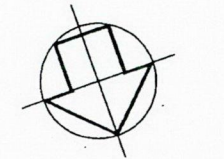


03/5434  
n 1 DEC 2003



**LOT 1591**

SANDY  
WEED COVER

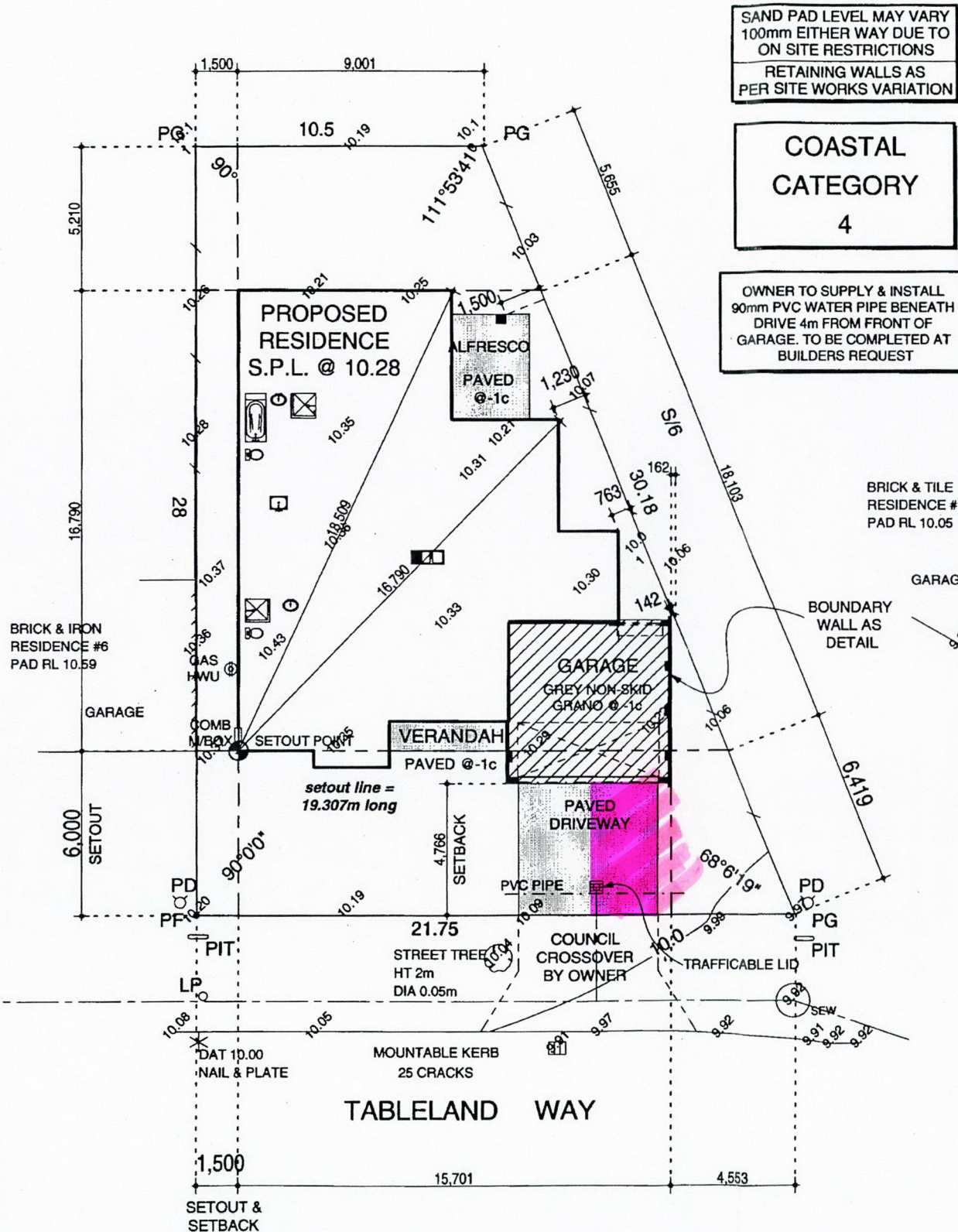
NOTE: BOUNDARY POSITION APPROXIMATE ONLY REQUIRES CONFIRMATION

NOTE: APPROXIMATELY 7 Km FROM COAST LINE

SEW CONN POSITION APPROXIMATE ONLY  
SEW INV. 7.95  
UP. 1.3  
DEPTH 0.85

NOTE: SEWER MH No. AA 7216  
LID RL 45.00

ALL BLOKPAVING SUPPLIED & INSTALLED BY OWNER WHEN INSTRUCTED BY BUILDER



SAND PAD LEVEL MAY VARY 100mm EITHER WAY DUE TO ON SITE RESTRICTIONS  
RETAINING WALLS AS PER SITE WORKS VARIATION

**COASTAL CATEGORY 4**

OWNER TO SUPPLY & INSTALL 90mm PVC WATER PIPE BENEATH DRIVE 4m FROM FRONT OF GARAGE. TO BE COMPLETED AT BUILDERS REQUEST

**OFFICE COPY**  
to be retained for approval Services files

SERVICE INFORMATION		SEWERAGE YES		BTC		DEPTH 0.85m	
WIND	MEDIUM	WATER	YES	BTC	PRELID	YES	LEFT
GAS	YES	TELSTRA	YES	BTC	POWER	U/G	BTC
AREA	NEW	C. POLE REQ'D	NO	BUILDER TO CONFIRM SERVICES.			
WATER	SV STOP VALVE	HY HYDRANT	FP FLUSH POINT	WM	WATER MARKER		
SEWERAGE	SEW SEWER MANHOLE	IS INSPECTION SHAFT	HO INSPECTION OPENING	GAS GM	GAS MARKER		
POWER	CP CONSUMER POLE	PP POWER POLE	LP LAMP POST	SP STAY POLE	PD	POWER DOME	
STORMWATER	SW MANHOLE	GRATE	SIDE ENTRY PIT	TELSTRA	PIT TELSTRA PIT		
SURVEY	PF PEG FOUND	Pdist PEG DISTURBED	PG PEG GONE	STATION	CONTROL POINT		

AREA FOR CUSTOMER PARKING.

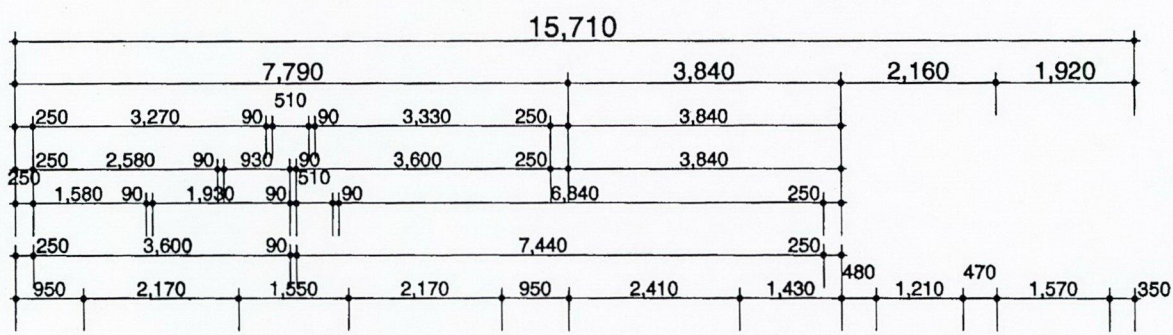
SHEET No: OF 6  
JOB No : 21530

LOT LOT 1591	SUBURB TAPPING	PLAN 30968	C/T Vol.Fol.	DATE 1.7.03	SCALE 1:200
CLIENT JONES	BUILDER NATIONAL HOMES	MAP REF. 191 17 23	AUTHORITY WANNEROO	JOB No. OURS: 128560	YOURS:

<b>BUILDERS</b> Services to be confirmed with AUTHORITIES. For Easements etc. check Certificate of Title. Site survey only location of boundary pegs or fences in relation to the boundary is not guaranteed.	<b>BUILDERS (Cont)</b> The information shown on this drawing is current as at the date of the survey. Earthworks/set out dimensions may vary on site at the builders discretion. Sewer/Drainage may vary from schematic presentation check minimum clearance. Retaining not included/in addition to contract remains owners responsibility.	A.C.S. MEMBER OF THE ASSOCIATION OF CONSULTING SURVEYORS.	<b>AUTOMATED SURVEYS</b> LICENSED SURVEYORS AND DEVELOPMENT CONSULTANTS 3 ORD STREET WEST PERTH W.A. 6005	Postal Address P.O.Box 1648 West Perth 6872 Telephone (08) 9214 1777 Facsimile (08) 9214 1778
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	AREA	PERIMETER
ALFRESCO	10.73 m <sup>2</sup>	13.260 m
GARAGE	35.02 m <sup>2</sup>	23.960 m
HOUSE	173.09 m <sup>2</sup>	62.359 m
VERANDAH	4.55 m <sup>2</sup>	10.580 m
<b>TOTAL</b>	<b>223.39 m<sup>2</sup></b>	

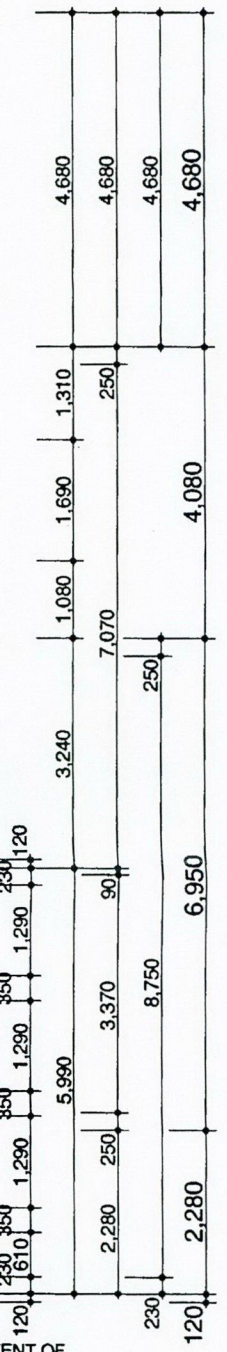
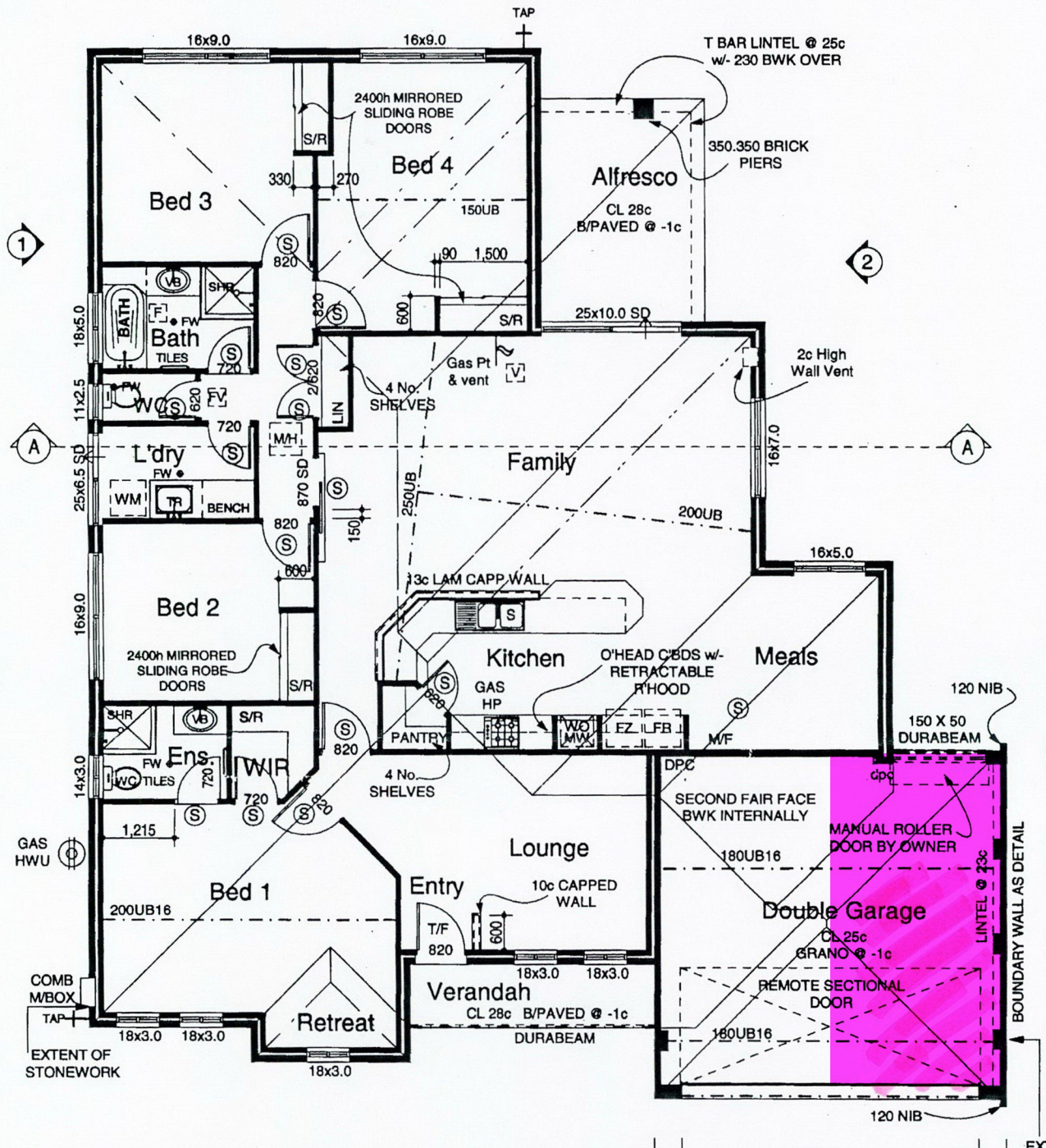
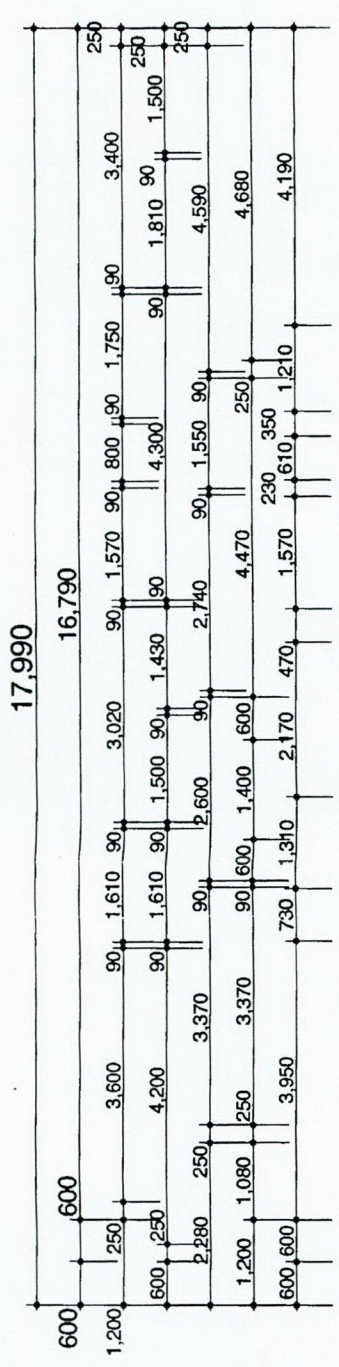
WINDOWS = 21.68%



DO NOT SCALE FROM DRAWINGS  
DIMENSIONS MUST BE  
FOLLOWED AND CHECKED ON  
SITE PRIOR TO THE  
COMMENCEMENT OF WORKS

DOWN PIPES ARE TO BE LOCATED  
AT PLUMBERS' DISCRETION TO  
SUIT ROOFWATER VOLUME AND  
ROOF MEMBERS

FLOOR WASTES/CEILING VENTS  
SHOWN DIAGRAMATICALLY ONLY



**FLOOR PLAN**

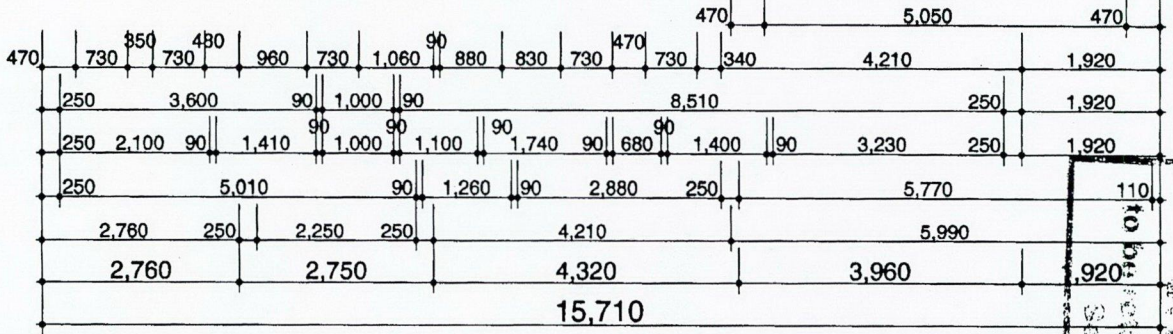
SCALE 1:100  
CL @ 28c THROUGHOUT  
UNLESS NOTED OTHERWISE

(S) DENOTES STANFORD DOORS

CLIENT TO SUPPLY  
SKIRTING AFTER  
HANDOVER

STONE CLADDING TO  
FRONT ELEVATION  
SUPPLIED BY OWNER  
BULDER TO INSTALL

CLIENT NOMINATES IAN  
WINTERS 0409 294 573  
AS THE BRICKLAYER



AREA FOR WORKING.

03 / 5 4 3 4  
n 1 DEC 2008

DOCNO: P01DRW

**NATIONAL HOMES**  
Beautiful designs for a beautiful life

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A.C.N. 54 052 543 450

CLIENT:  
**JONES**

ADDRESS:  
**LOT 1591 (#4)  
TABLELAND WAY  
TAPPING**

AMENDMENTS / VARIATIONS	
V.O. No.	DATE
PRESTART VO # 21530/1 AS	5/11/03

VICTORY 2		REV:
NOV 02		
DRAWN: <b>KW</b>	DATE: <b>18.08.03</b>	
SHEET No: <b>1</b>	OF 6	
JOB No: <b>N21530</b>		