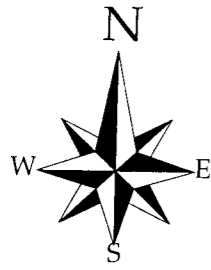


**LOT 1859**



**NOTE:** ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

**SOIL DESCRIPTION**  
Sandy  
Light Grass Cover

**celebration HOMES**  
MORE TO CELEBRATE

131 HASLER ROAD, OSBORNE PARK, WA 6017  
TELEPHONE: (08) 9202 2300 FACSIMILE: (08) 9202 2399  
A.C.N. 070 961 509 A.B.N. 47 950 269 275

**WARNING:** PLAN/DIAGRAM NOT YET APPROVED BY TITLES OFFICE. VERIFY LOT DIMENSIONS & ANGLES WITH TITLE

CLIENT: **Kennedy/Randall**  
CONTRACT / JOB NO: **6716**  
MAP REF: **159/06/38**  
COASTAL NO

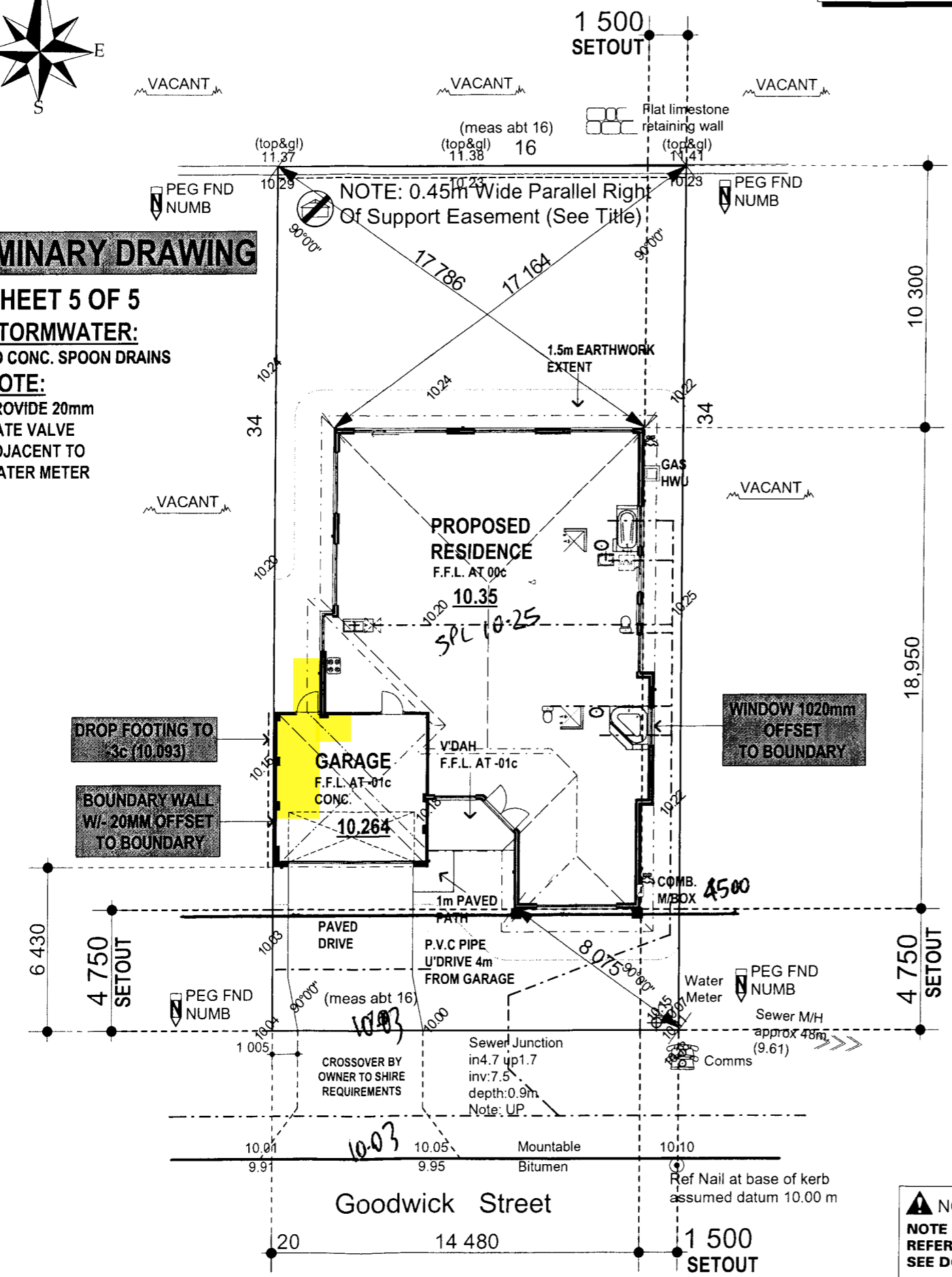
**OFFICE COPY**  
to be retained for Approval Services files

Suburb: **Wanneroo**  
Loc. Auth: **WANNEROO**  
D. Plan: **42956** Volume: **05/0657** Folio  
Location: **Check Title**

**PRELIMINARY DRAWING**

**NOTE:** COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

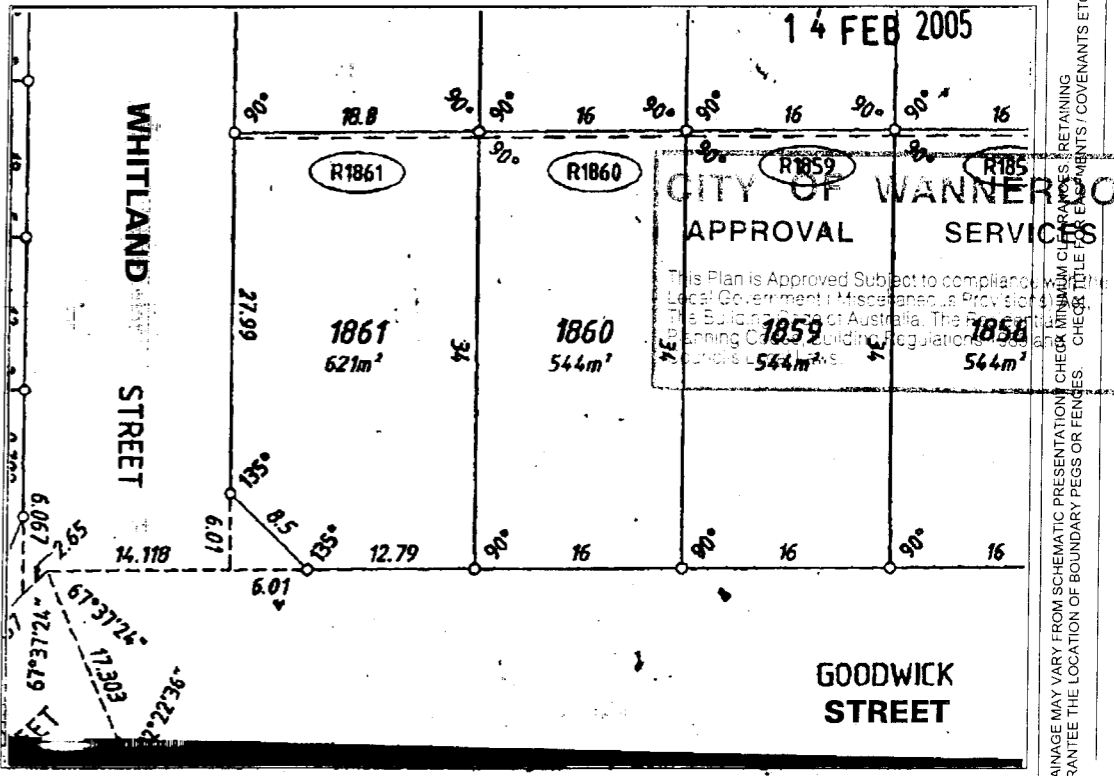
**SHEET 5 OF 5**  
**STORMWATER:**  
TO CONC. SPOON DRAINS  
**NOTE:**  
PROVIDE 20mm GATE VALVE ADJACENT TO WATER METER



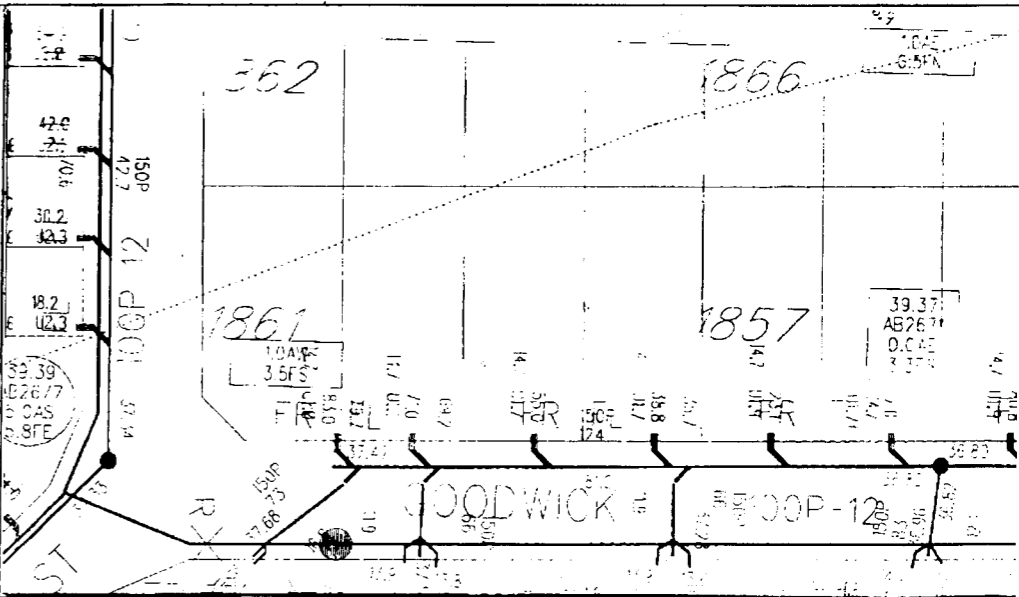
Scale 1:200  
Date: 20/12/04

**NOTE:** All Sewer details plotted from information supplied by Water Corporation.

**NOTE:** NOTE RESTRICTIVE COVENANTS REFER TO SEC 136D T.L.A. SEE DOCUMENT.



Elec.	U/ground	Water	Yes	Sewer	Yes
Gas	Yes	Phone	Yes	Footpath	Nil
Road	Bitumen	Kerb	Mountable	Drainage	Good



**COTTAGE & ENGINEERING SURVEYS**  
Licensed Surveyors

WA 219 ONSLOW ROAD, SHENTON PARK, 6008. Ph (08)9381 6211 Fax (08)9382 2503  
QLD CHATSWOOD RD & PACIFIC HWY, SPRINGWOOD, 4127. Ph (07)3808 7244 Fax (07) 38087349

J/No: 121428  
Drawn: T.Callaway

**NOTE:** EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION. CHECK TITLES FOR RESTRICTIVE COVENANTS / COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR RESTRICTIVE COVENANTS / COVENANTS ETC.

**CLIENT NOTE**

ALL DIMENSIONS STATED ON THIS DRAWING RELATE TO BRICKWORK SETOUT ONLY. NO ALLOWANCE IS MADE FOR ADDITIONS OF PLASTER OR WALL FINISH WHERE THESE APPLY. CARE SHOULD BE TAKEN TO INCLUDE SUCH ALLOWANCE IN CALCULATION OF CLEARANCE REQUIRED FOR FUTURE FITTINGS

**BRICKLAYER NOTE**

1. ROOF TO BE ANCHORED DOWN WITH 32mm x 0.8mm HOOP IRON STRAPS 18c MIN. AT 1200CTS
2. INSTALL GAS VENT SLEEVE AS NOTED
3. 2 ROWS OF 6mm Ø GALV. RODS IN B'WORK MARKED X-X
4. FULL LENGTH HOOP IRON STRAPS TO ATTACHED PIERS

**FIXING CARPENTER NOTE**

1. 450mm WIDE SHELF & RAIL 1650mm HIGH TO BUILT IN ROBES
2. 450mm WIDE SHELF & RAIL 1800mm HIGH TO W.I.R'S
3. 4 x 450mm WIDE SHELVES TO W.I.LINEN ON PLAN
4. TOWEL RAIL HEIGHT TO BE AS NOTED
5. TOILET ROLL HOLDERS TO BE FIXED 800mm ABOVE FL UNLESS OTHERWISE NOTED

**GENERAL NOTE**

1. STEELWORK SHOWN ARE ESTIMATES. REFER TO SCHEDULER FOR CORRECT LOCATIONS AND REQUIREMENTS
2. NUMBER AND PLACING OF RWP'S IS APPROX. AND GOVERNED BY ROOF STRUCTURE AND AT PLUMBERS DISCRETION

**CEILING FIXER NOTE**

1. CEILINGS TO BUILT IN ROBES TO BE 2100mm HIGH UNLESS OTHERWISE NOTED

**ROOF CARPENTER**

1. CUT REQUIRED FOR STANDARD MANHOLE SIZE: 560mm X 600mm
2. EAVES 480mm WIDE LINED AND BOXED UNLESS OTHERWISE NOTED

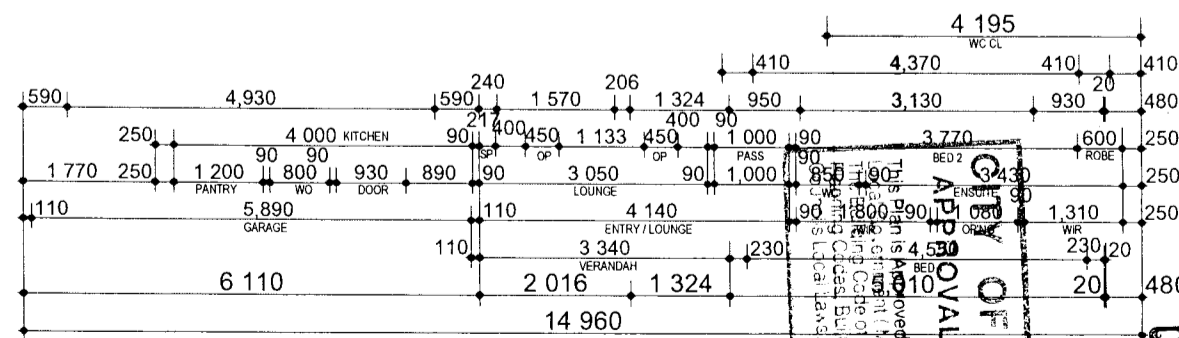
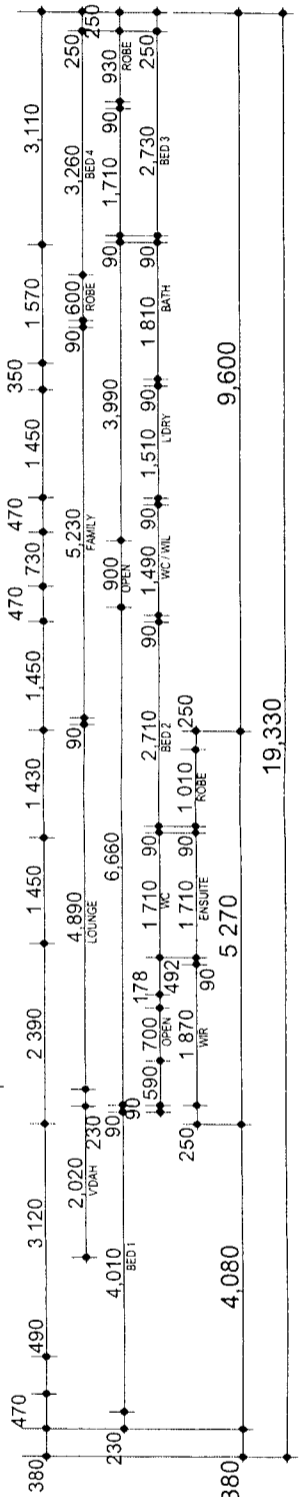
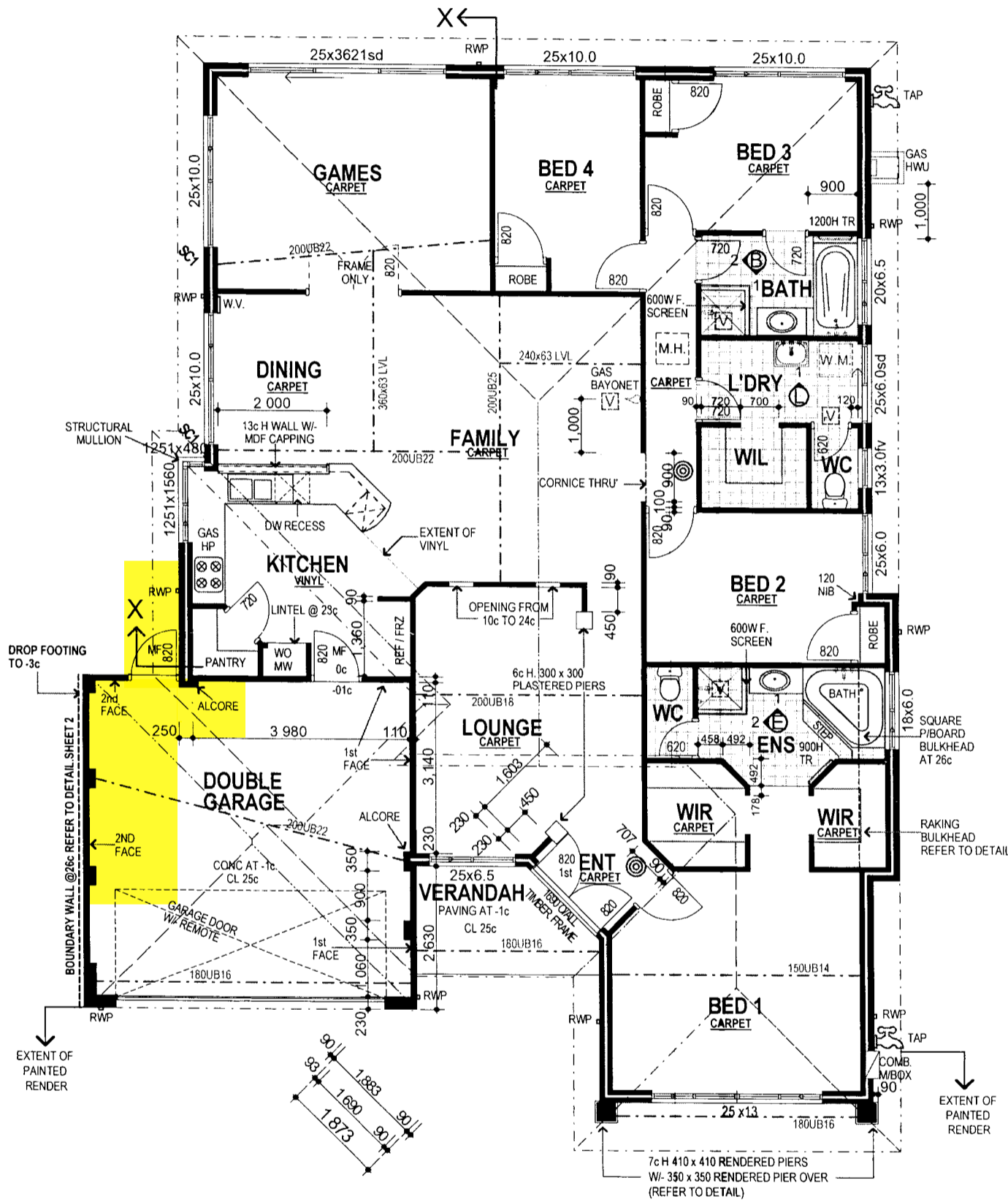
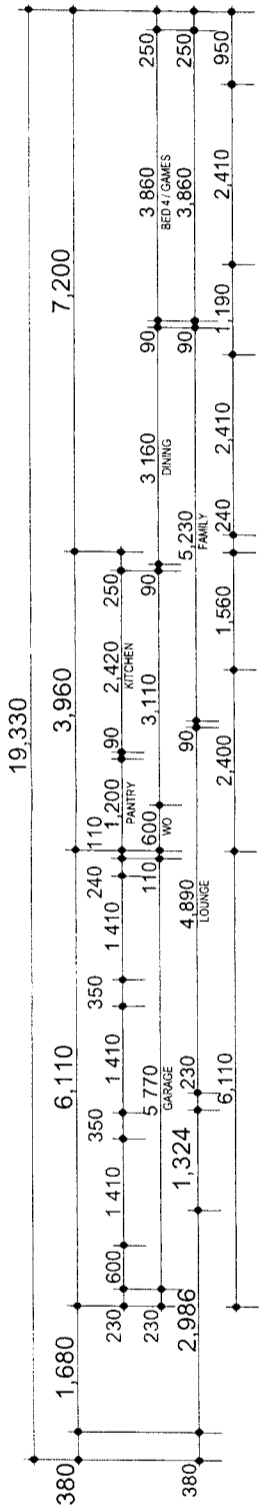
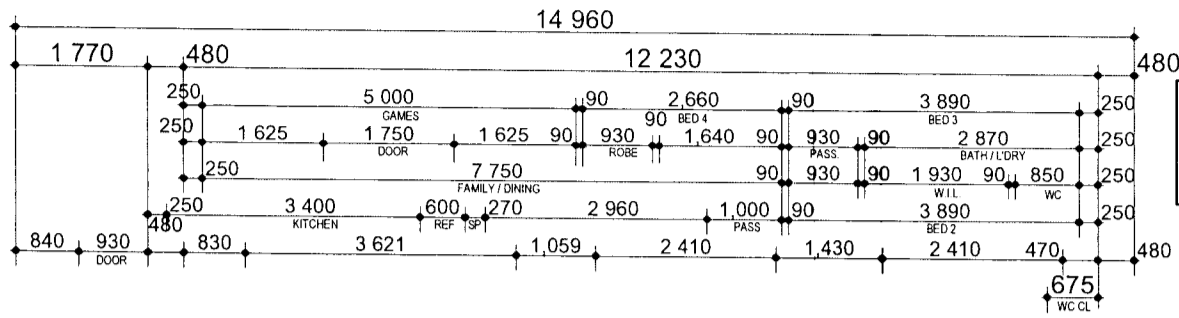
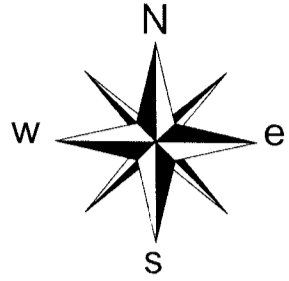
**SUPERVISOR NOTE**

SHEET 1 OF 5 DWGS

THIS PLAN IS TO BE READ IN CONJUNCTION WITH CELEBRATION HOMES STANDARD ADDENDA

**REFER TO ENGINEERS N1 WIND LOADING DETAILS**

- SC1 = 150 x 50 x 3.0 SHS**
- 8 PL BASEPLATE AND 2x M10 ANCHORS
  - 2x10 BOLTS TO RAFTER OR TRIM TO RAFTER IF REQUIRED
  - INSTALL ALCORE TO COLUMN



PLAN

**PRELIMINARY DRAWING**

**AREAS:**

Floor	193.45 sqm (Perim 63.50m)
Garage	60.73 sqm
Verandah	5.73 sqm
<b>Total Bldg</b>	<b>235.66 sqm</b>
Paving	40.82 sqm (Perim 39.62m)

**OFFERING LH STB BRICK**

OWNER: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**celebration HOMES**  
 131 HASLER ROAD, OSBORNE PARK WA 6017  
 PH: 9202 2300 FAX: 9202 2399  
 ACN: 070 961 509 A.B.N. 47 950 269 275

CLIENT: **MR KENNEDY & MS RANDALL**  
 ADDRESS: **LOT 1859 GOODWICK STREET BUTLER**

AMENITIES: \_\_\_\_\_  
 CONTRACT DRAWINGS: \_\_\_\_\_  
 SERVICES: \_\_\_\_\_

05/16/2005

DATE: JAN 2005  
 SCALE: 1:100  
 FILE: 0116 KENNEDY  
 © COPYRIGHT  
 Job: 0116

LAST OPENED: Thu 20 Jan 2005 TIME: 02:42:23 PM