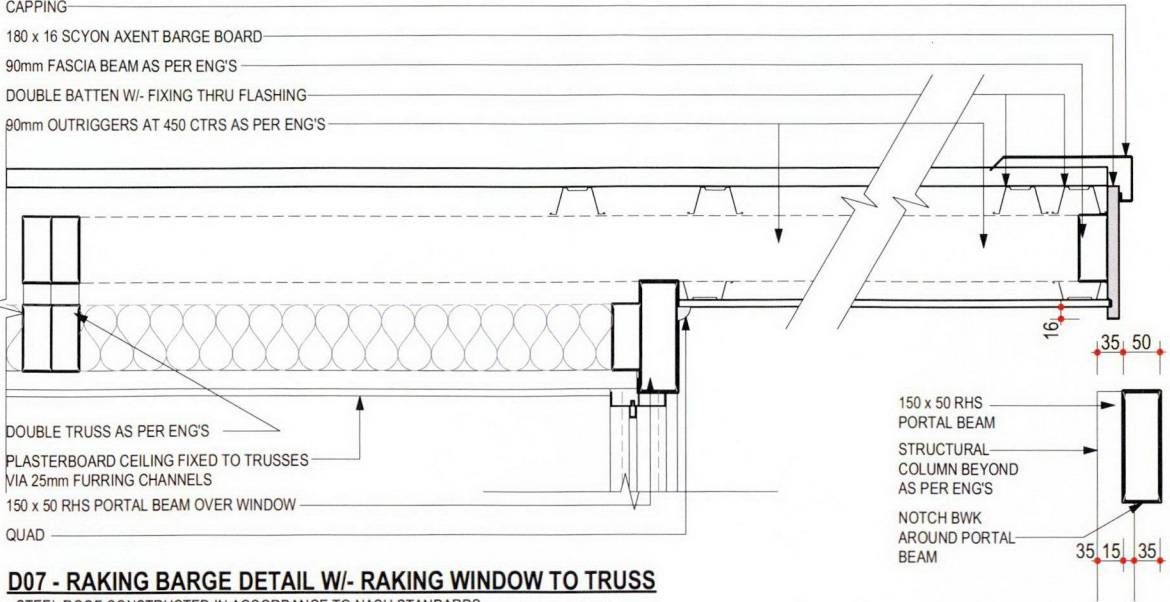
- SCALE 1 : 10



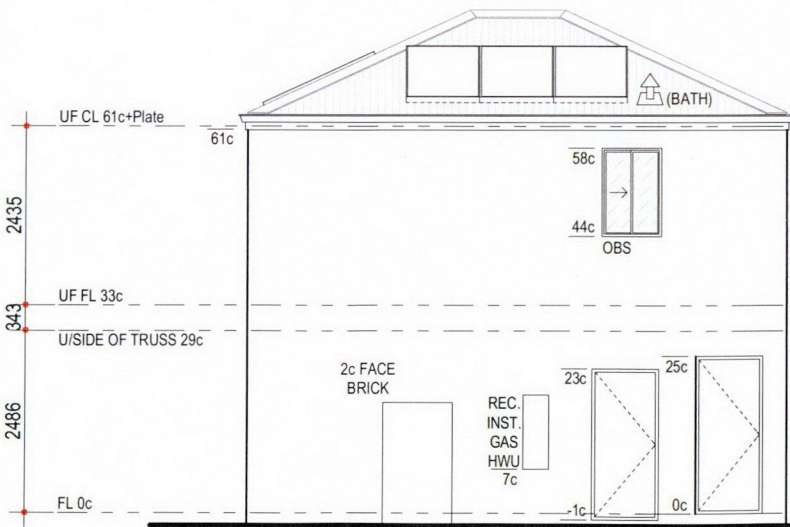
ELEVATION 1



ELEVATION 2

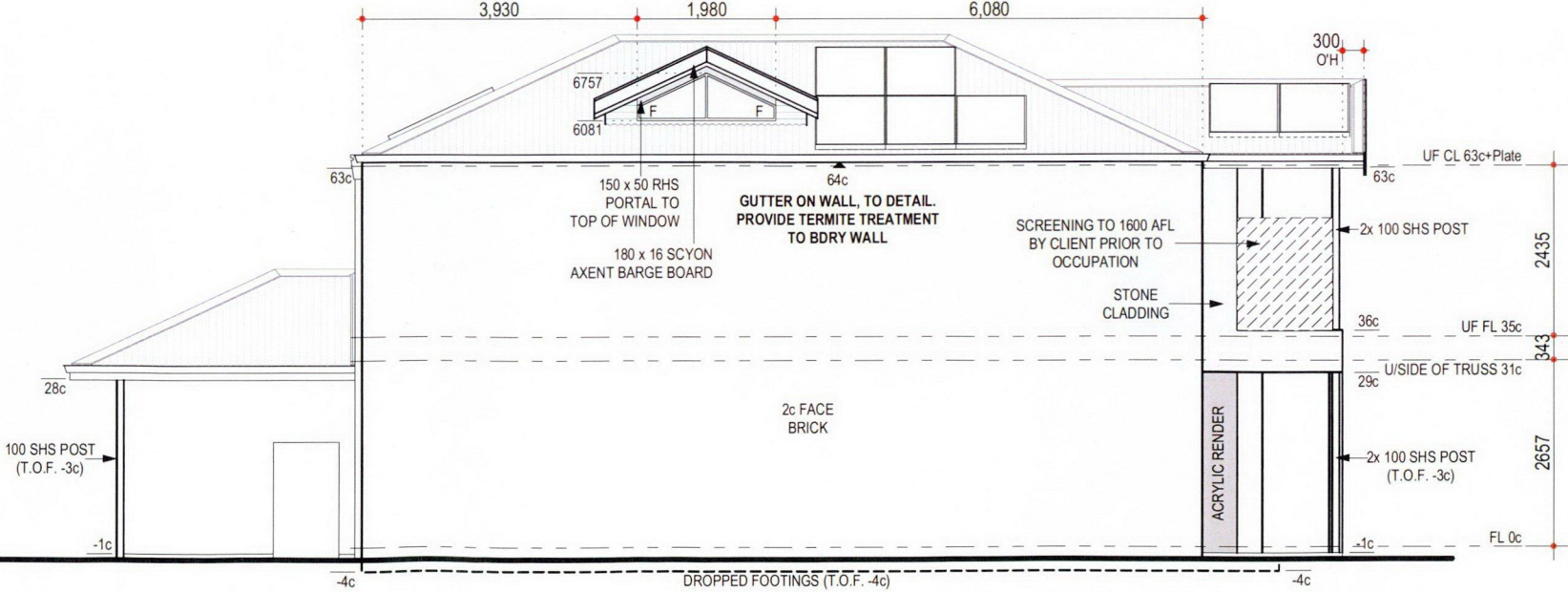


D07 - RAKING BARGE DETAIL W/- RAKING WINDOW TO TRUSS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO NASH STANDARDS
- SEE ELEVATION FOR ROOF PITCH
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1:10



ELEVATION 3

APPROX LOCATION OF SOLAR PV PANELS, FINAL POSITION TO BE NOMINATED BY SUPPLIER



Tangent Nominees Pty Ltd (A.C.N. 008 865 585)
Trustee For Summit Homes Group Trust.



242 Leach Highway Myaree, W.A. 6154.
Telephone(08) 9317 0100 Fax(08) 9330 4507

PROPOSED RESIDENCE FOR:

V. HARRISON

ADDRESS

**LOT 537 #96 REFLECTION BOULEVARD
JINDALEE**

VARIATIONS:

V001 24-04-18 MJE V015&V016 16-08-19
V002 07-08-18 MJE V017 09.09.19 DCO
V004 21-09-18 NIR AMEND 24-09-19 MJE
V005&6 18-10-18 NIR V020 30-10-19 MJE
V007 07-11-18 NIR V021 07-11-19 DCO
V008 03-12-18 NIR AMEND. 11-11-19 DCO

V009 21.12.18 NIR V022 18-11-19 MJE
V010 15.02.19 NIR V023 06-01-20 DCO
V008 20.02.19 NIR V025 07.02.20 NJW
V011 06.03.19 NIR
V012 19-03-19 MJE
V013 & CLOG 31.07.19 DCO
V014 07-08-19 DCO

LAST OPENED:
Mon 18 Nov 2019

TIME:
07:32:22

DATE: 15-02-18
DRN: MJE
CHD: NWI
SCALE: 1: 100
© COPYRIGHT 2019

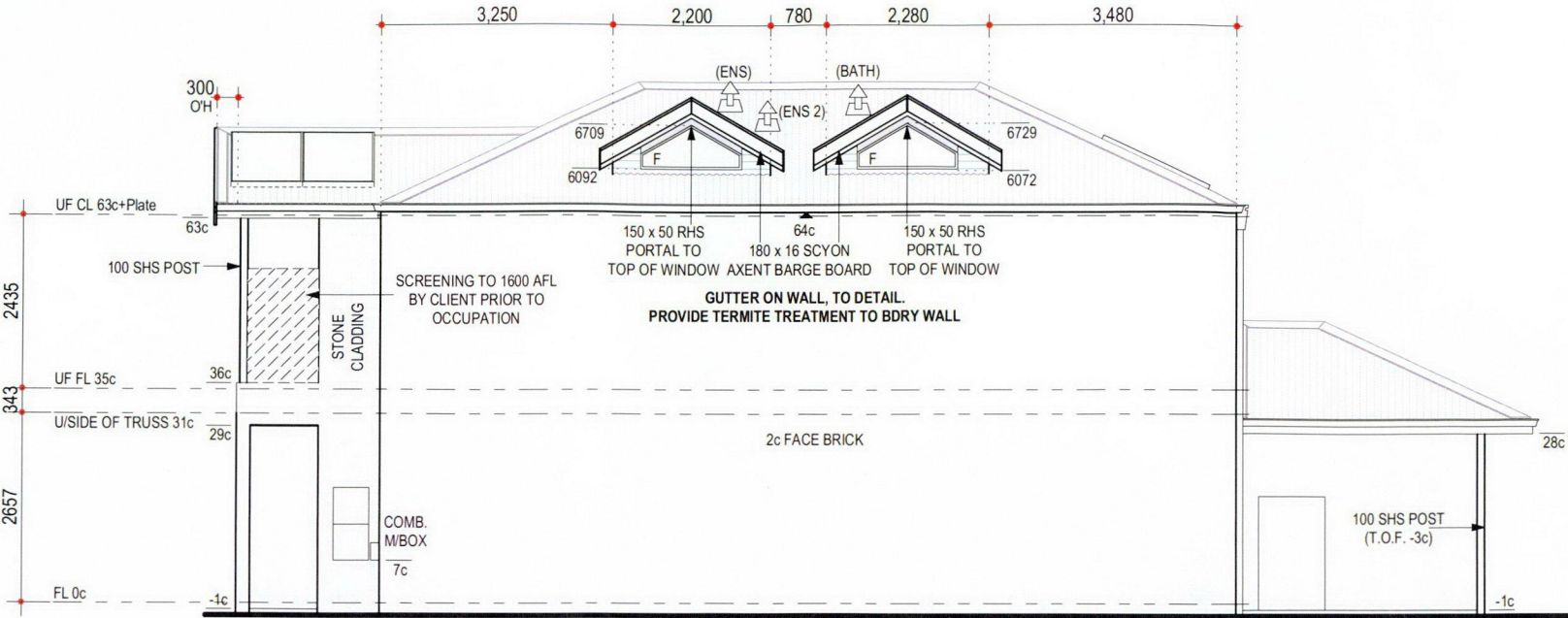
JOB NO: 155006

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

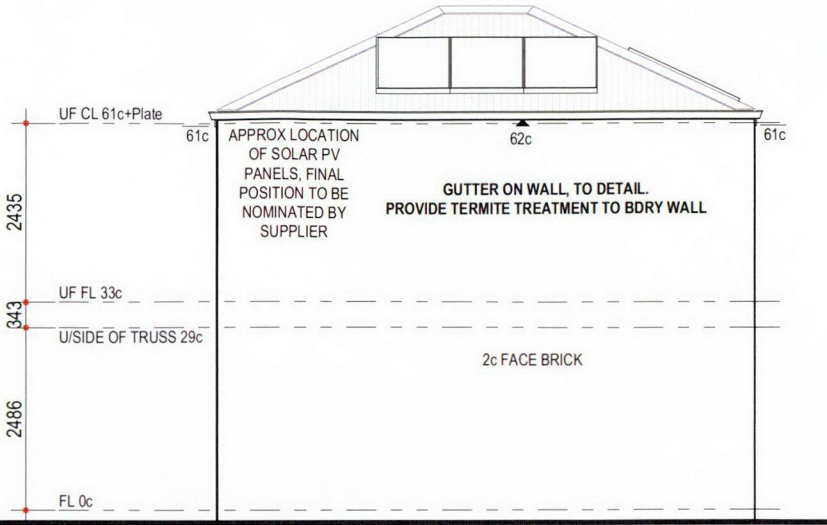
BUILDER: _____
CLIENT(S): _____
WITNESS: _____

ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/- 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD

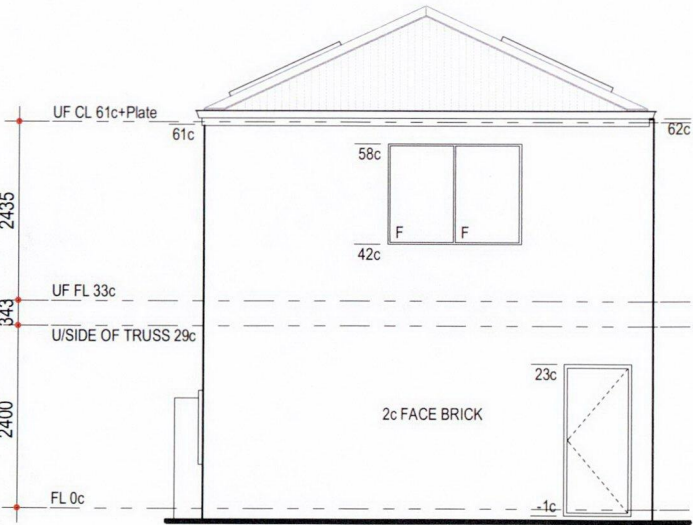
WINDOW SUPPLIER NOTE
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS TO STEEL FRAME WALLS ONLY:
WINDOW SUPPLIER TO CONTACT BACK BONE STEEL FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.



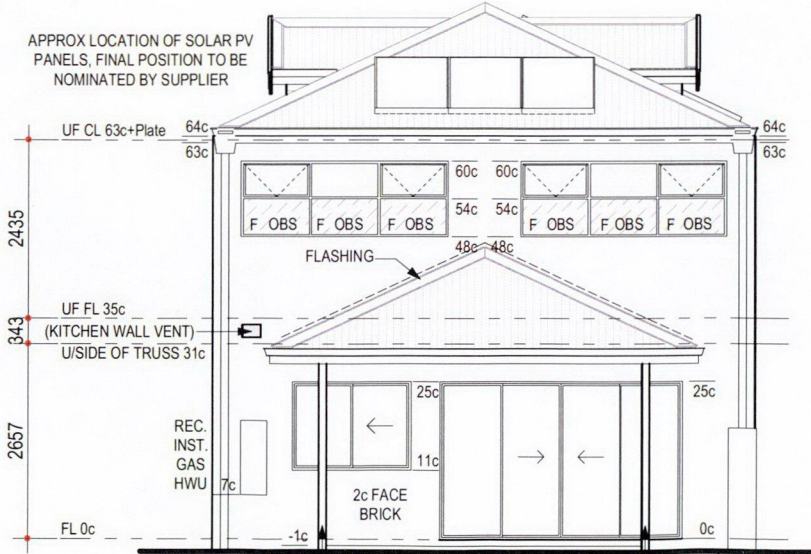
ELEVATION 4



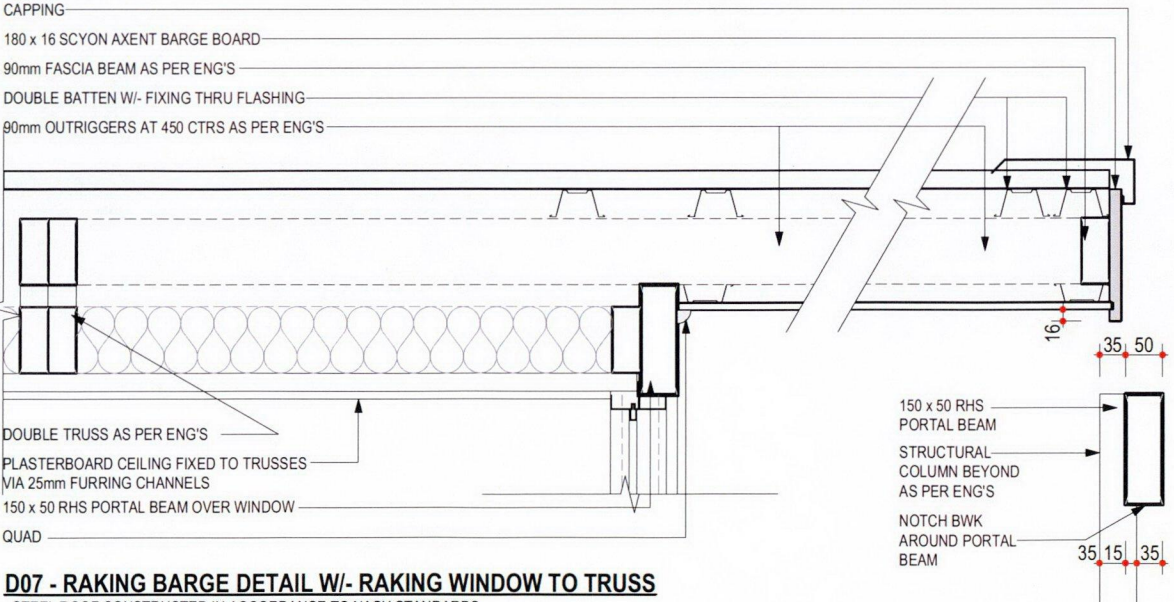
- SCALE 1 : 10



ELEVATION 5



ELEVATION 6



D07 - RAKING BARGE DETAIL W/- RAKING WINDOW TO TRUSS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO NASH STANDARDS
- SEE ELEVATION FOR ROOF PITCH
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1:10

PORTAL BEAM DETAIL

Tangent Nominees Pty Ltd (A.C.N. 008 865 585)
Trustee For Summit Homes Group Trust.

SUMMIT HOMES

242 Leach Highway Myaree, W.A. 6154.
Telephone(08) 9317 0100 Fax(08) 9330 4507

PROPOSED RESIDENCE FOR:
V. HARRISON

ADDRESS
**LOT 537 #96 REFLECTION BOULEVARD
JINDALEE**

VARIATIONS:	V009 21.12.18 NIR	V022 18-11-19 MJE
V001 24-04-18 MJE	V010 15.02.19 NIR	V023 06-01-20 DCO
V002 07-08-18 MJE	V008 20.02.19 NIR	V025 07.02.20 NJW
V004 21-09-18 NIR	V011 06.03.19 NIR	
V005&6 18-10-18 NIR	V012 19-03-19 MJE	
V007 07-11-18 NIR	V013 & CLOG 31.07.19 DCO	
V008 03-12-18 NIR	V014 07-08-19 DCO	

LAST OPENED:
Mon 18 Nov 2019

TIME:
07:32:22

DATE: 15-02-18
DRN: MJE
CHD: NWI
SCALE: 1: 100
© COPYRIGHT 2019

DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____
CLIENT(S): _____
WITNESS: _____

BAL ASSESSMENT REQUIRED: NO

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

PROVIDE 3-PHASE POWER TO METERBOX

Soak Well Type	No.	
SW 1200x1200	2	2.7 m3
Total Capacity		2.7 m3
Roof Area GF		165.8 m2
Total Area		165.8 m2
Capacity Required (Area x 0.0130)		2.2 m3
Extra Capacity Provided		0.6 m3

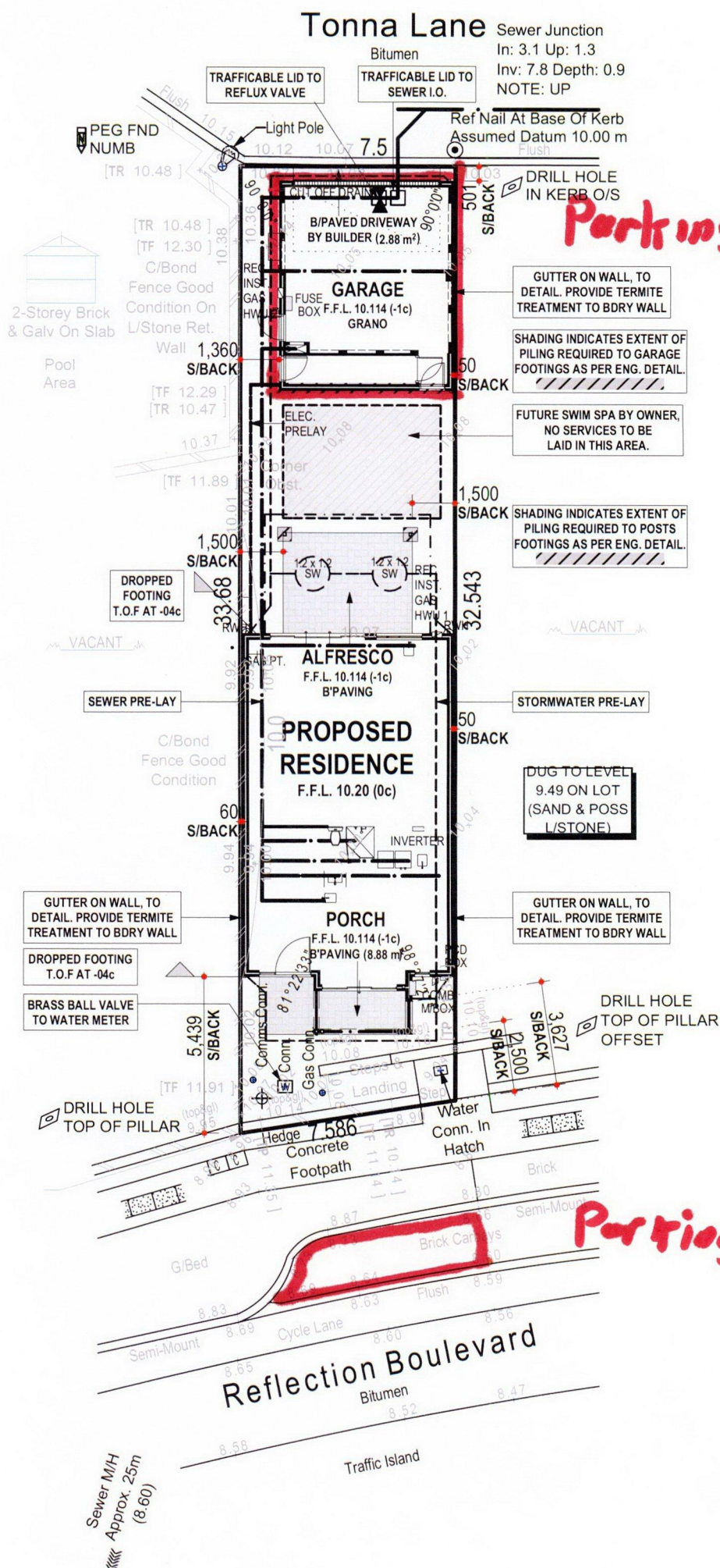
LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence

Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

RESTRICTIVE COVENANT.
REFER TO SEC 136D T.L.A.
SEE DOCUMENT N670739

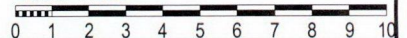
COVENANT. *NO ACCESS*
REFER TO SEC 150 P&D ACT.
SEE DOCUMENT

* RESPONSIBLE FOR ENSURING THE POOL IS CONSTRUCTED NO CLOSER TO THE HOUSE OTHER THAN AS IS SHOWN ON THE SITE PLAN.



Latitude: 31°38'03"S Longitude 115°41'02"E

Scale 1:200



**COTTAGE & ENGINEERING
SURVEYS**

Licensed Surveyors ©

87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email : perth@cottage.com.au Website: www.cottage.com.au

AREA:	- 248M ²
SHIRE:	- CITY OF WANNEROO
D.PLAN:	- 65147
C/T VOLUMN:	- 2935
FOLIO:	- 703
MSD REF:	- 158-05/39

ROAD DESCR.:	- BITUMEN
KERBING:	- FLUSH / SEMI-MOUNT
FOOTPATH:	- CONCRETE
SOIL:	- SAND / L'STONE
DRAINAGE:	- GOOD
VEGETATION:	- LIGHT GRASS COVER

GAS:	- YES	SSA/OLD AREAS:	- SSA
WATER:	- YES	C/JOB#:	- 431648
ELECTRICITY:	- U/GROUND	DATE:	- 08/02/18
PH/COMMS:	- YES	SCALE:	1:200
SEWER:	- YES	DRAWN:	- M. BATEMAN
COASTAL:	- CHECK SHIRE		

UNLODGED SURVEY STRATA PLAN: - N/A
ORIGINAL LOT: - N/A
LOT MISCLOSE: - 0.001m
SSL 1 MISCLOSE: - N/A
SSL 2 MISCLOSE: - N/A



Tangent Nominees Pty Ltd (A.C.N. 008 865 585)
Trustee For Summit Homes Group Trust.

PROPOSED RESIDENCE FOR:

V. HARRISON

ADDRESS

**LOT 537 #96 REFLECTION BOULEVARD
JINDALEE**

VARIATIONS:

V001 24-04-18 MJE	V015&V016 16-08-19
V002 07-08-18 MJE	V017 09.09.19 DCO
V004 21-09-18 NIR	AMEND 24-09-19 M
V005&6 18-10-18 NIR	V020 30-10-19 MJ
V007 07-11-18 NIR	V021 07-11-19 DCO
V008 03-12-18 NIR	AMEND. 11-11-19 DC

V009 21.12.18 NI

V010 15.02.19 NI
V008 20.02.19 NI
JE V011 06.03.19 NI
E V012 19-03-19 M
V013 & CLOG 31
CO V014 07-08-19 D

R V022 18-11-19 MJE

R V023 06-01-20 DCO
R V025 07.02.20 NJW
R
JE
.07.19 DCO
CO

LAST OPENED:

Mon 18 Nov 2019

TIME:
07:32:22

DATE: 15-02-18

DATE: 15-02-18
DRN: MJE
CHD: NWI
SCALE: 1: 200
© COPYRIGHT 20

242 Leach Highway Myaree, W.A. 6154.
Telephone(08) 9317 0100 Fax(08) 9330 4507

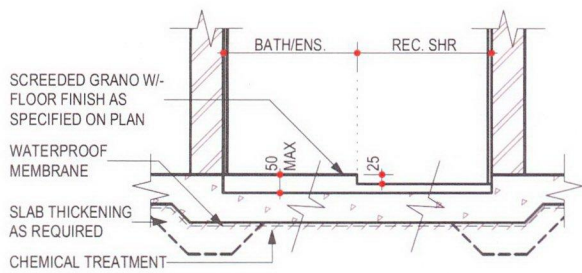
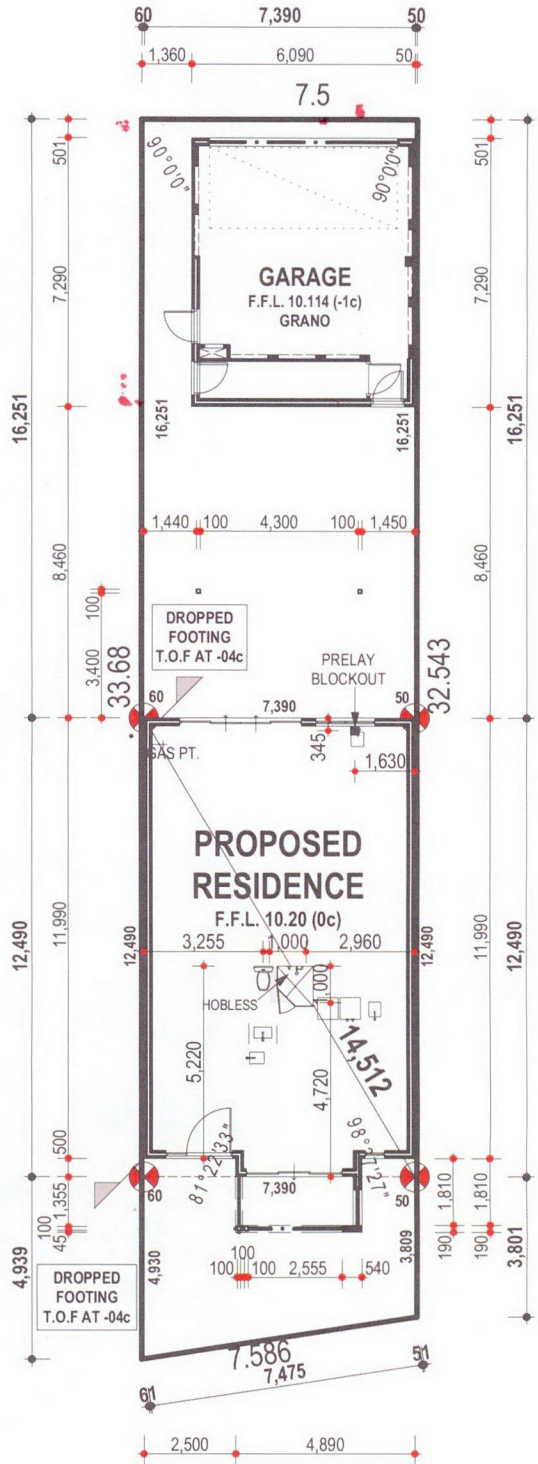


SUMMIT
HOMES

SHEET 15 OF 15

SPECIAL

JOB NO: 155006



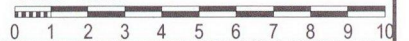
RECESSED SHOWER DETAIL (NO HOB) GROUND

NOTES:

- REFER TO ENGINEERS DRAWINGS FOR FOOTING AND SLAB DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1 : 20

SETOUT PLAN

Scale 1:200



COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia.
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.
Email: perth@cottage.com.au Website: www.cottage.com.au

AREA: - 248M²
SHIRE: - CITY OF WANNEROO
D.PLAN: - 65147
C/T VOLUMN: - 2935
FOLIO: - 703
MSD REF: - 158-05/39

ROAD DESCR.: - BITUMEN
KERBING: - FLUSH / SEMI-MOUNT
FOOTPATH: - CONCRETE
SOIL: - SAND / L'STONE
DRAINAGE: - GOOD
VEGETATION: - LIGHT GRASS COVER

GAS: - YES
WATER: - YES
ELECTRICITY: - U/GROUND
PH/COMMS: - YES
SEWER: - YES
COASTAL: - CHECK SHIRE

SSA/OLD AREAS: - SSA
C/JOB#: - 431648
DATE: - 08/02/18
SCALE: 1:200
DRAWN: - M. BATEMAN

UNLODGED SURVEY STRATA PLAN: - N/A
ORIGINAL LOT: - N/A
LOT MISCLOSE: - 0.001m
SSL 1 MISCLOSE: - N/A
SSL 2 MISCLOSE: - N/A



Tangent Nominees Pty Ltd (A.C.N. 008 865 585)
Trustee For Summit Homes Group Trust.



242 Leach Highway Myaree, W.A. 6154.
Telephone(08) 9317 0100 Fax(08) 9330 4507

PROPOSED RESIDENCE FOR:

V. HARRISON

ADDRESS

**LOT 537 #96 REFLECTION BOULEVARD
JINDALEE**

VARIATIONS:

V001 24-04-18 MJE V015&V016 16-08-19
V002 07-08-18 MJE V017 09-09-19 DCO
V004 21-09-18 NIR AMEND 24-09-19 MJE
V005&6 18-10-18 NIR V020 30-10-19 MJE
V007 07-11-18 NIR V021 07-11-19 DCO
V008 03-12-18 NIR AMEND. 11-11-19 DCO

V009 21-12-18 NIR

V010 15-02-19 NIR

V008 20-02-19 NIR

V011 06-03-19 NIR

V012 19-03-19 MJE

V013 & CLOG 31-07-19 DCO

V014 07-08-19 DCO

V022 18-11-19 MJE

V023 06-01-20 DCO

V025 07-02-20 NJW

LAST OPENED:

Mon 18 Nov 2019

TIME:

07:32:22

DATE: 15-02-18

DRN: MJE

CHD: NWI

SCALE: 1: 200

© COPYRIGHT 2019

SPECIAL

JOB NO: **155006**