

COTTAGE & ENGINEERING SURVEYS

Licensed Surveyors ©

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 Email: perth@cottage.com.au Website: www.cottage.com.au

J/N: 471838 DATE: 22 Jun 20 SCALE: 1:200 DRAWN: C. Weightman

BUILDER :
CLIENT : Loney, Russell
LOT 92 #11 Graham Road, Quinns Rocks

OLD AREA

Plan7318

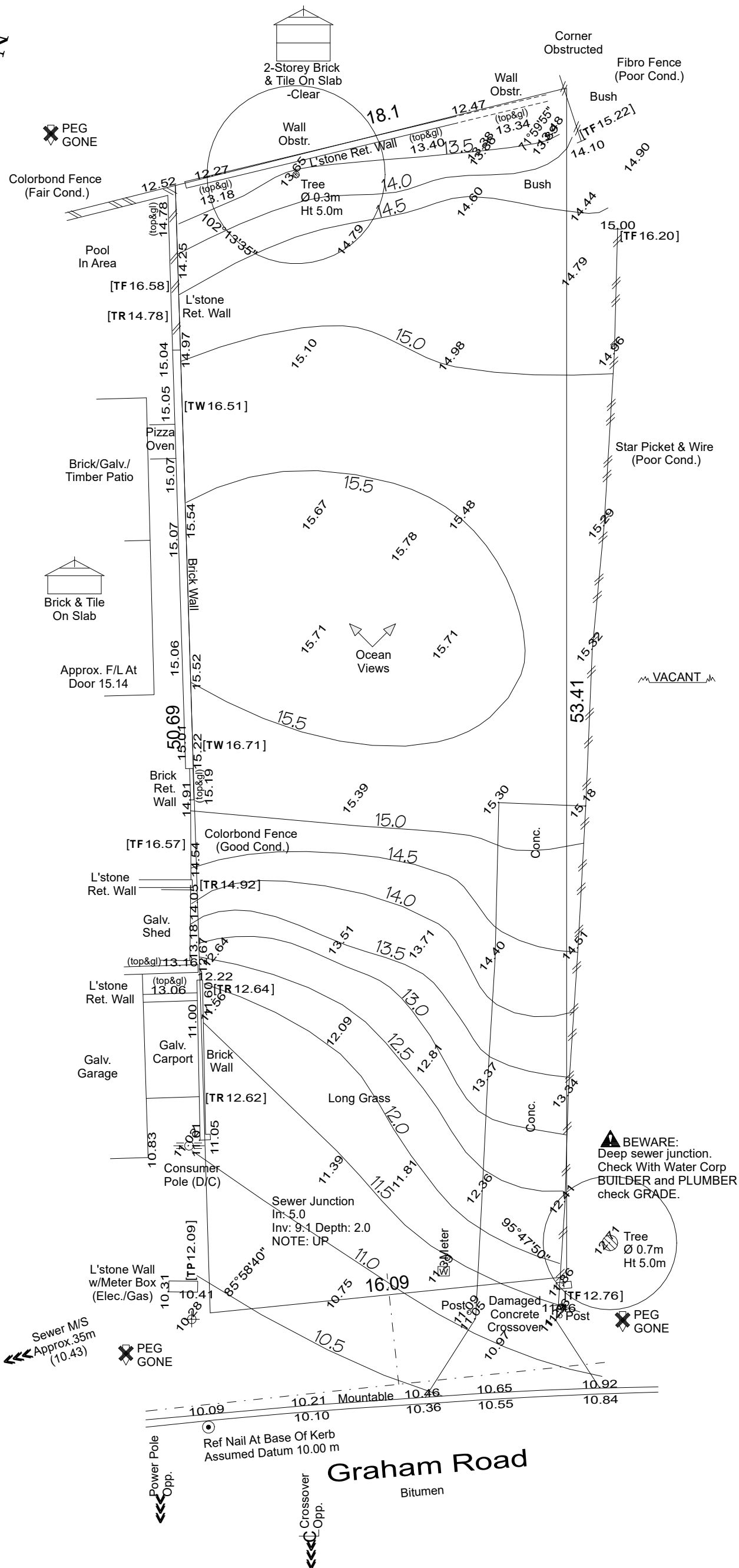
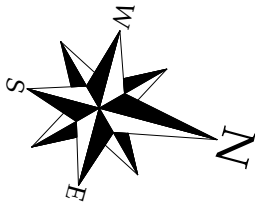
LEGEND	
	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



LOT MISCLOSE
 0.018 m

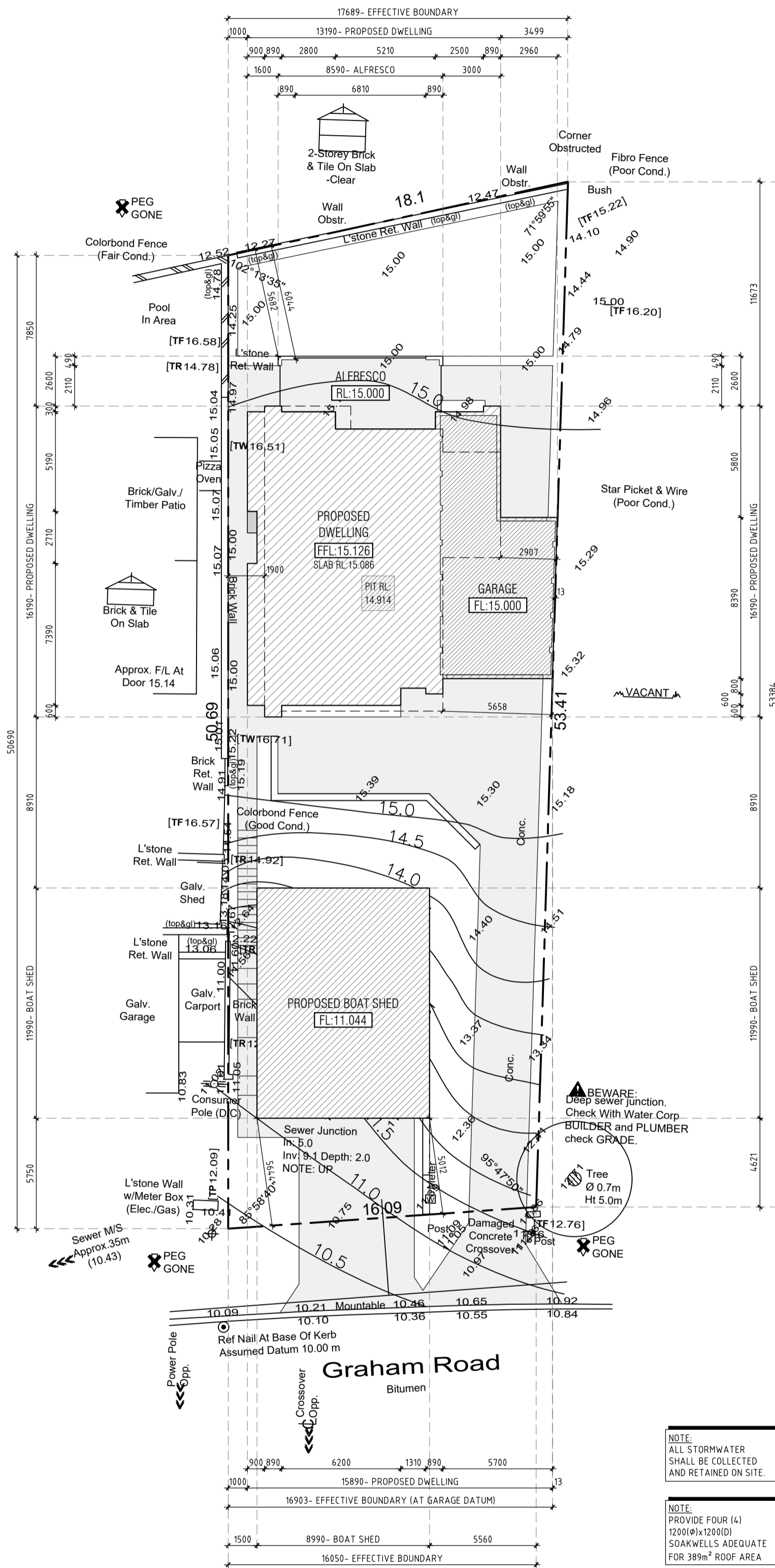
SOIL DESCRIPTION
 Sand / L/Stone(Exp)
 High Grass Cover



BEWARE:
 Deep sewer junction.
 Check With Water Corp
BUILDER and PLUMBER
 check GRADE.

Graham Road
 Bitumen

SITE INFORMATION:	
LOT NUMBER	LOT 92
GOVERNING SHIRE	CITY OF WANNEROO
R-CODING	R20
SITE AREAS	
AREA	875.00m ²
SITE COVERAGE	324.07m ² (37%)
OPEN SPACE	550.93m ² (63%)



NOTE:
ALL STORMWATER
SHALL BE COLLECTED
AND RETAINED ON SITE.

NOTE:
PROVIDE FOUR (4)
1200(Ø)x1200(D)
SOAKWELLS ADEQUATE
FOR 389m² ROOF AREA

1 SITE PLAN
A101 1:200 AT A2



A	06-08-21	AMENDED DA
REV	DATE	COMMENTS



GRAHAM MALONE
+61 8 (0)432 428 841
gmalonedesign@gmail.com

AMENDED DA

PROJECT:
GRAHAM ROAD RESIDENCE
PROPOSED DOUBLE STOREY DWELLING
LOT 92 (#11) GRAHAM ROAD, QUINNS ROCKS

CLIENT:
RUSSELL LONEY & ROBYN BLACKWELL

DRAWING:
SITE PLAN

DRAWN:	G.M.	DATE:	06-08-21
SCALE:	1:200	REVISION:	A
SHEET:	A2	DRAWING No:	A101

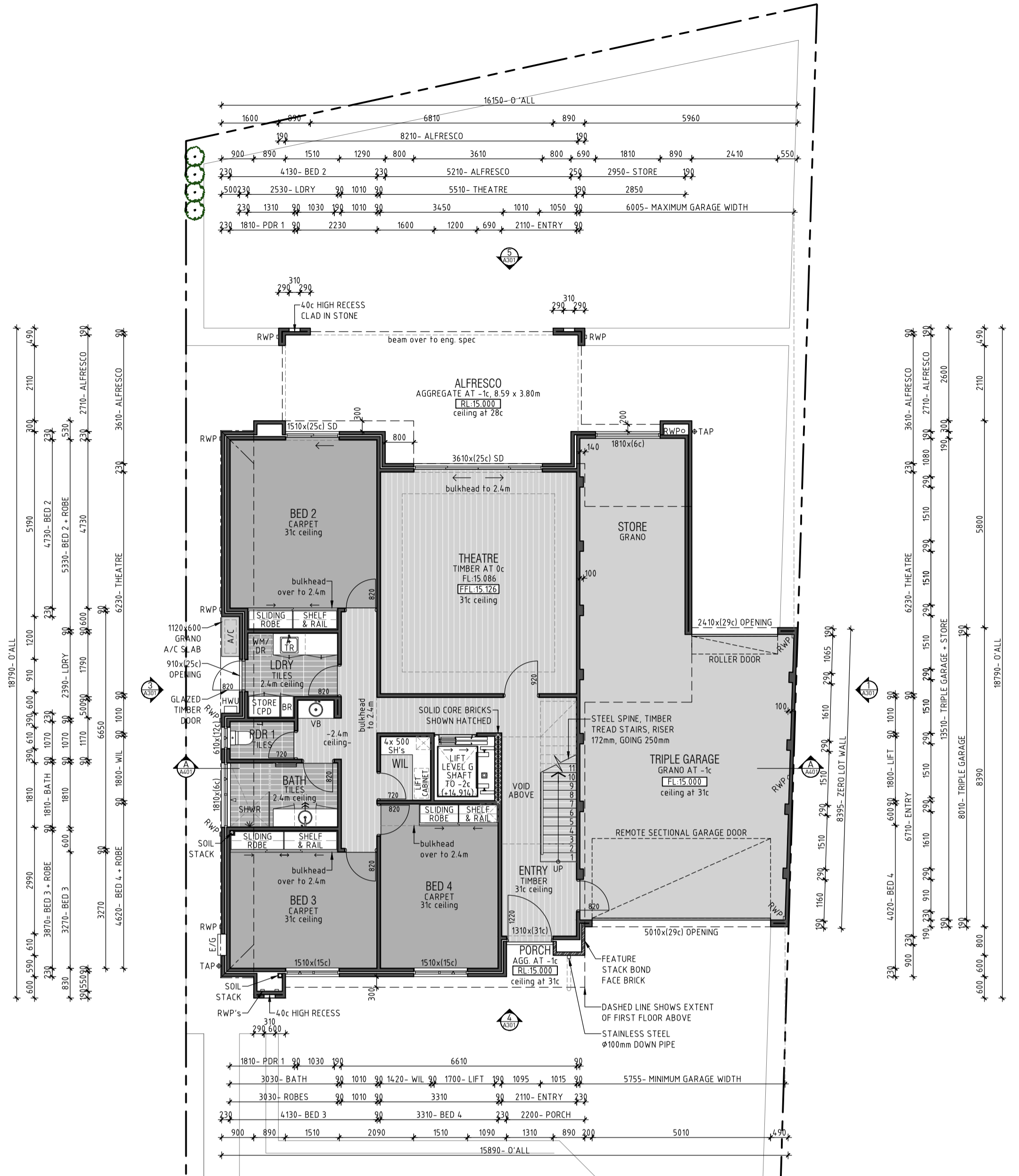
AREA SCHEDULE:	
GROUND FLOOR LIVING	145.47m ²
GARAGE & STORE	69.06m ²
PORCH	4.23m ²
ALFRESCO	28.41m ²
FIRST FLOOR LIVING	158.33m ²
FIRST FLOOR BALCONY	26.87m ²
SHED	107.79
TOTAL BUILT AREA	480.65m²
TOTAL BUILT OUTDOOR AREA	59.51m²
TOTAL AREA	540.16m²

PERIMETERS	
GROUND FLOOR PERIMETER	68.42m
FIRST FLOOR PERIMETER	56.36m
4x PIERS	11.04m
SHED	41.96m
TOTAL	177.78m

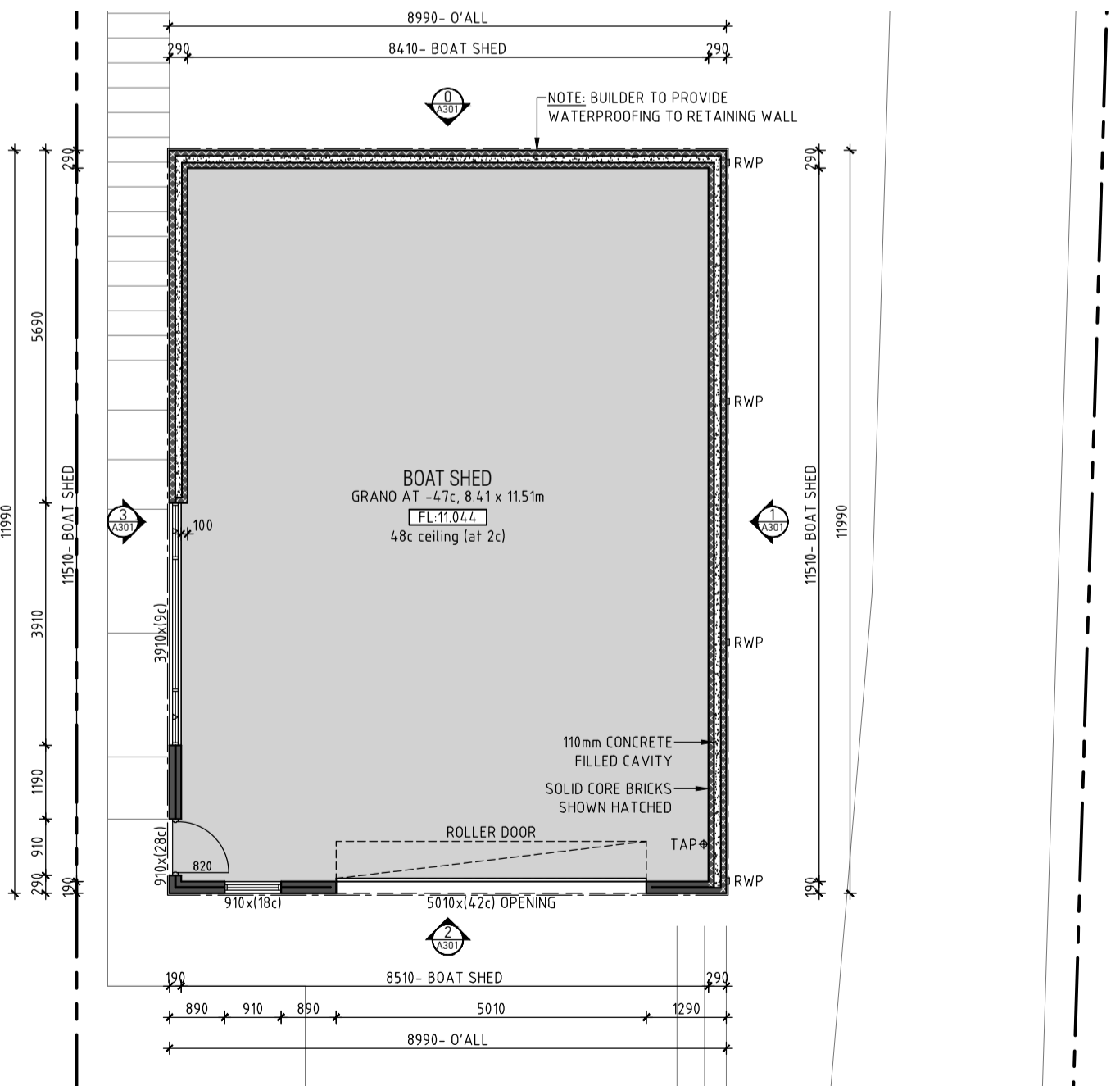
FLOOR FINISH SCHEDULE	
TIMBER	148.00m ²
CARPET	70.37m ²
WET AREA TILES	24.37m ²
GRANO	62.99m ²
NON-SLIP TILES	25.93m ²
AGGREGATE	327.04m ²
LAWN	104.73m ²

LEGEND:	
	230mm DOUBLE MAXI BRICK
	190mm SOLID CORE BRICKS
	290mm CONC. FILLED RETAINING
	STACK BOND FACE BRICK
	TIMBER FLOOR
	TILED WET AREAS
	SELECTED CARPET
	GRANO SLAB
	SELECTED ROOF SHEETS

- NOTES:**
- 230mm CAVITY INSULATED DOUBLE BRICK CONSTRUCTION TO GROUND FLOOR
 - EXT. WALLS CAVITY RENDERED & PAINTED
 - 230mm MAXI BRICK
 - INT. WALLS PLASTERED 90mm MAXI BRICK
 - WATERPROOF WET AREAS TO A.S.3740 - 2010
 - FLOOR WASTE GULLEYS TO ALL WET AREAS
 - HARD WIRE SMOKE DETECTORS TO A.S. 3786 - 1993
 - RWP'S & SPREADER POSITION INDICATIVE ONLY. FINAL POSITION TO A.S. BY ROOF PLUMBER
 - ROOF TIEDOWN IN ACCORDANCE WITH A.S. 1604 - 1992 CLAUSE 5.3.1.3
 - MAX DISTANCE BETWEEN ATTACHED PIERS 1650mm
 - VENTILATION IN ACCORDANCE WITH LIGHTING VENTILATION & CONSTRUCTION REGULATIONS 1971 & A.S.1688
 - DRAUGHT PROOFING TO EXTERNAL DOORS
 - CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER IF DISCREPANCIES ENCOUNTERED



1 GROUND FLOOR PLAN
A201 1:100 AT A2



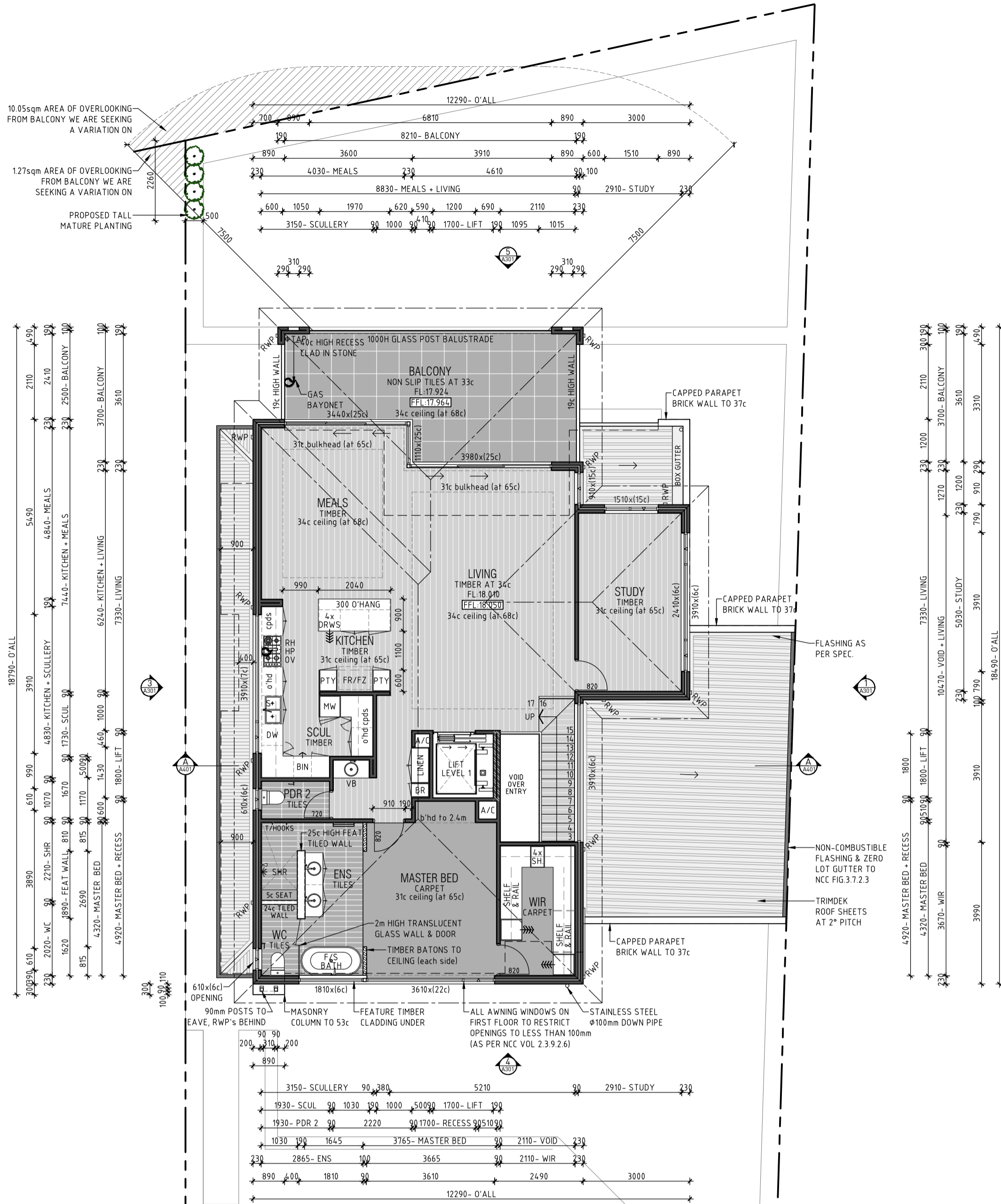
2 BOAT SHED PLAN
A201 1:100 AT A2

REV	DATE	COMMENTS
A	06-08-21	AMENDED DA

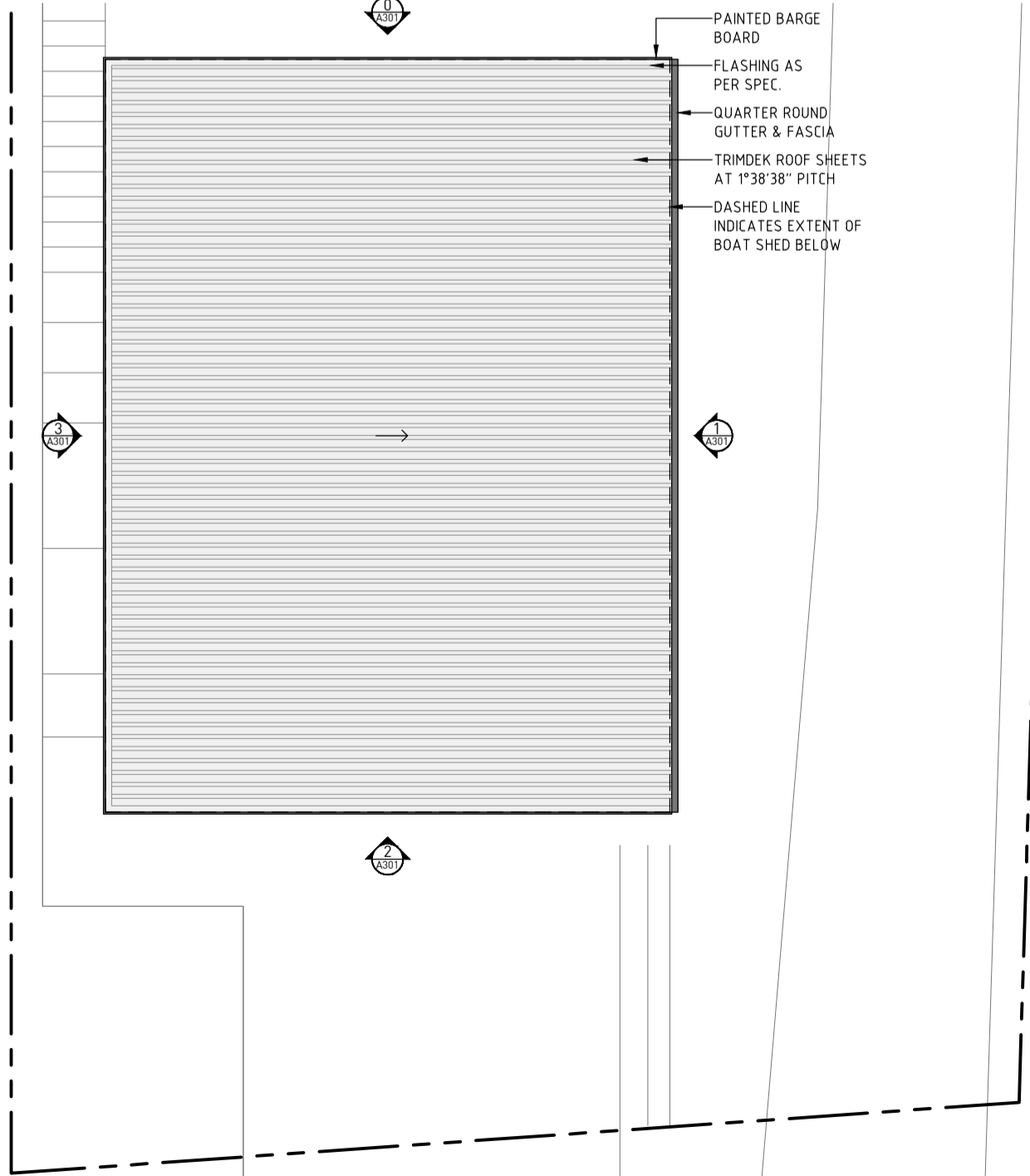


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AMENDED DA	
PROJECT: GRAHAM ROAD RESIDENCE PROPOSED DOUBLE STOREY DWELLING LOT 92 (#11) GRAHAM ROAD, QUINNS ROCKS	
CLIENT: RUSSELL LONEY & ROBYN BLACKWELL	
DRAWING: GROUND FL & BOAT SHED PLAN	
DRAWN: G.M.	DATE: 06-08-21
SCALE: 1:100	REVISION: A
SHEET: A2	DRAWING No: A201



1 FIRST FLOOR PLAN
A202 1:100 AT A2



AREA SCHEDULE:

GROUND FLOOR LIVING	145.47m ²
GARAGE & STORE	69.06m ²
PORCH	4.23m ²
ALFRESCO	28.41m ²
FIRST FLOOR LIVING	158.33m ²
FIRST FLOOR BALCONY	26.87m ²
SHED	107.79
TOTAL BUILT AREA	480.65m²
TOTAL BUILT OUTDOOR AREA	59.51m²
TOTAL AREA	540.16m²

PERIMETERS

GROUND FLOOR PERIMETER	68.42m
FIRST FLOOR PERIMETER	56.36m
4x PIERS	11.04m
SHED	41.96m
TOTAL	177.78m

FLOOR FINISH SCHEDULE

TIMBER	148.00m ²
CARPET	70.37m ²
WET AREA TILES	24.37m ²
GRANO	62.99m ²
NON-SLIP TILES	25.93m ²
AGGREGATE	327.04m ²
LAWN	104.73m ²

LEGEND:

- 230mm DOUBLE MAXI BRICK
- 190mm SOLID CORE BRICKS
- 290mm CONC. FILLED RETAINING
- STACK BOND FACE BRICK
- TIMBER FLOOR
- TILED WET AREAS
- SELECTED CARPET
- GRANO SLAB
- SELECTED ROOF SHEETS

- NOTES:**
- 230mm CAVITY INSULATED DOUBLE BRICK CONSTRUCTION TO GROUND FLOOR
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 - 230mm MAXI BRICK
 - INT. WALLS PLASTERED 90mm MAXI BRICK
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 - FLOOR WASTE GULLEYS TO ALL WET AREAS
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REV	DATE	COMMENTS



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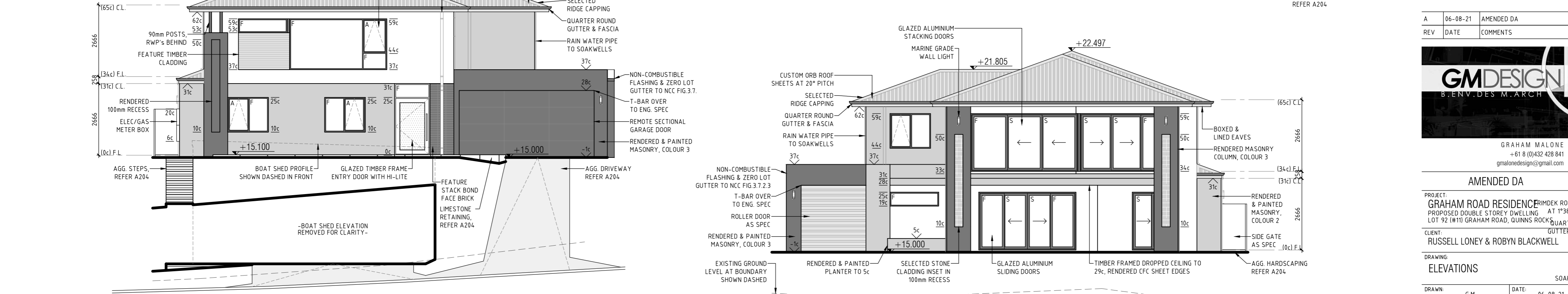
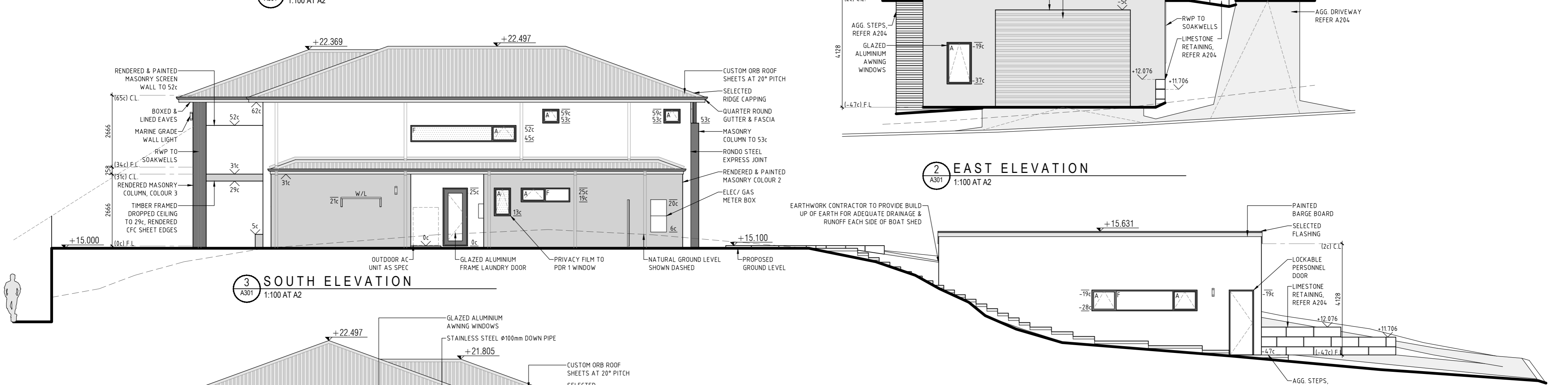
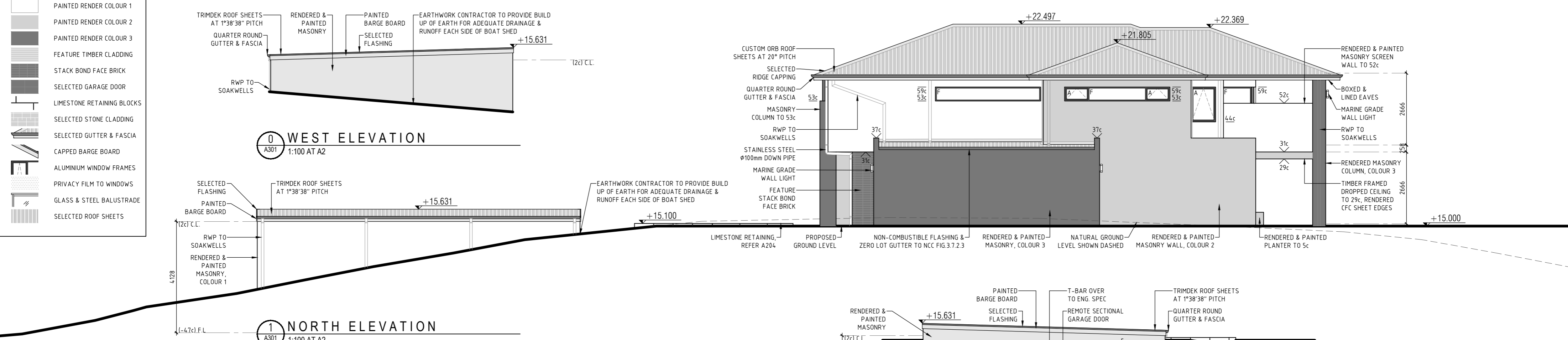
PROJECT:
GRAHAM ROAD RESIDENCE
PROPOSED DOUBLE STOREY DWELLING
LOT 92 (#11) GRAHAM ROAD, QUINNS ROCKS

CLIENT:
RUSSELL LONEY & ROBYN BLACKWELL

DRAWING:
FIRST FLOOR PLAN

DRAWN:	G.M.	DATE:	06-08-21
SCALE:	1:100	REVISION:	A
SHEET:	A2	DRAWING No:	A202

- LEGEND:**
-  PAINTED RENDER COLOUR 1
 -  PAINTED RENDER COLOUR 2
 -  PAINTED RENDER COLOUR 3
 -  FEATURE TIMBER CLADDING
 -  STACK BOND FACE BRICK
 -  SELECTED GARAGE DOOR
 -  LIMESTONE RETAINING BLOCKS
 -  SELECTED STONE CLADDING
 -  SELECTED GUTTER & FASCIA
 -  CAPPED BARGE BOARD
 -  ALUMINIUM WINDOW FRAMES
 -  PRIVACY FILM TO WINDOWS
 -  GLASS & STEEL BALUSTRADE
 -  SELECTED ROOF SHEETS



REV	DATE	COMMENTS
A	06-08-21	AMENDED DA



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AMENDED DA

PROJECT: **GRAHAM ROAD RESIDENCE**
 PROPOSED DOUBLE STOREY DWELLING AT 1338 LOT 92 (H11) GRAHAM ROAD, QUINNS ROCKS
 CLIENT: **RUSSELL LONEY & ROBYN BLACKWELL**

DRAWING: **ELEVATIONS**

DRAWN:	G.M.	DATE:	06-08-21
SCALE:	1:100	REVISION:	A
SHEET:	A2	DRAWING No:	A301