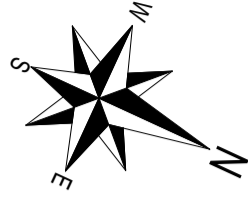


+	SEC Dome
○	Power Pole
□	Phone Pits
□	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

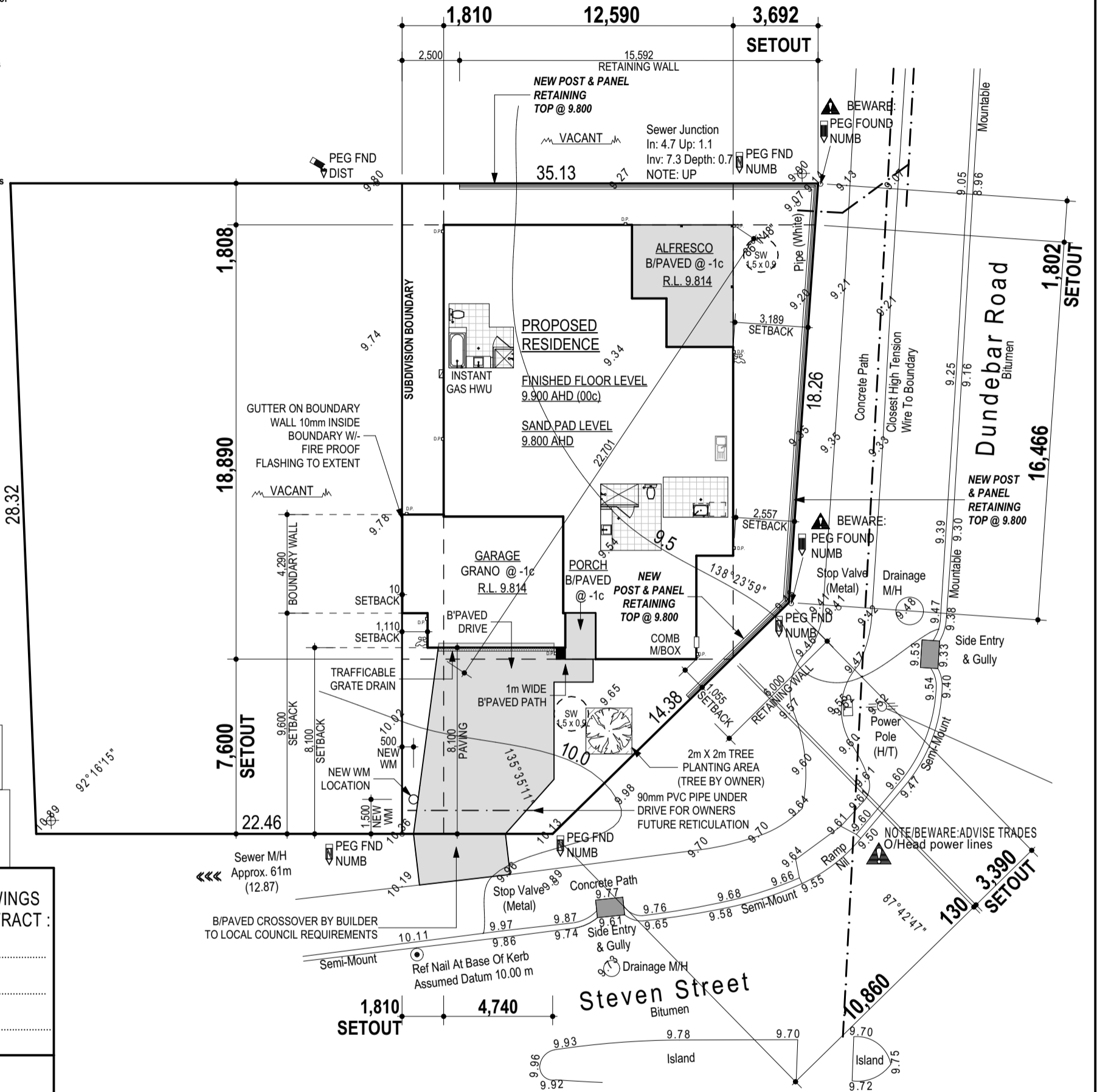


DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



STORMWATER NOTE:
BUILDER TO PROVIDE STORMWATER DISPOSAL TO LOCAL AUTHORITIES REQUIREMENTS.

NOTE:
SAND PAD LEVEL TO BE WITHIN 50mm OF NOMINATED LEVEL.

NOTE:
BUILDER TO PROVIDE CONDUIT & DRAW WIRE IN TRENCH FOR FUTURE TELECOMMUNICATION RUN IN BY OWNER.

THIS IS ONE OF THE DRAWINGS REFERED TO IN THE CONTRACT :

OWNERDATE.....
OWNERDATE.....
BUILDERDATE.....

NEW SENSATION HOMES
7/42 COLLINGWOOD STREET, OSBORNE PARK 6017
E: INFO@NEWSSENSATION.COM.AU
W: NEWSSENSATIONHOMES.COM.AU

REVISION	DATE	BY	CHK BY
SKETCH	24/03/21	HD	TL
WD	04/06/21	MD	TL
CV-2	08/09/21	JC	TL

CLIENT NAME
SMITH
SITE ADDRESS
**SS LOT 1 OF LOT 901 (#156)
STEVEN STREET
WANNEROO**
SHIRE
CITY OF WANNEROO

INDIVIDUAL COPYRIGHT ©

DRAWN BY	DATE	SCALE	SHEET No.
HD	23/02/21	1:200	3 OF 10

THIS DESIGN AND DRAWING SHALL ALWAYS REMAIN THE PROPERTY OF NEW SENSATION HOMES AND MAY NOT BE FULLY OR IN PART REPRODUCED OR ALTERED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE PROPRIETORS.

JOB No.
20-0752

NOTE:
NOTIFICATION REFER TO SEC 165 T.P&D. ACT SEE DOCUMENT 0353097 BUSHFIRE PRONE AREA

NOTE:
NOTIFICATION REFER TO SEC 165 T.P&D. ACT SEE DOCUMENT 0353098 PROXIMITY TO MARKET GARDENS

LOT MISCLOSE
0.011 m

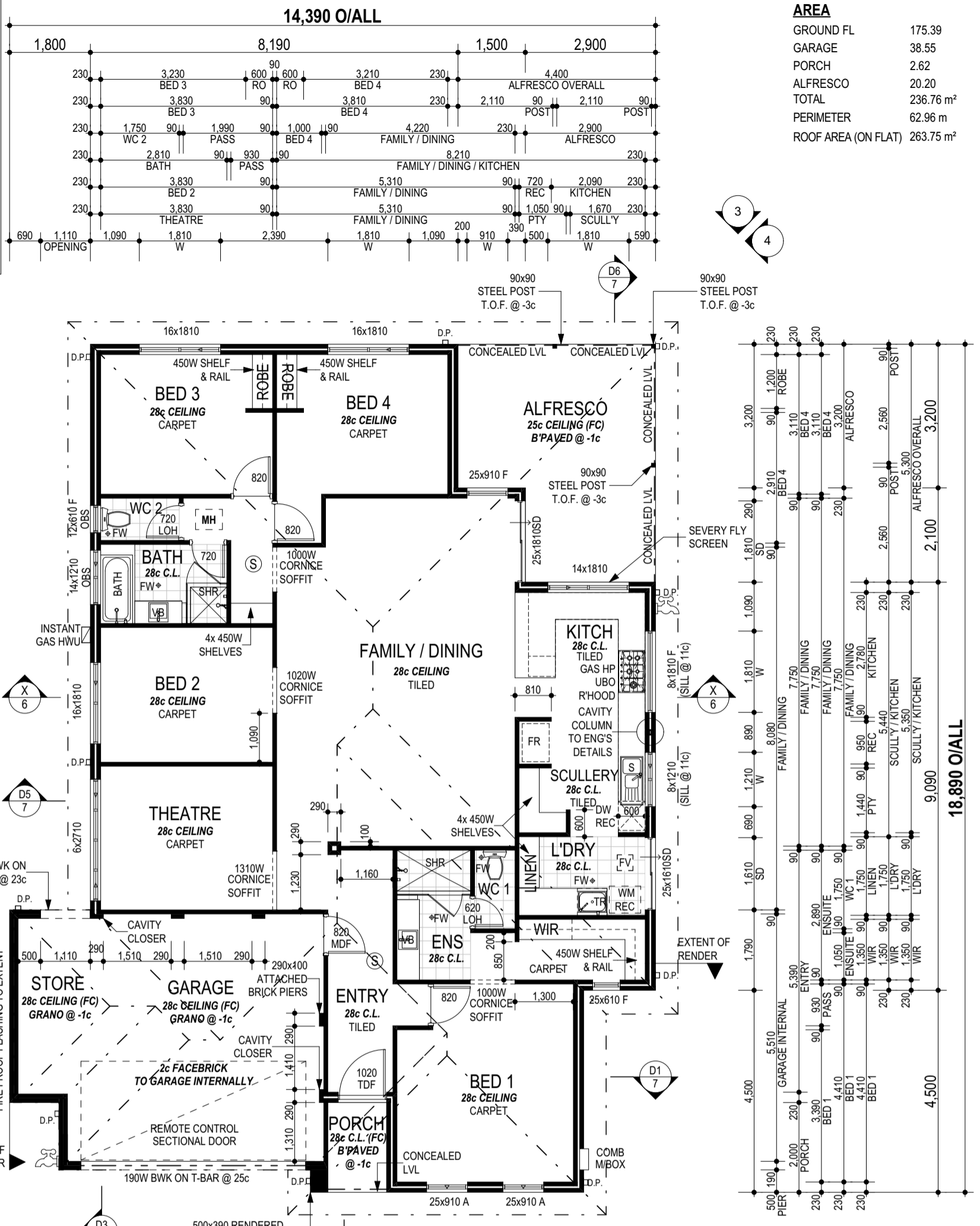
SOIL DESCRIPTION
Sand
Long Grass Cover



DISCLAIMER:
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

NOTE:

1. DIMENSIONS ARE TO BRICK SIZES & DO NOT ALLOW FOR PLASTER RENDER OR SET.
2. THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERS DRAWINGS AND DETAILS.
3. FINAL LOCATION OF DOWNPIPES, & STORMWATER SYSTEM TO BE DETERMINED ON SITE BY BUILDER.
4. WALL AND FLOOR TILES AS DRAWN ARE INDICATIVE REPRESENTATION ONLY OF THE SURFACE AREA TO BE COVERED.
5. NOTIFY BUILDERS OF ANY DISCREPANCIES PRIOR TO COMMENCING.
6. ALL NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.



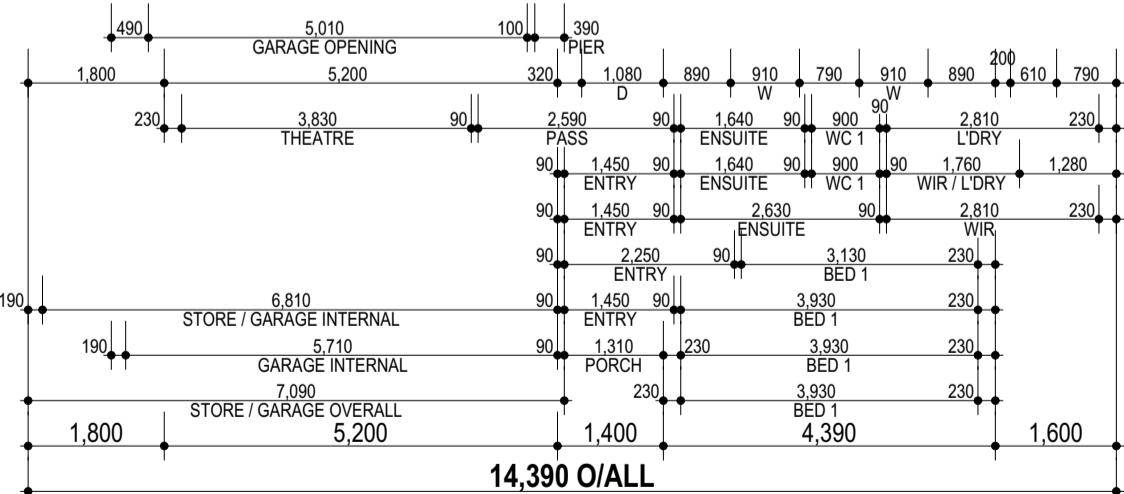
AREA

GROUND FL	175.39
GARAGE	38.55
PORCH	2.62
ALFRESCO	20.20
TOTAL	236.76 m ²
PERIMETER	62.96 m
ROOF AREA (ON FLAT)	263.75 m ²

18,890 O'ALL

18,890 O'ALL

GROUND FLOOR PLAN
1:100



WIND CLASSIFICATION N1 DETAIL

(S) DENOTES SMOKE DETECTOR

BAL NOTE:
PROPOSED RESIDENCE FALLS WITHIN A BUSHFIRE PRONE AREA AND WILL REQUIRE A BAL REPORT. ADDITIONAL CONSTRUCTION REQUIREMENTS MAY BE REQUIRED.

FLASHING NOTE:
ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOR FLASHINGS AS PER AUSTRALIAN STANDARDS.

NOTE:
BUILDER TO PROVIDE AND INSTALL REFLECTIVE CAVITY INSULATION TO ALL EXTERNAL CAVITY WALLS.

THIS DWELLING IS DESIGNED FOR RENDERED FRONT ELEVATION & 2c FACE BRICKS -1/3 BOND TO REMAINDER.
RENDER EXTENT AS SHOWN & COURSING HEIGHTS SHOWN IN STD BRICK FORMAT



THIS IS ONE OF THE DRAWINGS REFERED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

VARIATIONS				
REVISION	DATE	BY	CHK	BY
SKETCH	24/03/21	HD	TL	
WD	04/06/21	MD	TL	
CV-2	08/09/21	JC	TL	

CLIENT: **SMITH**

SITE ADDRESS: **SS LOT 1 OF LOT 901 (#156) STEVEN STREET WANNEROO CITY OF WANNEROO**

DRAWN: HD DATE: 23/02/21

INDIVIDUAL

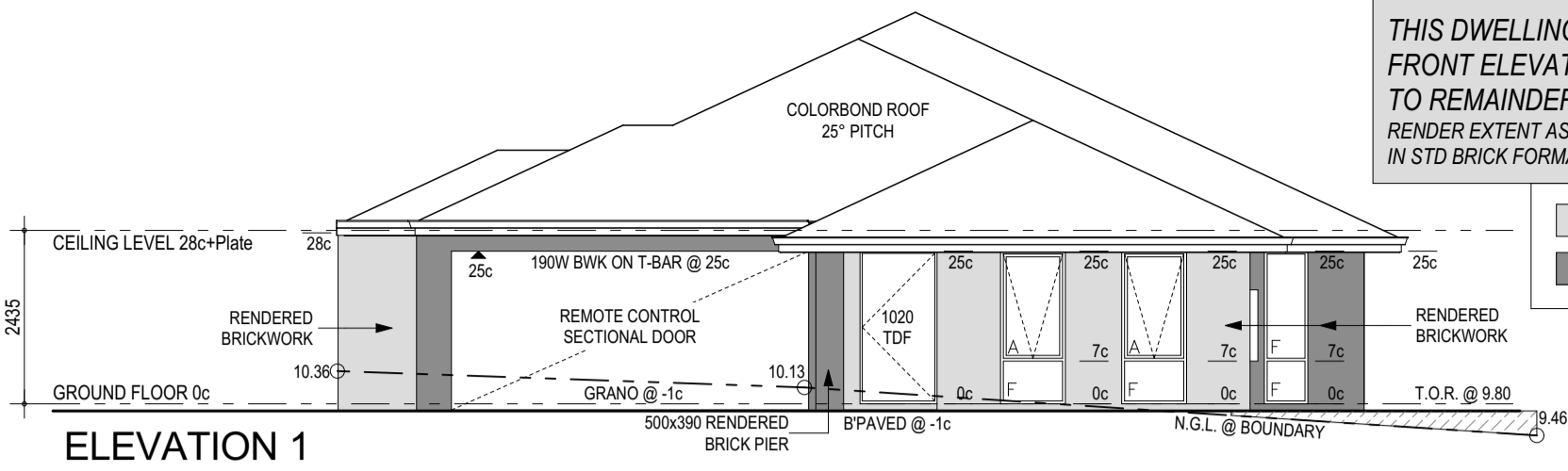
SHEET N°: **5 OF 10**

SCALE: AS SHOWN

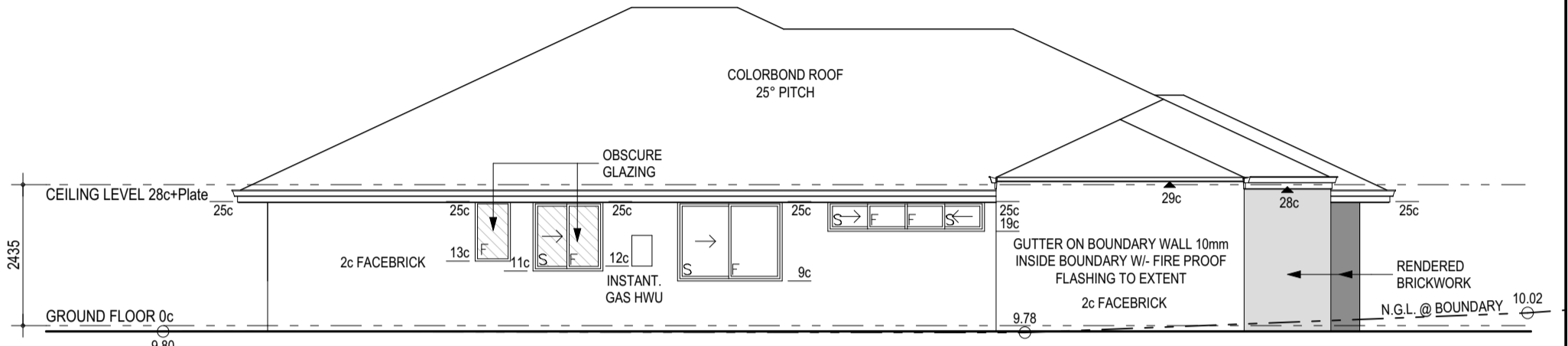
JOB N°: **20-0752**

THIS DWELLING IS DESIGNED FOR RENDERED FRONT ELEVATION & 2c FACE BRICKS -1/3 BOND TO REMAINDER.
 RENDER EXTENT AS SHOWN & COURSING HEIGHTS SHOWN IN STD BRICK FORMAT

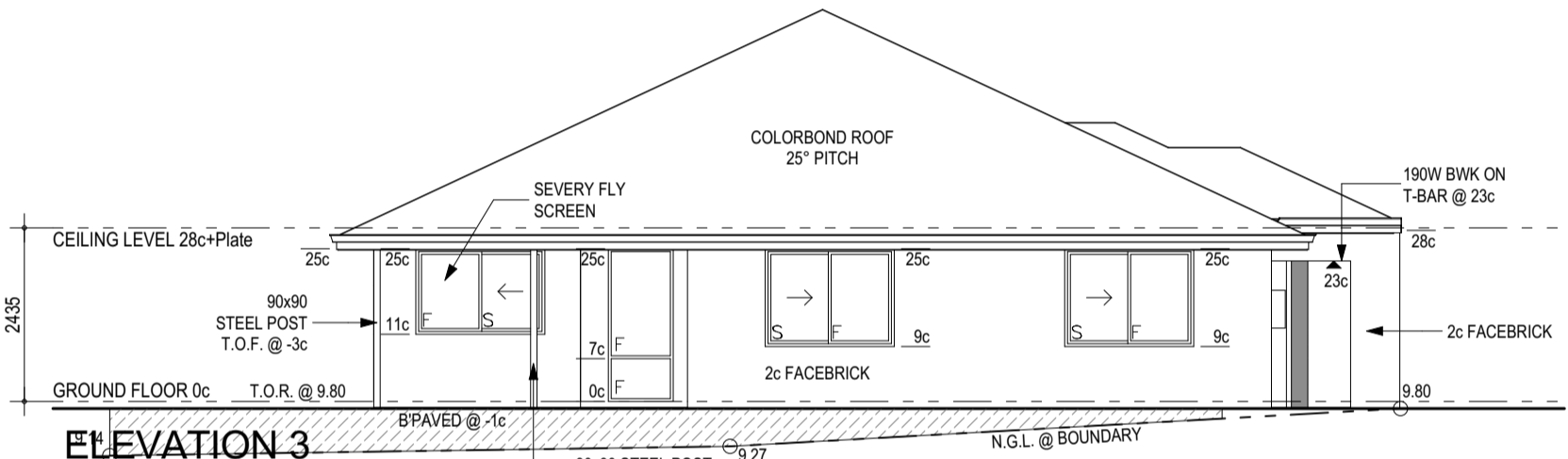
□ DENOTES PRIMARY RENDER
 ■ DENOTES CONTRASTING RENDER



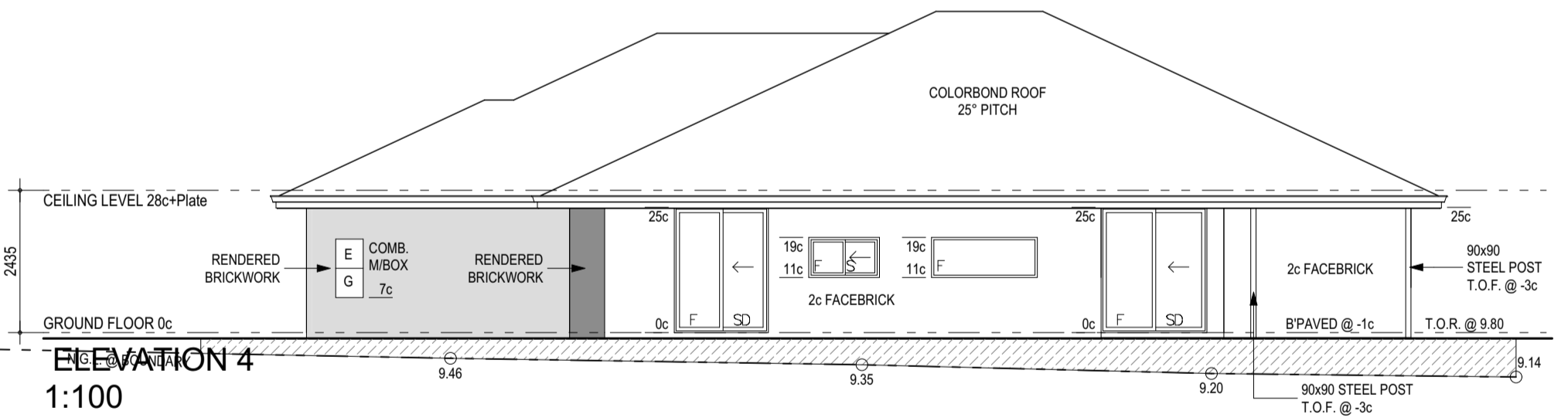
ELEVATION 1
1:100



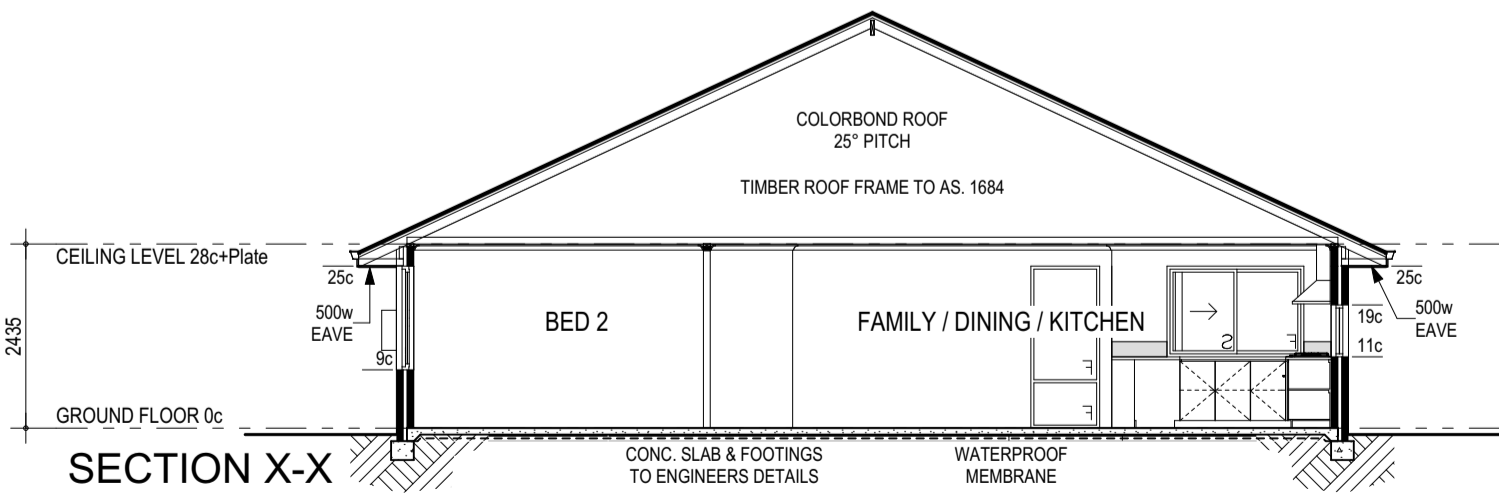
ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100



SECTION X-X
1:100



THIS IS ONE OF THE DRAWINGS REFERED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

VARIATIONS				
REVISION	DATE	BY	CHK BY	
SKETCH	24/03/21	HD	TL	
WD	04/06/21	MD	TL	
CV-2	08/09/21	JC	TL	

CLIENT: **SMITH**

SITE ADDRESS:
SS LOT 1 OF LOT 901 (#156)
STEVEN STREET
WANNEROO
CITY OF WANNEROO

DRAWN: HD DATE: 23/02/21

INDIVIDUAL

SHEET N°: **6 OF 10** JOB N°: **20-0752**

SCALE: AS SHOWN