


- SHIRE NOTE:**
- Protection Of Building From Termites Is Carried Out In Accordance With Part 3.1.4 of the NCC 2019 - Vol. 2
 - Placement Of Durable Notice In Meterbox Is Carried Out In Accordance With B.C.A Req's
 - Footing & Slab Construction Is Carried Out As Per BCA Part 3.2.5 For Sandy Site
 - Timber Frame Construction Is Carried Out In Accordance With AS-1684 -2006
 - Masonary Construction Is Carried Out In Accordance With AS-3700
 - Roof Framing Construction Is Carried Out In Accordance With AS-3700
 - Roof Cladding Is Carried Out In Accordance With AS-1562.1
 - Glazing Is Carried Out In Accordance With AS-2047
 - Water Proofing Of Wet Areas Are Carried Out In Accordance With AS-3740

FLOOR AREA	: 293.87 m ²
ALFRESCO AREA	: 49.33 m ²
PORCH AREA 1	: 1.38 m ²
PORCH AREA 2	: 2.86 m ²
PORCH AREA 3	: 2.86 m ²
TOTAL AREA	: 350.30 m²
FLOOR PERIMETER	: 67.95 m

CAFE INTERNAL AREAS	
BAR/CASH REGISTER AREA	: 22.00 m ²
SEATING AREA	: 20.90 m ²
DINING AREA 1	: 52.95 m ²
DINING AREA 2	: 33.74 m ²
LOUNGE AREA 1	: 26.13 m ²
LOUNGE AREA 2	: 39.51 m ²
ENTRY AREA 1	: 16.38 m ²
ENTRY AREA 2	: 12.87 m ²
ENTRY AREA 3	: 12.87 m ²
LAND USE INTERNAL AREAS	
KITCHEN AREA	: 22.65 m ²
OFFICE/STORAGE AREA	: 9.28 m ²
RESTROOMS AREA	: 8.17 m ²

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SPECIFICATIONS	
ROOF: STEEL TRUSSES W/ZINCALUME CUSTOM ORB	
NOTE: STEEL BEAM TRUSSES TO ENGINEERS REQUIREMENTS & MANUFACTURERS SPECIFICATIONS	
GUTTERS: ZINCALUME	
DOWNPIPES: ZINCALUME	
CEILING INTERNALLY: CSR PLASTERBOARD	
VERANDAH(S)/ALFRESCO: MILLWOOD WEATHER-TEXT WEATHERBOARD	
PORCH: AQUACHECK PLASTERBOARD	
FLOOR BASE: 100mm CONCRETE SLAB W/PLUMBING PRELAY	
EXTERNAL/INTERNAL	
WALLS: TILT-UP CONCRETE PANELS, 125mm, TEXTURED FINISH, UNLESS OTHERWISE SPECIFIED	
(SF): 50/75mm STEEL FRAMED	
EXTERNAL/INTERNAL COVER: TBA	
NOTE: CONCRETE PANELS TO ENGINEERS REQUIREMENTS & MANUFACTURERS SPECIFICATIONS	
WINDOWS: ALUMINIUM FRAMES W/FLYSCREENS	
ALL WINDOWS AT 2143mm HIGH HEAD HEIGHT, UNLESS OTHERWISE SPECIFIED	
GLAZING: CLEAR GLASS THROUGHOUT, EXCLUDES WET AREAS	
WET AREA GLAZING: OBSCURE CATHEDRAL	
INTERNAL	
DOORS: TIMBER DOORS W/ALUMINIUM FRAMES	
ENTRY	
DOOR(S): TIMBER DOOR(S) W/ALUMINIUM FRAME	
EXTERNAL	
FRENCH DOORS: ALUMINIUM FRAME, CLEAR GLASS	



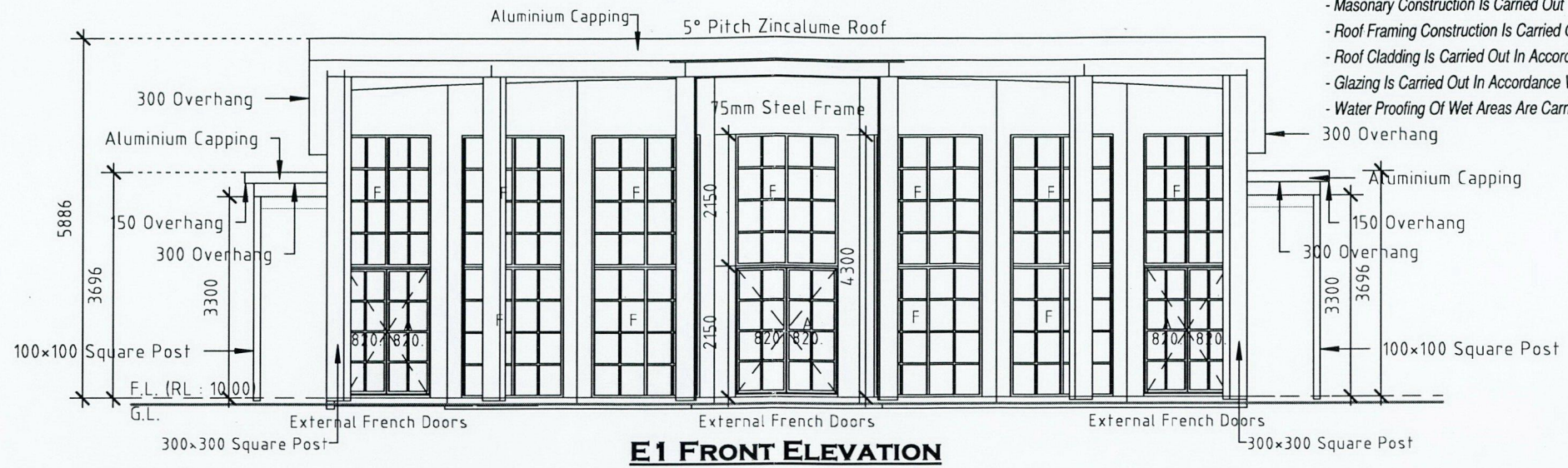
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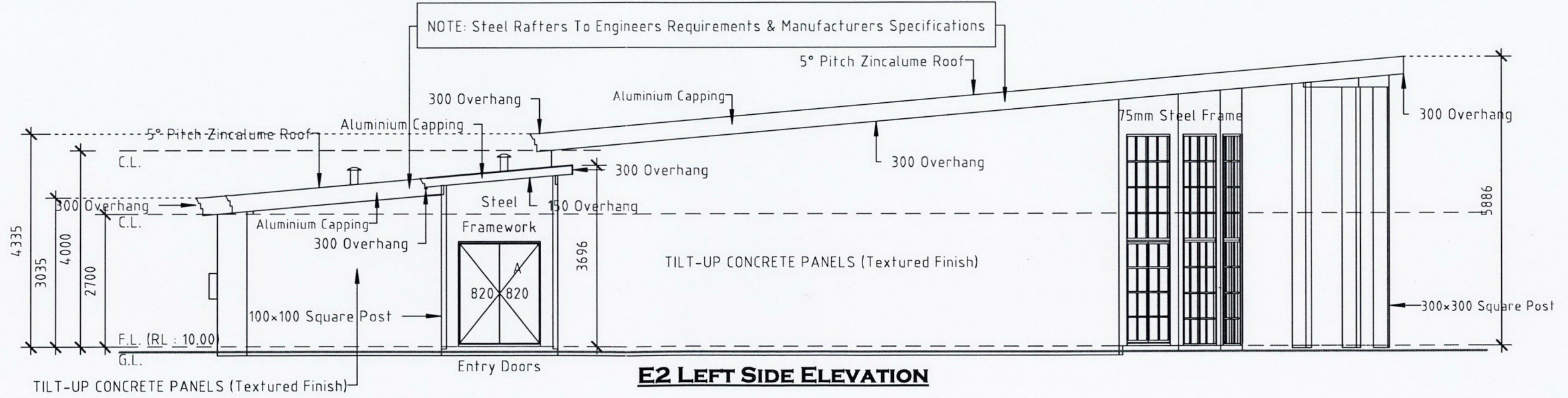
DRAWN BY: WRM	DATE: May 2021
CLIENT: ABDUL & KYM ABDURAMANOSKI	
ADDRESS: 470, SYDNEY ROAD, GNANGARA, WA 6077	
FLOOR PLAN	
<small>© Copyright</small>	
Project: 002	Scale: 1 : 100
Sheets: 1 OF 3	
REVISION:	

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E1 FRONT ELEVATION



E2 LEFT SIDE ELEVATION

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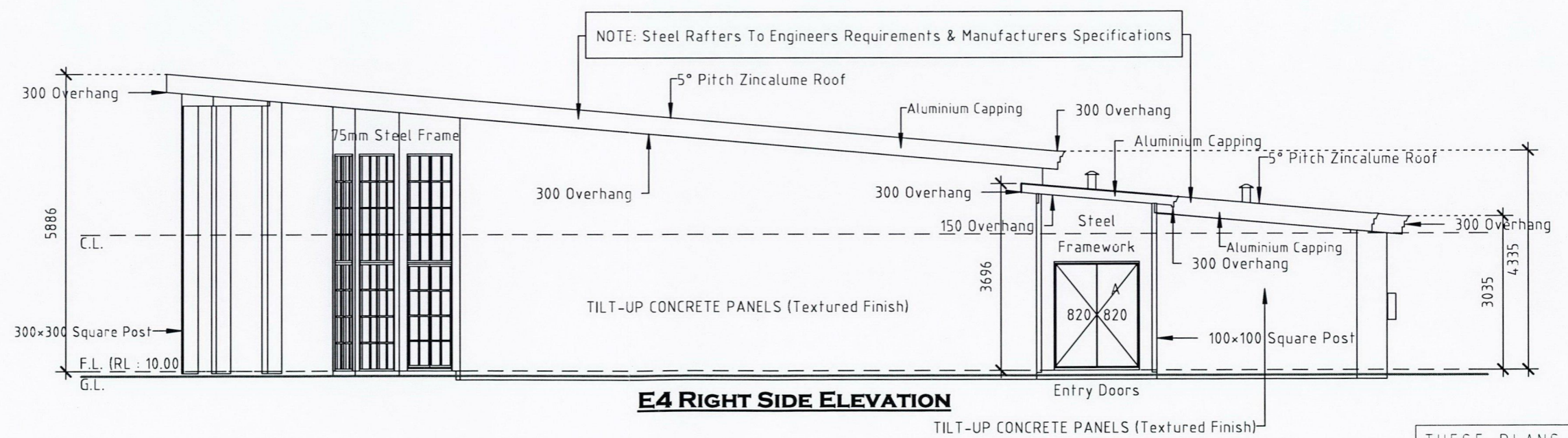
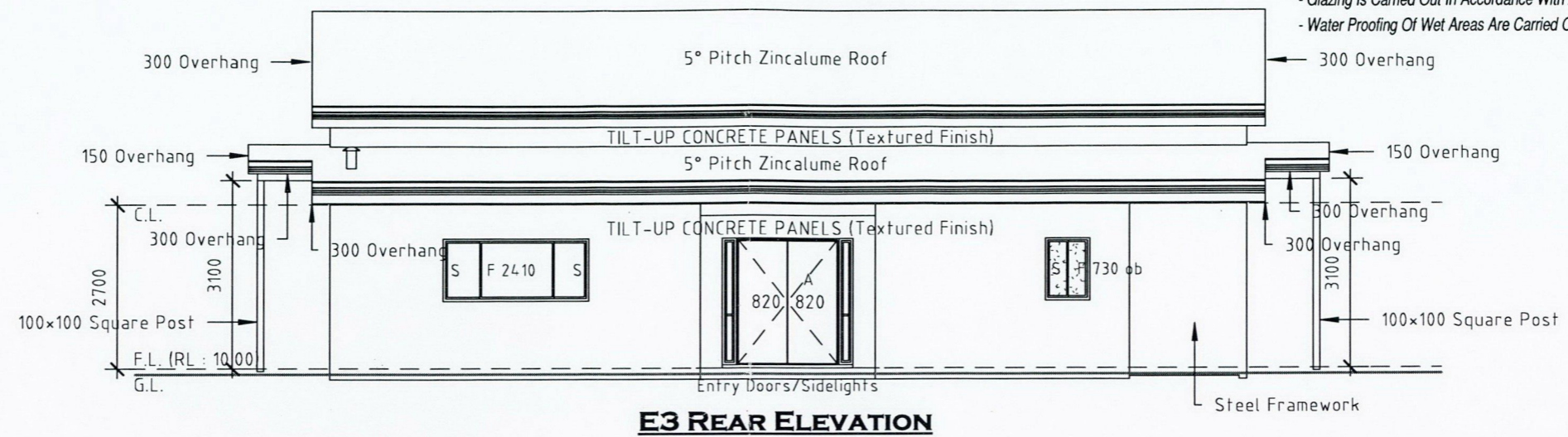
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DRAWN BY: WRM	DATE: May 2021
CLIENT: ABDUL & KYM ABDURAMANOSKI	
ADDRESS: 470, SYDNEY ROAD, GNANGARA, WA 6077	

Project: 002	ELEVATIONS
Scale: 1 : 100	
Sheets: 2 OF 3	
REVISION:	

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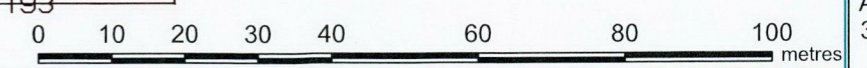
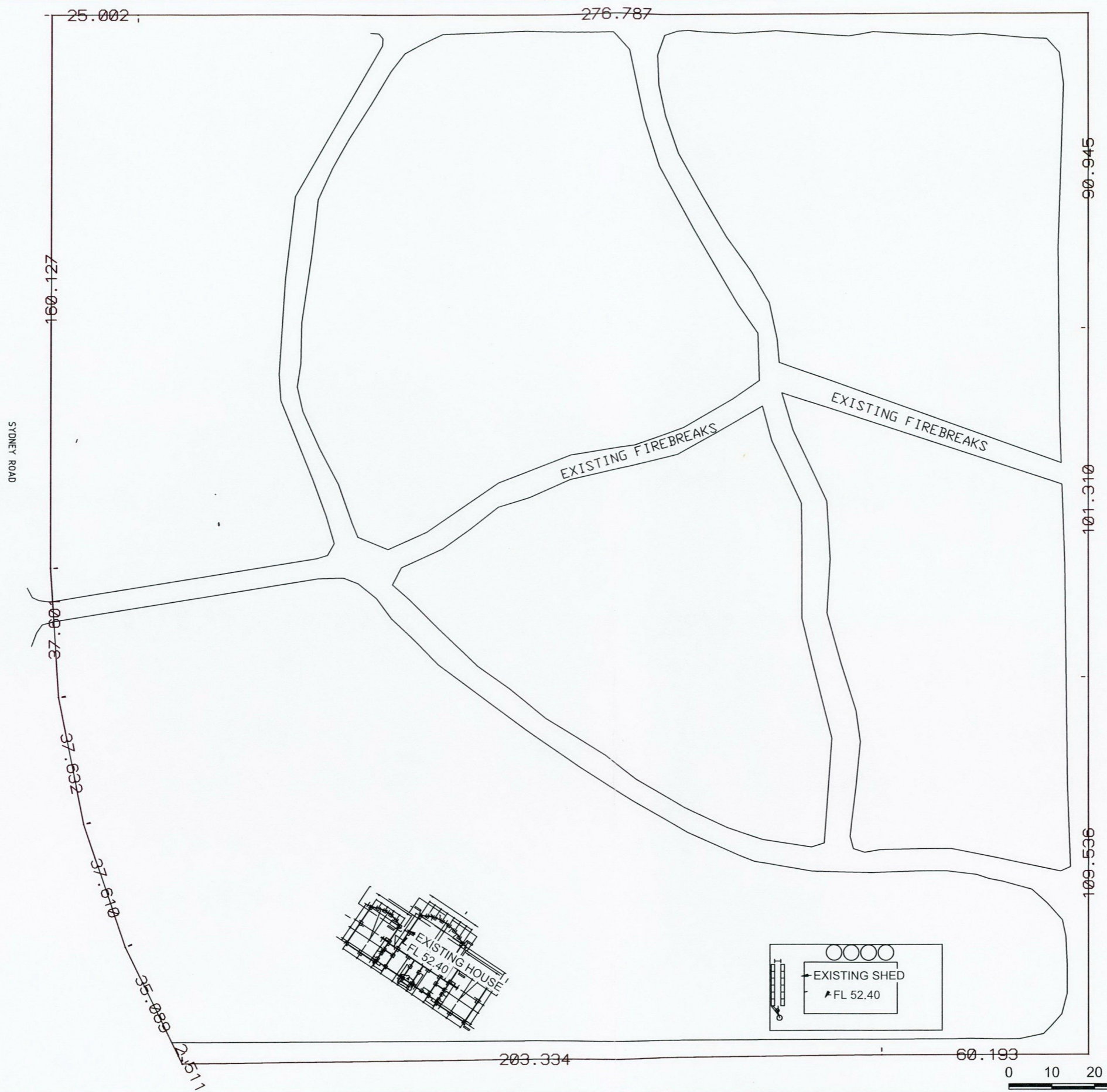


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Project: 002	ELEVATIONS
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Sheets: 3 OF 3	
REVISION:	



A
3

AMENDMENTS			METADATA		PROJECT		Scale Bar		Alliance Surveying	
No.	DESCRIPTION	APPROVED & DATE	COORDINATE SYSTEM	PCG94	470 Sydney Road, Gnangara		0 10 20 30 40 60 80 100 metres			
			VERTICAL DATUM	AHD	LOCATION	DRAWING NUMBER				
			SURVEYED BY	JA	LOT NUMBER	REVISION			<small>ALLIANCE SURVEYING PO Box 1006, Morley WA 6943 www.alliancesurveying.com.au</small>	
			DATE OF SURVEY		NOTES	STATUS				
			DRAWN BY			HORIZONTAL SCALE 1:1250 VERTICAL SCALE 1:1250				
			12D PROJECT							

470 Sydney Road, Gnangara, WA, 6077

LANDSCAPE DESIGN STATEMENT

Revision A: 23rd August, 2021

The landscape documentation prepared by our office for Development Application (DA) has been prepared in accordance with the development control plans & council conditions outlined by the City of Wanneroo.

Nature Play

A nature playground is proposed to the north of the primary building incorporating various equipment in its design (listed below), Note that all play elements have been designed in accordance with relevant Australian Standards & other guidelines.

1 - Timber Plinths

Cylindrical timber posts are proposed to be erected vertically connected by two paralleled lines of rope, acting as a climbing / hanging play feature. Heights of the posts will range from 1.5 to 2.5m with connecting rope reaching a max height of 0.8m.

2 - Mounded Gravel

Mounds of gravel (max 0.8m high) are proposed at several locations within the playground. These are intended as informal climbing / jumping surfaces for children using the facilities. Use of rubberised impact matting to steeper areas with organic mulch soft fall landing to surrounds.

3 - Stepping Logs

Recycled timber trunks (utilized from felled invasive tree species on site) are proposed as a climbing / balancing play element. The heights tier from 0.2 to 1.2m that then tie into locally sourced boulders ranging from 0.5 - 2.5m in diameter.

4 - Trunk Crossings

Large felled timber trees are intended to be placed atop the mounded gravel & over a shallow cut sand filled channel. This element is intended to be used as a climbing / balancing surface & as a indication to direction of pedestrian travel.

5 - Light frame Timber Shelter

This feature acts as a basic wooden frame to which other features (leaves, sticks, flowers, etc.) can be added to by the children in the playground (max height of 3.0m).

6 - Timber Log Seesaw

This element is proposed as a typical seesaw (maximum height of 1.0m) however being constructed timber sourced on site. The impact area (organic mulch soft fall) shall extend at least 1.0m beyond the perimeter of the equipment. Due to the height of the seat exceeding 0.6m the extent of the impact area shall be at least 1.5m. Its weight must not be excessive and comply with relevant Australian Standards / safety standards.

For all equipment with a free height of fall above 0.6m all surfacing requirements shall meet the requirements of AS 4422. The falling space shall not contain any obstacles (hard or sharp objects) that could cause injury to a user during a fall from an elevated position.

The free space of any users undergoing forced movement shall not contain any obstacles (e.g. other items of equipment or tree branches) that interfere with the passage of or are in the path of the user whilst undergoing forced movement, nor should it be intersected by main traveling routes through the playground, such as a pathway. Consideration has been given to the placement of play equipment that it discourages a child to intersect the free space by running from one activity to another via the most direct route.

Routine visual, operational & comprehensive annual inspections must take place to ensure continued safety of the facility. Additionally all play equipment must be tested to satisfy it will not pose any entrapment risk. All foundations shall be built with any footings & fixing elements are at least 0.4mm below the playing surface in order to not present a tripping or impact hazard.

Ramps, Landings & Raised Walkway

A proposed formal access way of exposed concrete & Fiber Reinforced Polymer (FRP) walkway (suspended over 0.3m deep koi pond) is proposed between the car park and café.

The raised walkway incorporates a 1.2m high balustrade at either side (constructed with vertical balusters) to deter climbing, jumping or falling into the water body below. Additional the cross section of any element of the handrail must not exceed 60 mm in width to avoid entrapment.

This deterrence is reinforced with densely planted surrounding vegetation, restricting access from lower levels or alternate sides of the embankment. All levels area are of a suitable grade that adhere to AS 1428 requirements.

Planting & Environment

The predominately native local endemic mix of planting is proposed throughout the site to complement & enhancing the existing vegetation. Many of the species area endemic to the Bassendean Complex mirroring the significance of the high value flora & fauna on site.

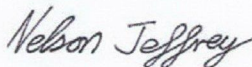
Soil conditions must be tested prior to the and excavation on site as the area poses a risk of Acid Sulphate Soils (ASS) due to the declining water table. Location of underground services to also to be proven on site and protected if necessary prior to construction.

Prior to any site works taking place a suitable professional must identify and plant species potentially impacted by construction. Any locally endemic (non invasive) plants must be retained and protected in accordance with all relevant environmental regulations.

Relevant Australian Standards:

AS 1428.1	Design for Access & Mobility - General Requirements for Access
AS 4586	Slip Resistance - Classification of New Pedestrian Surface Materials
AS 4685.0	Playground Equipment & Surfacing
AS 4685.1-6	Playground Equipment - General Safety Requirements & Test Method
AS 4685.11	Playground Equipment - Additional Specific Safety Requirements
AS 4422	Playground Surfacing - Specifications, Requirements & Test Method

Should you require any further information or would like to discuss anything in relation to this matter please do not hesitate to contact our office.

A handwritten signature in black ink that reads 'Nelson Jeffrey'.

Nelson Jeffrey

Founding Director - Registered Landscape Architect [AILA 008397]

Phone: (+61) 44 744 0699 | Email: nelsonjeffrey@amorelandscapes.com

Amore Landscapes Pty. Ltd
26 Mayfair St, Mount Claremont, WA, 6010
Ph: (+61) 66 057 348 - E: admin@amorelandscapes.com

August, 2021
Page 2 of 2



LDA-02 | LEGEND :

- Existing tree to be retained
- Proposed tree
- Vegetated Road Reserve (Crown Land)
- Soft fall - Type A (organic mulch)
- Soft Fall - Type B (sand)
- Proposed Matte Finish Tile (local stone)
- Bitumen Road (one way, type B classification)
- Compacted Gravel Track (private use)
- Planting - Mix A (Refer LDA-03)
- Planting - Mix B (Refer LDA-03)
- Planting - Mix C (Refer LDA-03)
- Planting - Mix D (Refer LDA-03)
- Planting - Mix E (Refer LDA-03)
- Class A - Forest (High environmental value)
- Class D - Scrubland (Previously cleared due for bush fire safety)
- Class G - Grassland (Adjacent property)

- 1 Entry sign
- 2 Exposed concrete pathway / landings
- 3 Proposed manual sliding access gate
- 4 Nature Play (refer LDA-02)
- 5 Pleasure garden & walkway (refer LDA-02)
- 6 Rain water tanks
- 7 Concrete boundary fencing with wire mesh (1.2m high)
- 8 Proposed carpark (one way)
- 9 Peppermint Tree Café (FFL 49.20)

- Proposed Major Contours (1.0m intervals)
- Proposed Minor Contours (0.2m intervals)
- Existing Major Contours (1.0m intervals)
- Existing Minor Contours (0.2m intervals)
- RL: 46.85 + Proposed Spot Level
- FFL: 46.85 Finished Floor Level
- (47.2) Existing Level
- Cadastral Property Boundary
- > Direction of Incline (Road Network)

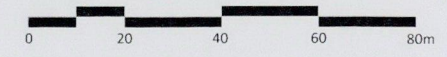
NOTE:

1. Verify all dimensions on site before commencing work. Report all discrepancies to Landscape Architect prior to construction. Site survey conducted by Alliance Surveying on the 08-05-2021 (vertical datum AHD).
2. All work is to conform to relevant Australian standards & other codes as applicable.
3. Location of underground services to be proven on site & protected if necessary prior to construction.
4. A City of Wanneroo approved professional must attend site during clearing to identify locally endemic vegetation, none of which are to be removed as part of this development.

LANDSCAPE AREA CALCULATIONS

Total Site Area = 89297.00m² (8.9297ha)

SCALE 1:1000 @ A1



Proposed levels shown are indicative only, final grades to be determined on site during the construction. All locally endemic vegetation must be identified, retained & protected prior to excavation.

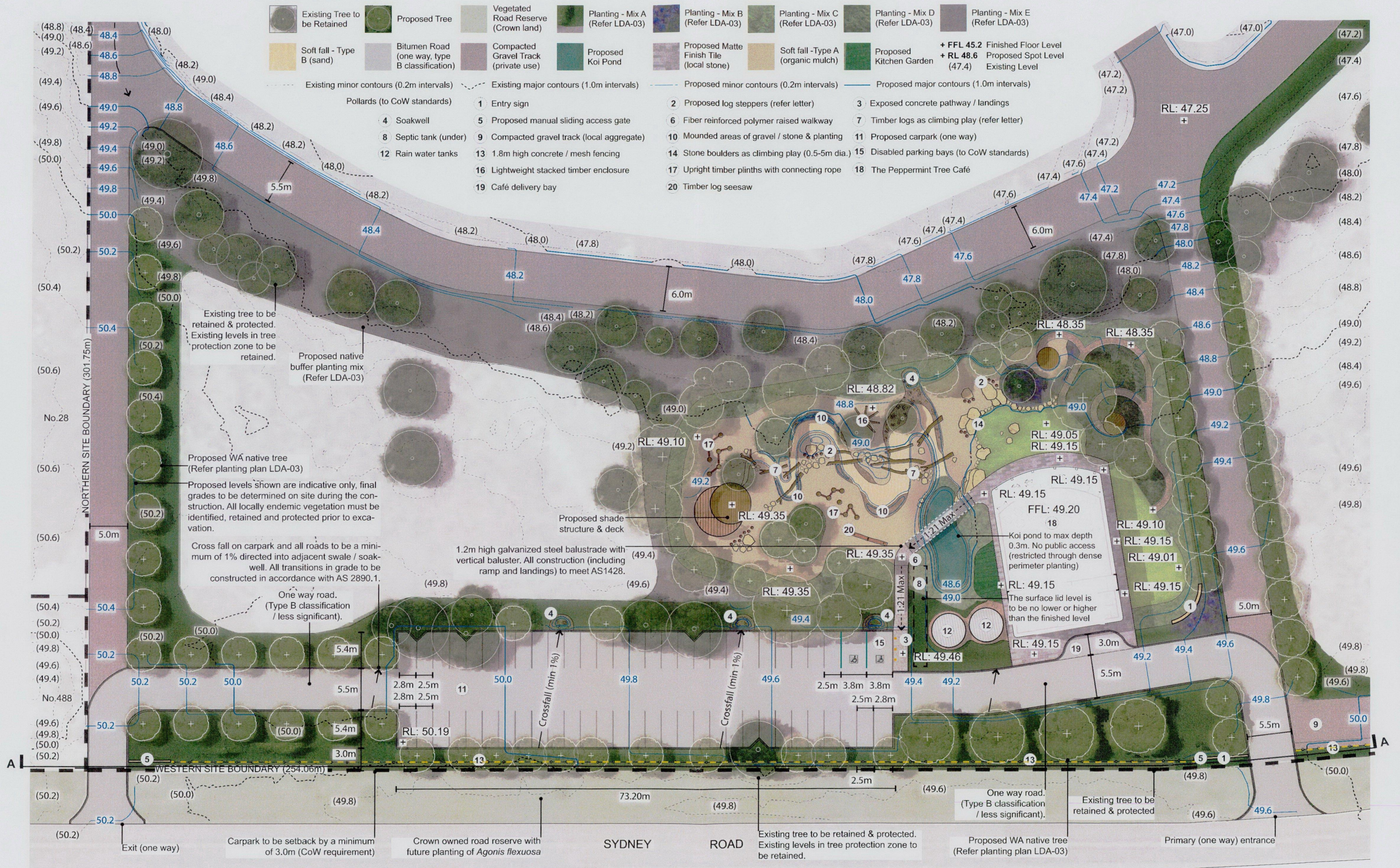


Rev.	Date	Description	Drawn	Checked
A	14.09.21	DA Submission	NJ	NJ

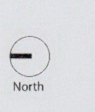
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- Proposed Tree
- Vegetated Road Reserve (Crown land)
- Planting - Mix A (Refer LDA-03)
- Planting - Mix B (Refer LDA-03)
- Planting - Mix C (Refer LDA-03)
- Planting - Mix D (Refer LDA-03)
- Planting - Mix E (Refer LDA-03)
- Soft fall - Type B (sand)
- Bitumen Road (one way, type B classification)
- Compacted Gravel Track (private use)
- Proposed Koi Pond
- Proposed Matte Finish Tile (local stone)
- Soft fall -Type A (organic mulch)
- Proposed Kitchen Garden
- Proposed minor contours (0.2m intervals)
- Proposed major contours (1.0m intervals)

- Pollards (to CoW standards)
- 1 Entry sign
- 2 Proposed log steppers (refer letter)
- 3 Exposed concrete pathway / landings
- 4 Soakwell
- 5 Proposed manual sliding access gate
- 6 Fiber reinforced polymer raised walkway
- 7 Timber logs as climbing play (refer letter)
- 8 Septic tank (under)
- 9 Compacted gravel track (local aggregate)
- 10 Mounded areas of gravel / stone & planting
- 11 Proposed carpark (one way)
- 12 Disabled parking bays (to CoW standards)
- 13 1.8m high concrete / mesh fencing
- 14 Stone boulders as climbing play (0.5-5m dia.)
- 17 Upright timber plinths with connecting rope
- 18 The Peppermint Tree Café
- 16 Lightweight stacked timber enclosure
- 20 Timber log seesaw



SCALE 1:250 @ A1

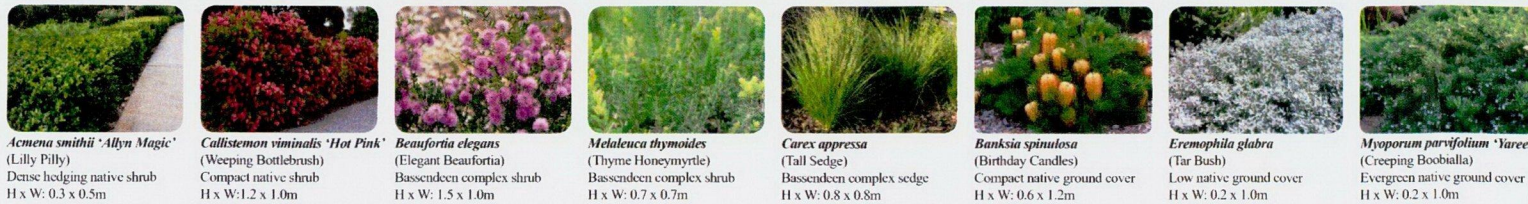


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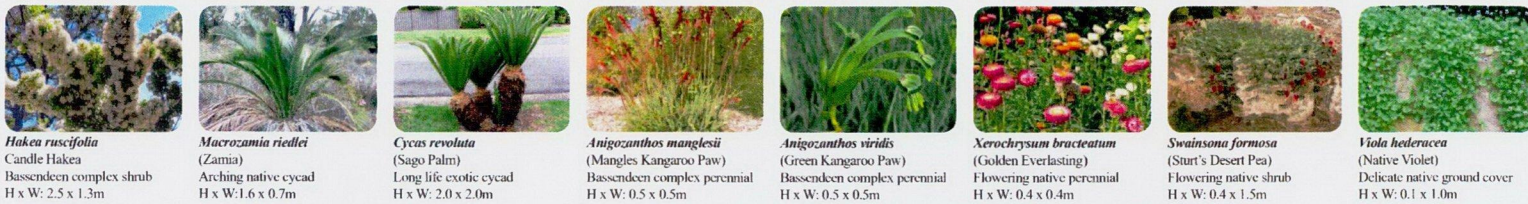
TREES



PLANTING MIX A - AVENUE



PLANTING MIX B - FEATURE



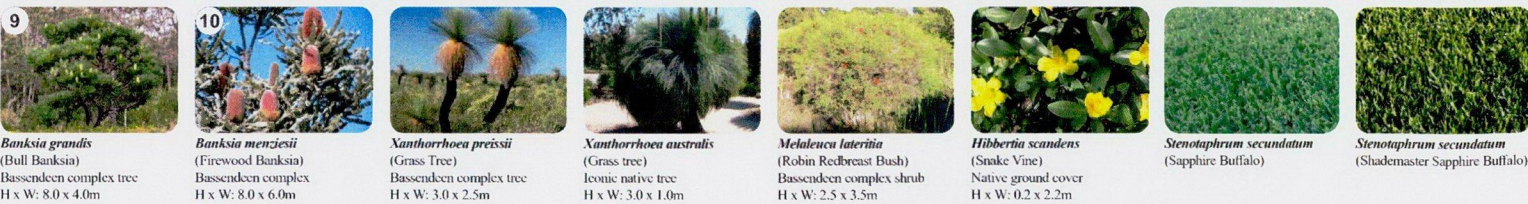
PLANTING MIX C - BORDER



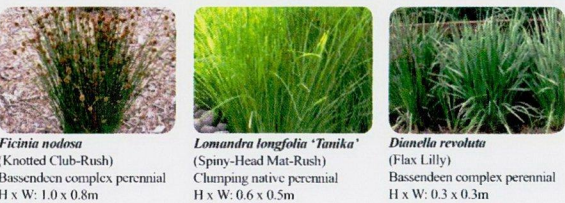
PLANTING MIX D - INTERNAL



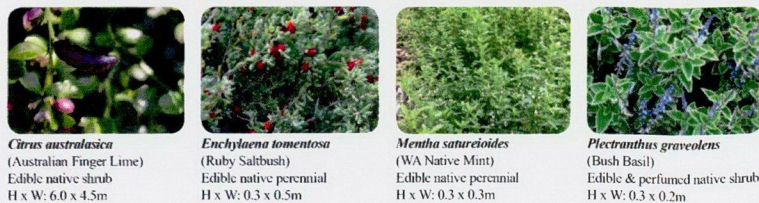
PLANTING MIX E - NATIVE BUFFER



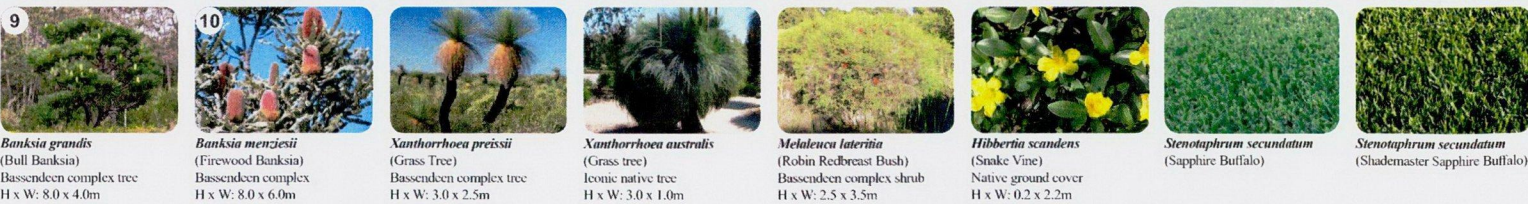
PLANTING MIX D - Soakwell



PLANTING MIX E - KITCHEN GARDEN



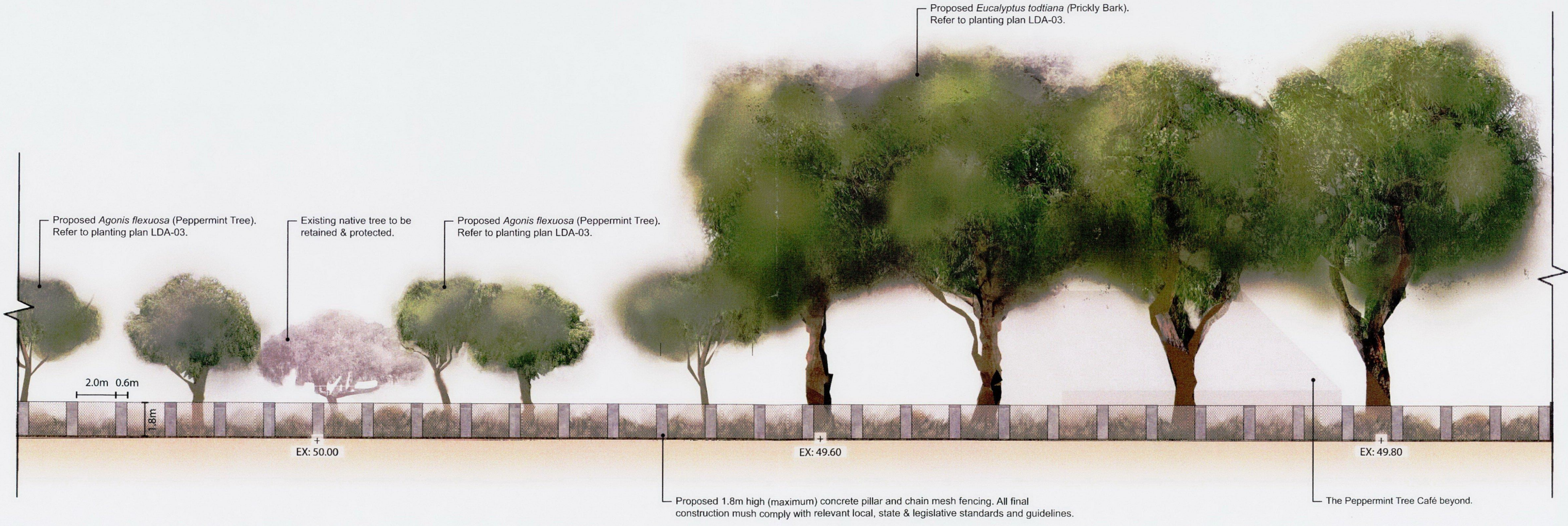
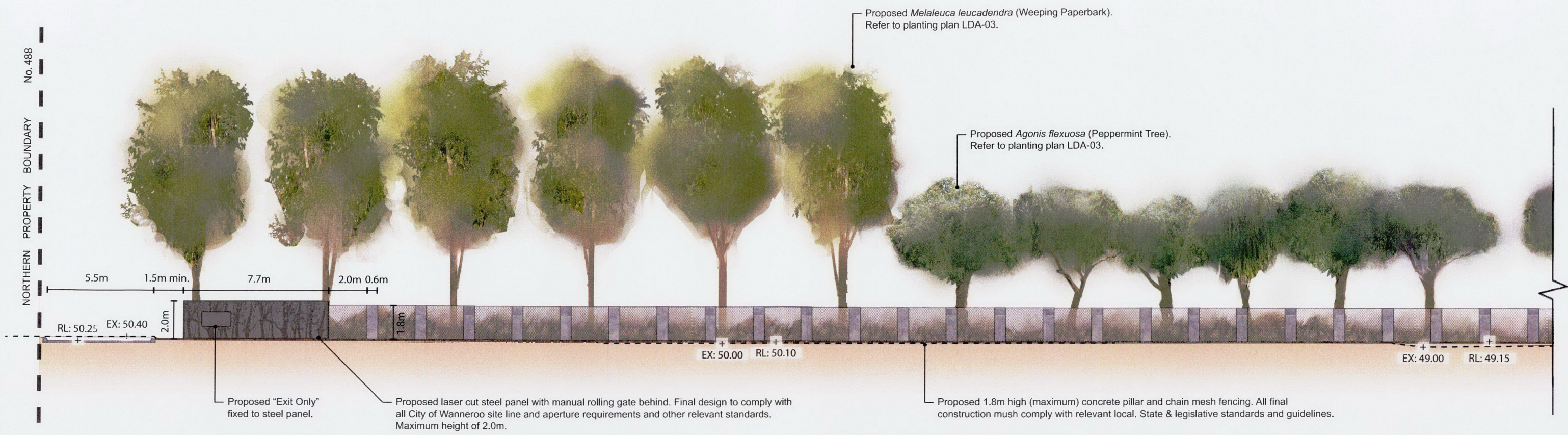
TURF



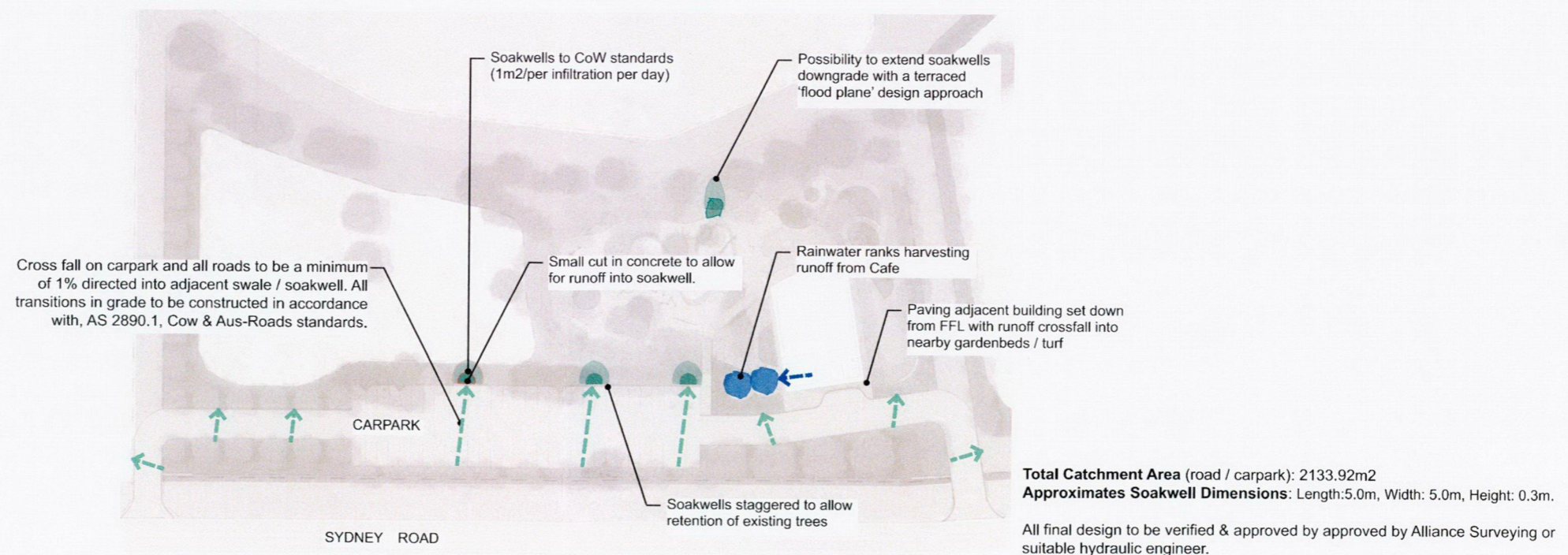
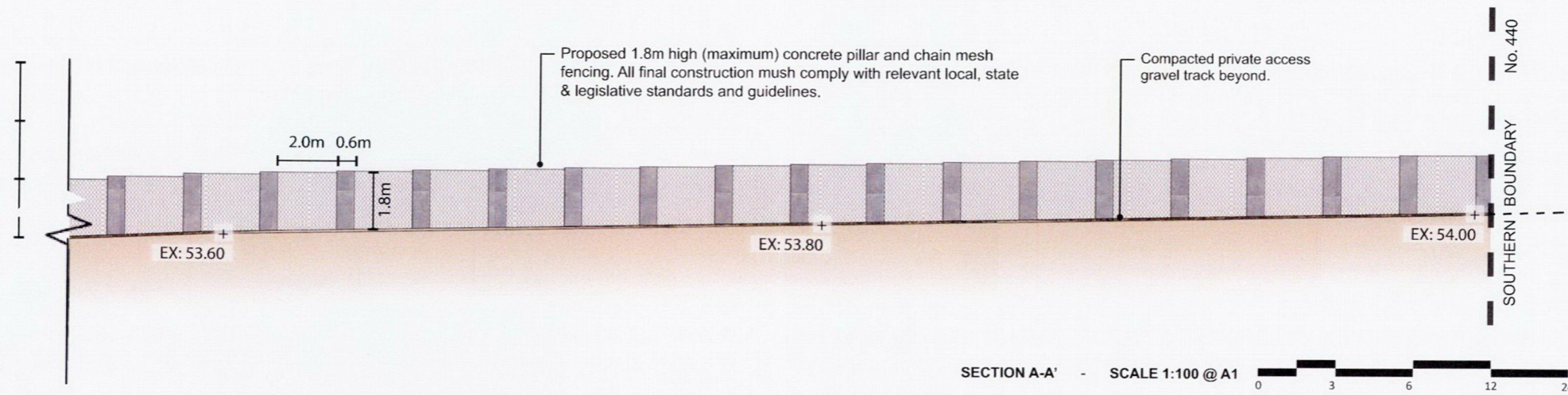
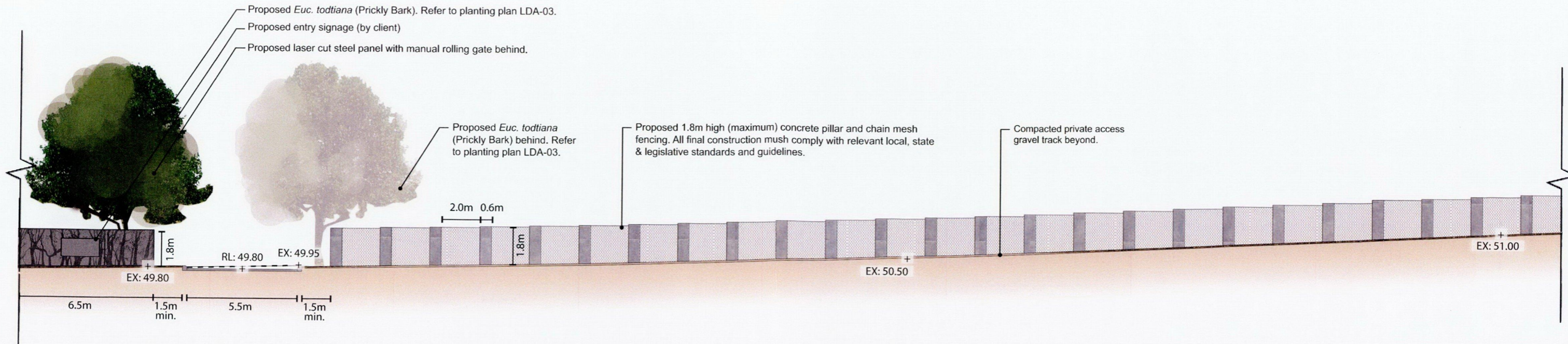
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Rev.	Date	Description	Drawn	Checked
A	14.09.21	For DA Submission	NJ	NJ

NORTHERN PROPERTY BOUNDARY No. 488



Rev.	Date	Description	Drawn	Checked
A	14.09.21	For DA Submission	NJ	NJ



PROPOSED FRONT FENCE SIGNAGE

PLEASE REFER TO LANDSCAPE PLANS FOR SIGNAGE LOCATION



Angelic Gardens Estate Logo

Acrylic Material

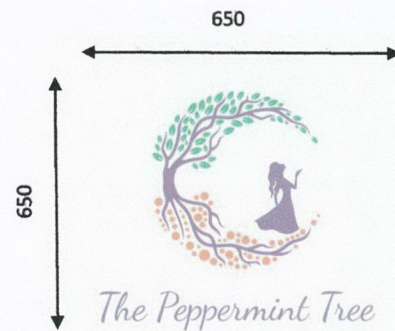
2 OFF. TO FRONT FENCE ENTRY

Signage Details –

Regarding Fence at 470 Sydney Road, Gnangara, WA

PROPOSED SIGNAGE FOR RESTAURANT

PLEASE REFER TO LANDSCAPE PLANS FOR SIGNAGE LOCATIONS

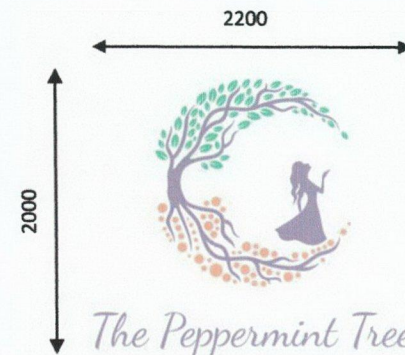


SIGNAGE 1, 2 & 3

The Peppermint Tree Logo

Material: Acrylic

3 OFF. RESTAURANT ENTRIES



SIGNAGE 4 & 5

The Peppermint Tree Logo

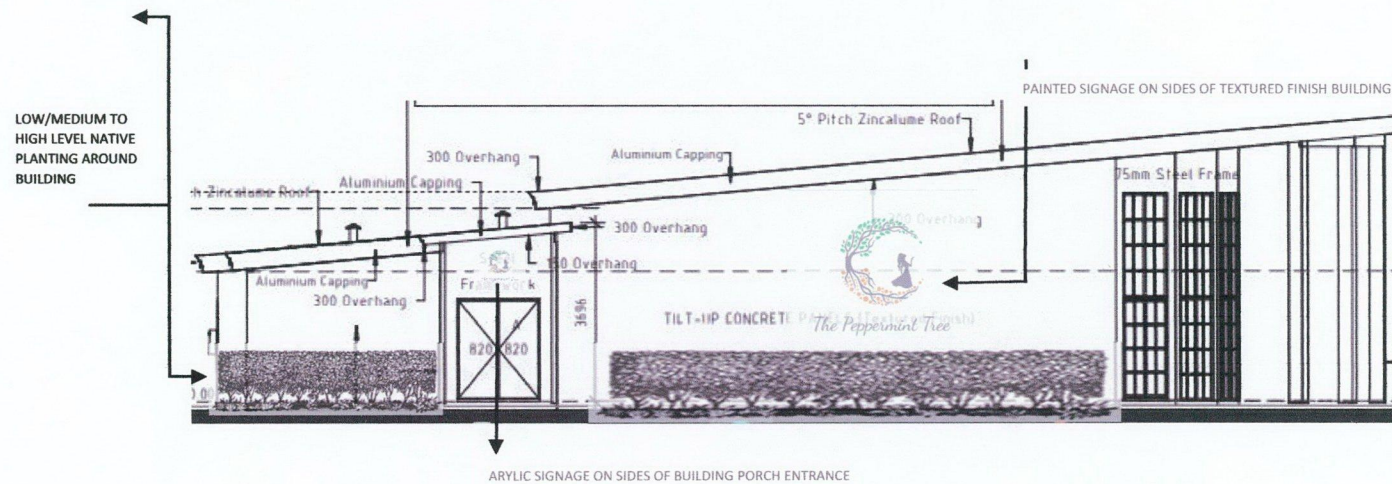
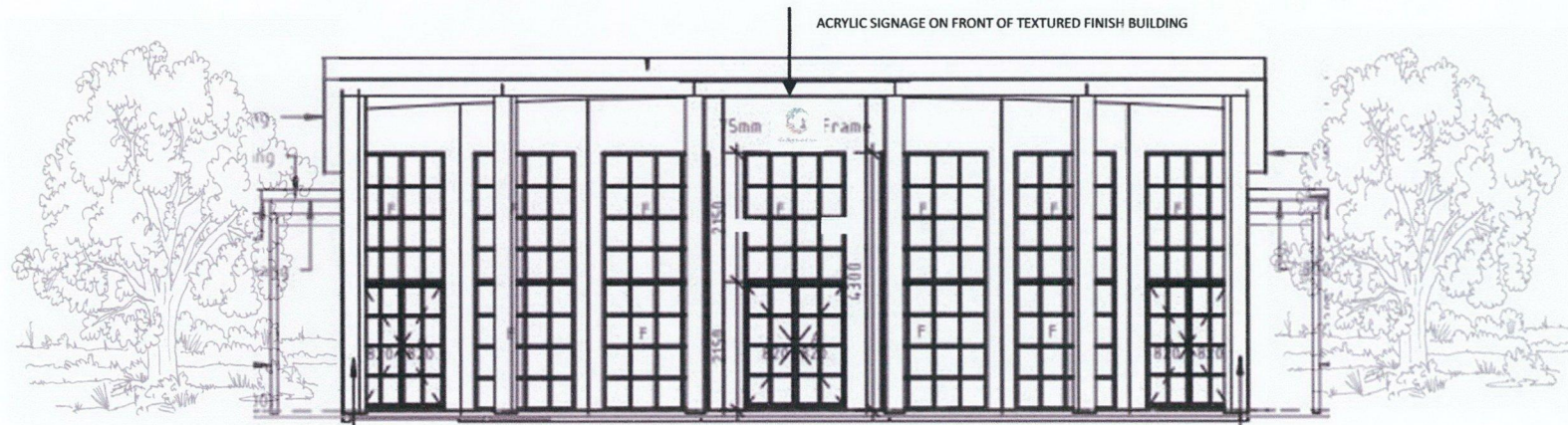
Material: Paint

2 OFF. TO SIDES OF RESTAURANT

Proposed Signage Details –

Regarding Proposed Restaurant Development at 470 Sydney Road, Gnangara, WA

PROPOSED SIGNAGE LOGO PLACEMENTS ON BUILDING



The Peppermint Tree Café

The Business

The Peppermint Tree Café will be privately owned and operated as its formal legal entity. This structure was chosen because of its operational ease. Although this structure exposes the owners to unlimited liability, risk management and insurance protection will be established to offset this risk.

The Peppermint Tree Café will be an independent, new build project. The proposed starting date for the new build project will be October 2021 and completion of build by Feb – March 2022. The proposed starting date for the Café opening is March - April 2022. This business plan documents the detailed methods and activities that will be taken to commence operations of the business.

The Peppermint Tree Café will be located at 470 Sydney Road, Gnangara WA 6077, with seating for 100 customers. No rent or lease needed as it will be privately owned and operated.

The site consists of Cafe Restaurant Internal Areas; Bar/Cash Register Area: 22.00 m², Seating Area: 20.90m², Dining Area 1: 52.95 m² and Dining Area 2: 33.74 m², Lounge Area 1: 26.13 m² and Lounge Area 2: Land Use Internal Areas kitchen area office/storage area restrooms area: 22.65 m: 9.28 m: 8.17 m in back. This new build is to be used as a café bistro, this needs to be plumbed and wired appropriately. Painting, concrete floors and walls, and countertops. With materials bought on sale and volunteer labour, the cost to build will be \$120,000.

The kitchen will be equipped with a commercial stove, refrigerator, freezer, oven, fat fryer, microwave, coffee machine, blenders, etc and small commercial dishwasher. With bargain (but quality) equipment, the cost will be \$30,000. Other start-up expenses will be dishes, furniture, food inventory, and marketing. Total Assets \$150,000.00

The Peppermint Tree Cafe Restaurant will serve to all meal day parts and snacks with an emphasis on healthy, tasty food. Menu items for will range from \$3.50 - \$40.00. Daily soups colder months in and specials will be offered. It will cater for allergies v - vegetarian gf - gluten free vo – vegan option dfo – dairy free options.

Hours of operation will be 6.30am to 6.00pm weekdays / 7.00am to 6.00pm weekends, no split bills during weekends and busy periods, 10% surcharge applies on public holidays.

Food Prep, cooking and serving will be done by husband-and-wife team, and additional staff will consist of a part-time back-up from family, if needed, for waiting tables. During slow times, only one waitress will be used. Staff have already been arranged.

Marketing

The Industry

Eating out is a growing trend since people are increasingly pressed for time and enjoy this convenience. Breakfast and lunch are popular, as workers, business owners and our local community often choose not to make their own meals for the day. Choosing healthy foods is a concern, but studies have shown that people are hesitant about it and continue to choose high-fat foods.

The menu will address this by preparing choices in such a way that people will not realise that much of the unhealthy fat has been removed.

Objectives, Goals, and Strategies

The Peppermint Tree Café Restaurant will offer a fresh point of view on Sydney Road in Gngangara. The menu will change frequently, the service will be good, and the food will be the best.

There are three influential key success factors and activities that will contribute to the accomplishment of The Peppermint Tree Cafe Restaurant goals. These factors include: our ability to select the best location, keeping variable and overhead expenses as low as possible, and building high market visibility through brand building and advertising.

With respect to the business transaction, The Peppermint Tree Cafe Restaurant will deliberately choose to be unique, exceptional in its customer experience and create a sense of “community sustainability” where everyone feels welcome.

The Peppermint Tree Café Restaurant will present an image of the best coffee, wholesome healthy food in an attractive and clean atmosphere. A casual dining theme as a classic Mediterranean café restaurant with coffee being its major selling item. The floors will be concrete, the tables, chairs, and lounges. Work by local artists will hang on the walls.

The logo sign will be large enough to be read from the street and will be designed to promote the Café’s image. The Logo’s will be painted on the sides of the café outer walls.

Target Market

Business Owners and Workers - During the week, we will be focusing most of them work early in the morning, so the Café will open at 6:30 during weekdays and 7.00am on weekends. This group includes managers, factory employees, retail clerks, professionals, tradesmen, labourers, and other food service workers. This group will form the basic clientele, as many will be repeat customers. Several tradesmen have promised to support the café every day. Fast, accurate service will be provided, as these customers often have limited time to eat.

Sit-down customers would include the local Community, Workers, Tourists and Retiree’s.

Other - Pricing will be competitive and customer service excellent. If anyone is not satisfied, the item will be replaced or taken off the bill.

The Peppermint Tree Café Restaurant will have an internet website as part of its marketing presence.

Management and Operations

Both Abdul and Kym Abduramanoski have over 25 years' experience in the hospitality business. Managing small business Cafes, lunch bars and Kym being a Catering Operations Manager for a major Hospital in Perth, WA for 10 years.

Accounting and Cash Management Systems - An electronic cash register will be purchased. This register is capable of tracking sales of various items, recording the different operators, and displaying the correct amount of change due for cash transactions.

Numbered sales slips will be used, and each booking signed for in a logbook. All slips will be accounted for. The Peppermint Tree Café Restaurant will accept credit cards and a credit card machine will be purchased.

Abdul and Kym Abduramanoski will prepare cash deposits and take them to the bank weekly and will keep the restaurant books on the Quick Books software program. Kym Abduramanoski and their CPA will prepare tax returns and quarterly payroll and tax reports.

This Café restaurant will maintain ample of indoor/outdoor seating under a covered alfresco space shared with the restaurant. The facilities perimeter will feature a simple garden with grassed areas which will provide comfortable fun play areas for children.

Traffic accessing to the Café Restaurant and Private Recreation Gardens will be utilise from the middle entrance and existing from the northwest end of 470 Sydney Road, Gngara property on Sydney Road.

Keeping with a Green Eco Environment the Cafe Restaurant car parking bays is designed for low impact of the development, including recyclable materials for a hardstand, rain gardens and infiltration trenches. The bays also demonstrate the use of green construction products like recycled materials for hardstand and the use of shade trees to keep the parking bays cool and reduce the urban heat effects.

Car parking bays will be provided to achieve safe and efficient traffic movement on site. It is considered this layout is consistent with the intent of the guidelines and that the approximate overall floor area of 1200m² or less, which is for the primary Café Restaurant and Private Recreation Gardens (roughly estimating 47 standard, 2 disabled, 6 staff, 4 large vehicle car bays and 1 loading/unloading zone). Trees and Shrubs will be planted around and between the outdoor car parking bays to ensure that the vehicles parked on the hardstand will not be visible to Sydney Road.

Frequency of deliveries is unknown until the Café Restaurant is up and running. Preferably once or twice a week depending on numbers of customer intake.

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Location of proposed loading/unloading areas for delivery of goods to and from the café will be designated in the first car parking bay marked "Loading Zone Only" nearest to the Café back entrance for safety reasons. This area will be free of traffic and well lit.

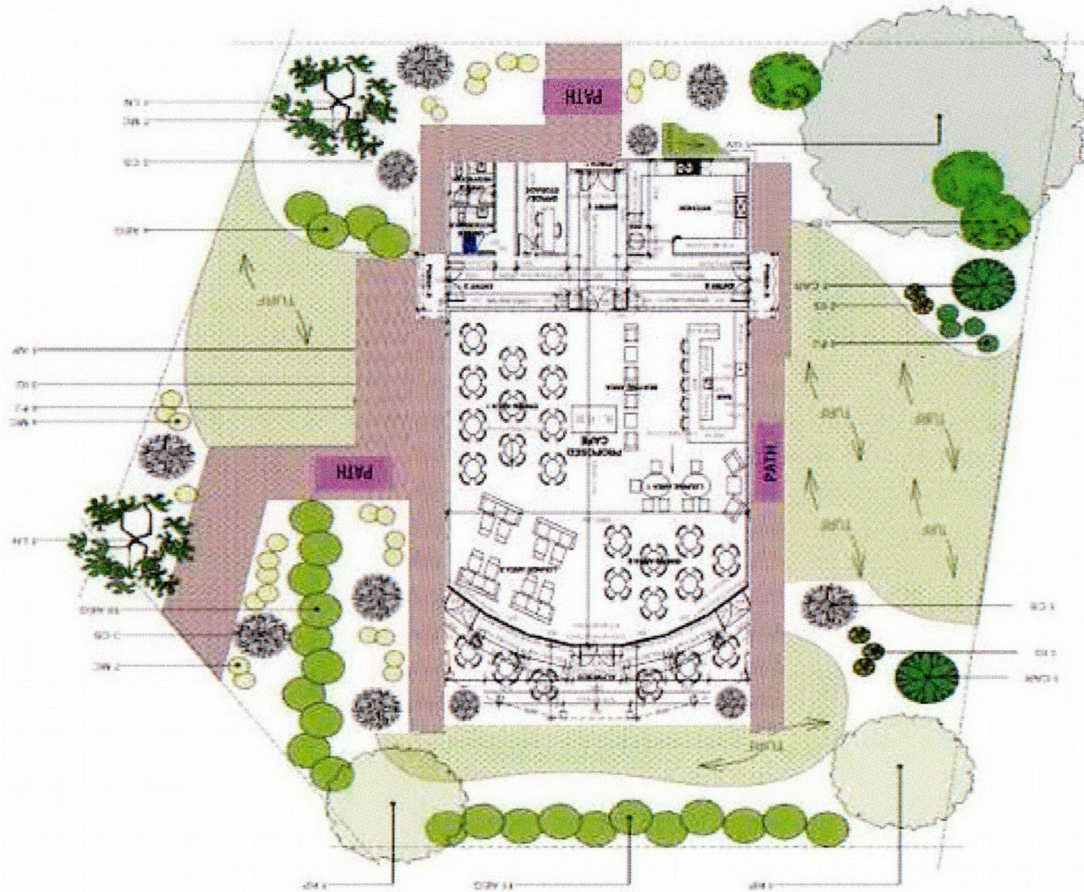
Community Waste Free Recycling Hub will be created near the Café Restaurant encouraging people to relax and sit down; create a waste-free café.

We can reduce the amount of plastic used hugely by only serving coffee in proper cups or recycled disposable coffee cups or re-usable cups. Paper straws and use proper metal cutlery and ceramic crockery will reduce the waste produced massively.

A simple change like a Community Waste and Recycle Hub can help with cafe waste management. See sample pictures of introducible ideas.



Proposed Café Landscaping Garden Design



Native Trees and Shrubs we are considering around the Café are;

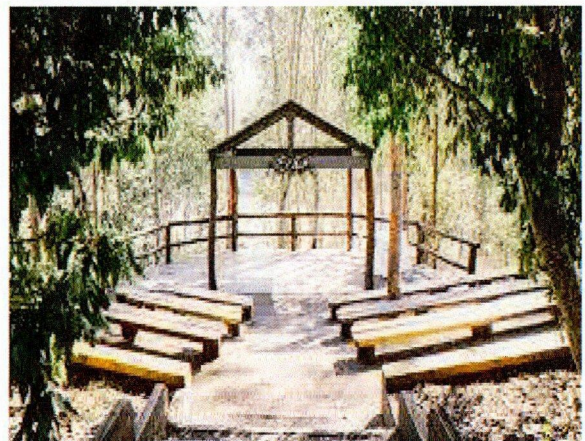
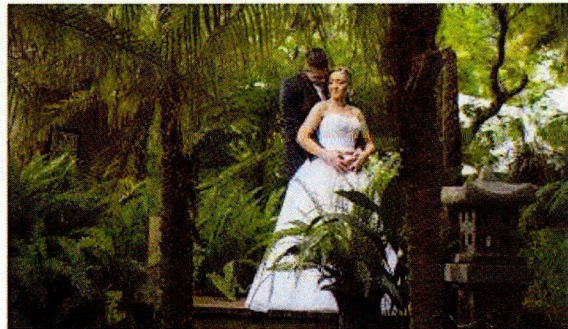
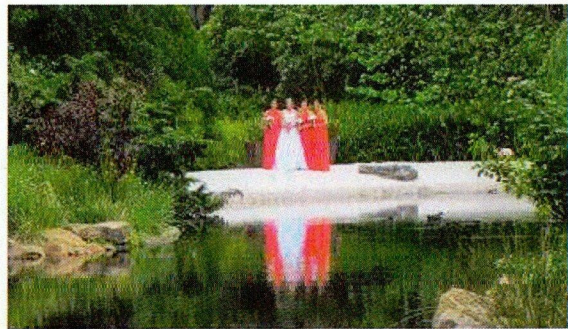
Australian daisy (*Brachyscome*), Banksia (*Banksias*), Bird's nest fern (*Asplenium australasicum*), Bottlebrush (*Callistemon*), Flame pea (*Chorizema*), Cycad (*Macrozamia*), Elkhorn and staghorn fern (*Platycerium*), Gum tree (*Eucalyptus* and *Corymbia*), Everlasting daisies (*Xerochrysum bracteatum*), Fan palm (*Licuala ramsayi*), Finger lime (*Citrus australasica*), Grass tree (*Xanthorrhoea australis*), Grevillea, Hakea, Happy wanderer (*Hardenbergia violacea*), Illawarra flame tree (*Brachychiton acerifolius*), Kangaroo paw (*Anigozanthos*), Lilly pilly (*Syzygium smithii*), Mat-rush (*Lomandra*), Christmas Bush (*Ceratopetalum gummiferum*), Sturt's Desert Pea (*Swainsona formosa*), Australian tea-tree (*Leptospermum laevigatum*), Golden Showers (*Cassia Fistula*)

Sample Ideas for Gardens



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