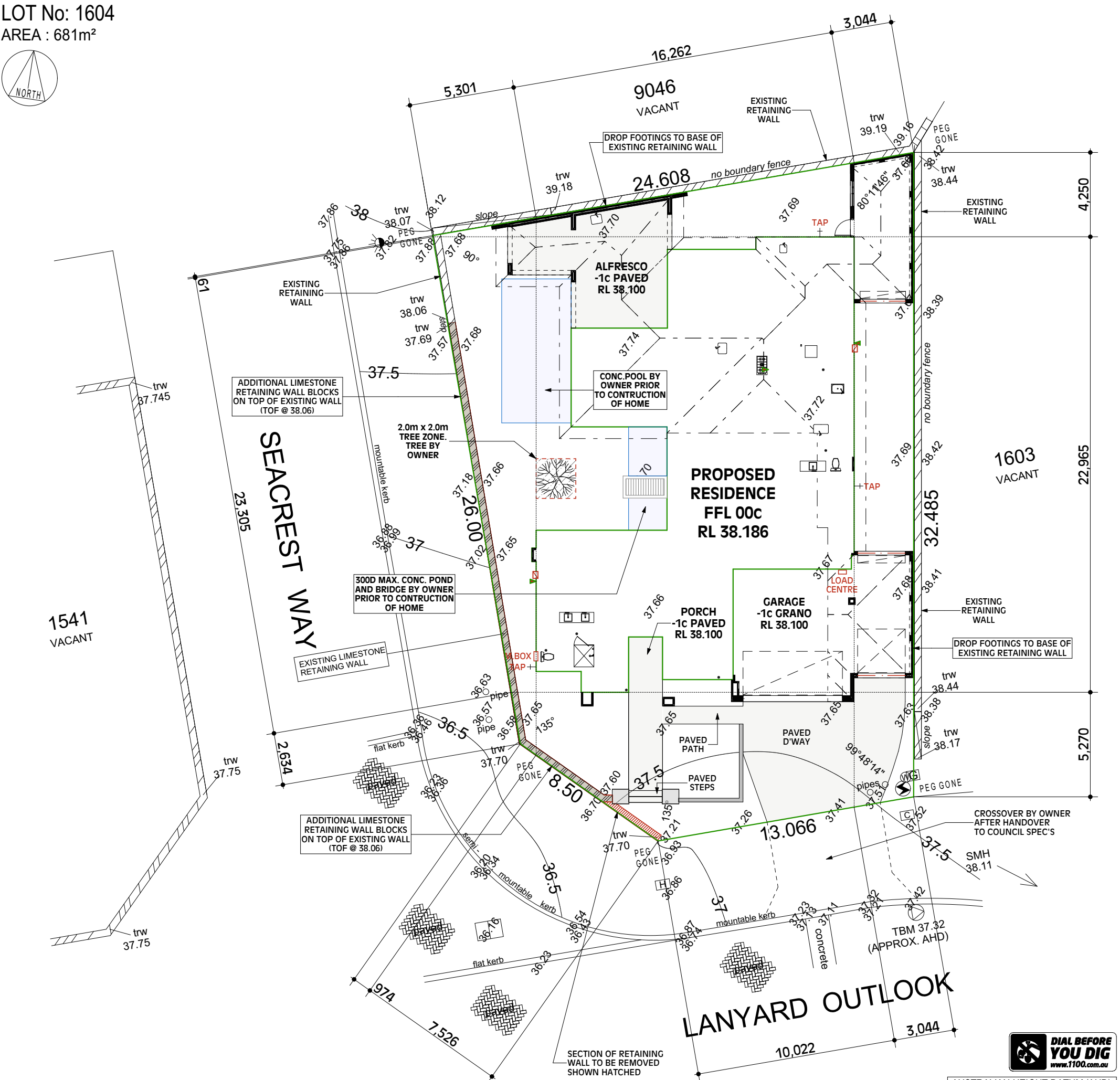


LOT No: 1604  
AREA : 681m<sup>2</sup>



POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

NOTE: ANGLES & DIMENSIONS ARE SUBJECT TO MATERIAL CHANGE UNTIL APPROVED BY W.A.P.C.

AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE AC7377 LID LEVEL.

INTEREST & NOTIFICATIONS OVER LOT. CHECK DEPOSITED PLAN FOR DETAILS.

RESTRICTIVE COVENANT OVER LOT. CHECK CERTIFICATE OF TITLE FOR DETAILS. THIS MAY RESTRICT WHAT CAN BE BUILT ON LOT.

IMPORTANT NOTE:  
Location of boundary pegs & improvements NOT guaranteed unless boundaries are repegged at time of survey. Check title for easements, caveats & covenants. Plumbing contractors to confirm sewer depths before pipe laying. All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E-PLAN.

REF NO: 71323 FILE NO: 72 DATE: 10.08.21 DRAWN: AC

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: YES
PHONE: YES	WATER: YES (RHS)
SEWERAGE: YES (CONTACT WATER CORP FOR LATEST INFO)	
ROAD: HOTMIX / PAVED	
KERB: MOUNTABLE / SEMI MOUNTABLE (good condition)	
FOOTPATH: NIL	
VEGETATION: NIL	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: OCEAN	
REPEG: REQUIRED	REPEG TYPE: NEW SURVEY AREA

**R. G. LESTER & ASSOCIATES**  
LICENSED LAND & ENGINEERING SURVEYORS  
NORTH BEACH PLAZA  
SHOP 7 / 1 NORTH BEACH ROAD  
NORTH BEACH WA 6020  
PH: 9448 5009 FX: 9203 6722  
admin@lestersurveys.com.au

**TITLE DETAILS**  
LOT NOs: 1604 C/T VOL:  
Deposited Plan: 421472 FOL:

<input checked="" type="checkbox"/> NBN PIT	<input checked="" type="checkbox"/> TREE	<input checked="" type="checkbox"/> GAS
<input checked="" type="checkbox"/> TELECOM PIT	<input checked="" type="checkbox"/> PALM TREE	<input checked="" type="checkbox"/> HYDRANT
<input checked="" type="checkbox"/> COMMUNICATION PIT	<input checked="" type="checkbox"/> TREE STUMP	<input checked="" type="checkbox"/> STOP VALVE
<input checked="" type="checkbox"/> POWER DOME	<input checked="" type="checkbox"/> STREET LAMP	<input checked="" type="checkbox"/> PRE-LAID WATER PIPE
<input checked="" type="checkbox"/> POWER POLE	<input checked="" type="checkbox"/> GRATED DRAIN	<input checked="" type="checkbox"/> WATER METER
<input checked="" type="checkbox"/> FENCE END	<input checked="" type="checkbox"/> SIDE ENTRY PIT	<input checked="" type="checkbox"/> IRRIGATION
<input checked="" type="checkbox"/> PILLAR	<input checked="" type="checkbox"/> DRAINAGE MANHOLE	<input checked="" type="checkbox"/> SEWERAGE MANHOLE
<input checked="" type="checkbox"/> TOP OF RETAINING WALL	<input checked="" type="checkbox"/> SEWERAGE INSPECTION LID	

**NOTES**  
Block located about 405m from the ocean.  
This lot is within a designated BUSHFIRE PRONE AREA.

SIGNED CLIENT / S	WITNESS
SIGNED BUILDER	WITNESS
DATE	

BUILDER: **BEAUMONDE HOMES**

CLIENT / S:

SITE ADDRESS:  
**LOT 1604 LANYARD OUTLOOK, JINDALEE**

Local Authority : CITY OF WANNEROO	SHEET No : 1 of 1
VARIATIONS (all sheets)	JOB No: -
DWN.	
DATE	
CHK.	

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

CONSTRUCTION NOTES  
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6. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense.

**BEAUMONDE HOMES**  
BUILT ON REPUTATION SINCE 1986  
A DIVISION OF AINTREE HOLDINGS PTY LTD REG No: 7082  
SUITE 1, 30 HASLER ROAD,  
OSBORNE PARK, WA. 6017  
TEL: (08) 9446 3388 FAX: (08) 9446 3348  
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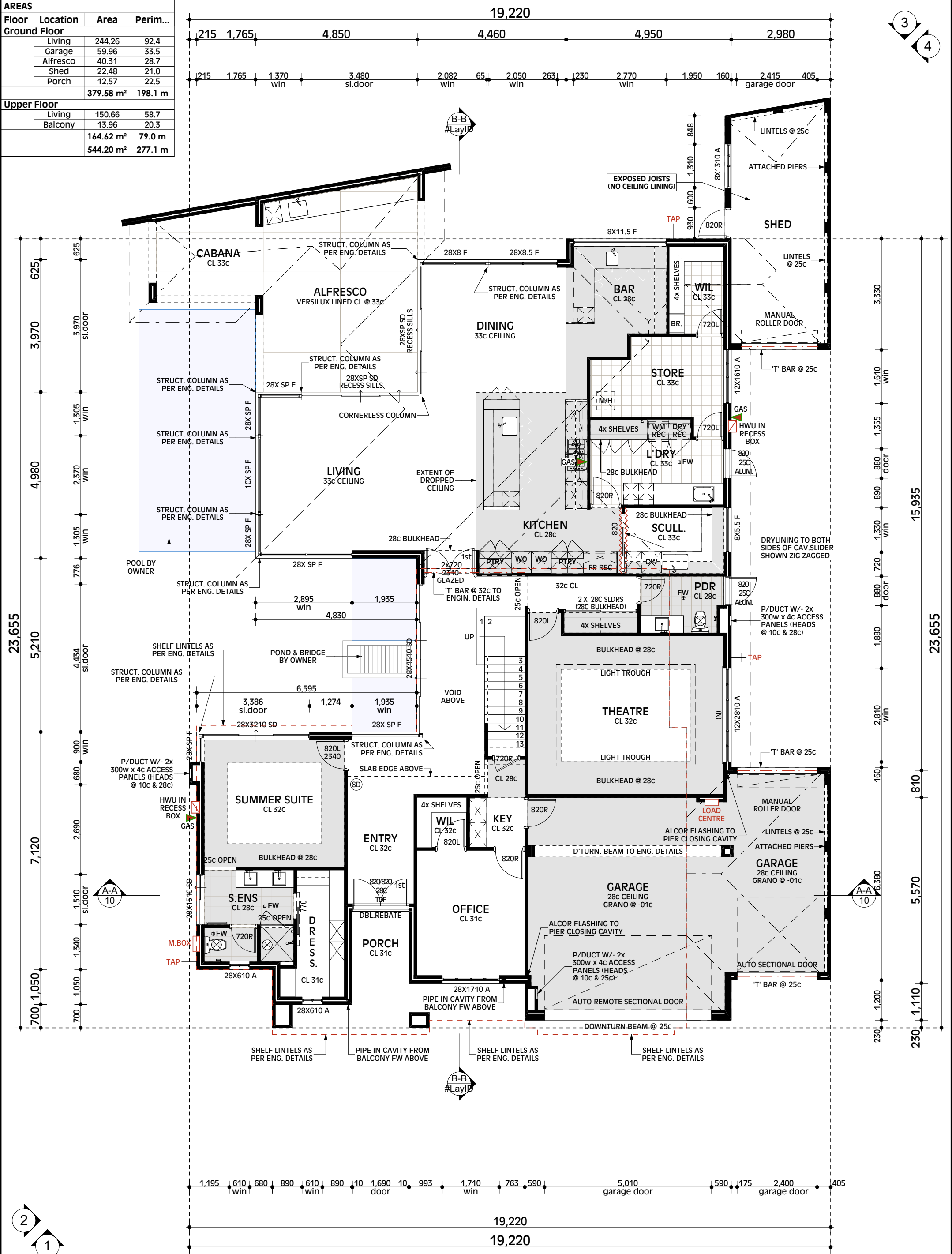
HOUSE MODEL: Lake Lugano (Display spec.)  
CLIENT: Terranova & Waterman  
SCALE: 1:200  
DATE: 27/08/2021  
Drawn: JR

DRAWING: Site Plan  
ADDRESS: Lot 1604 Lanyard Outlook, JINDALEE  
Page: 1 of 18  
Job No: 4257  
Size: A3

FINAL PLANS DATE: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
BUILDER: \_\_\_\_\_



AREAS			
Floor	Location	Area	Perim...
Ground Floor			
	Living	244.26	92.4
	Garage	59.96	33.5
	Alfresco	40.31	28.7
	Shed	22.48	21.0
	Porch	12.57	22.5
		379.58 m²	198.1 m
Upper Floor			
	Living	150.66	58.7
	Balcony	13.96	20.3
		164.62 m²	79.0 m
		544.20 m²	277.1 m



REV	Int.	Description	Date	CONSTRUCTION NOTES	HOUSE MODEL:	DRAWING:	FINAL PLANS DATE:
X	XX	XXXX	XX.XX.XXXX	1. These plans are sole property of Beaumonde Homes and may not be reproduced or modified in whole or in part without written permission. 2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the supervisors attention. 3. Do not scale from drawings. 4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for. 5. The Builder reserves the right to alter dimensions on site to suit construction, engineering, or site conditions. 6. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense.	Lake Lugano (Display spec.)	Ground Floor	.....
					CLIENT: Terranova & Waterman	ADDRESS: Lot 1604 Lanyard Outlook, JINDALEE	OWNER: ..... WITNESS:.....
					SCALE: 1:1, 1:100	Page: 3 of 18	OWNER: ..... WITNESS:.....
					DATE: 27/08/2021	Job No: 4257	OWNER: ..... WITNESS:.....
					Drawn: JR	Size: A3	BUILDER: .....

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

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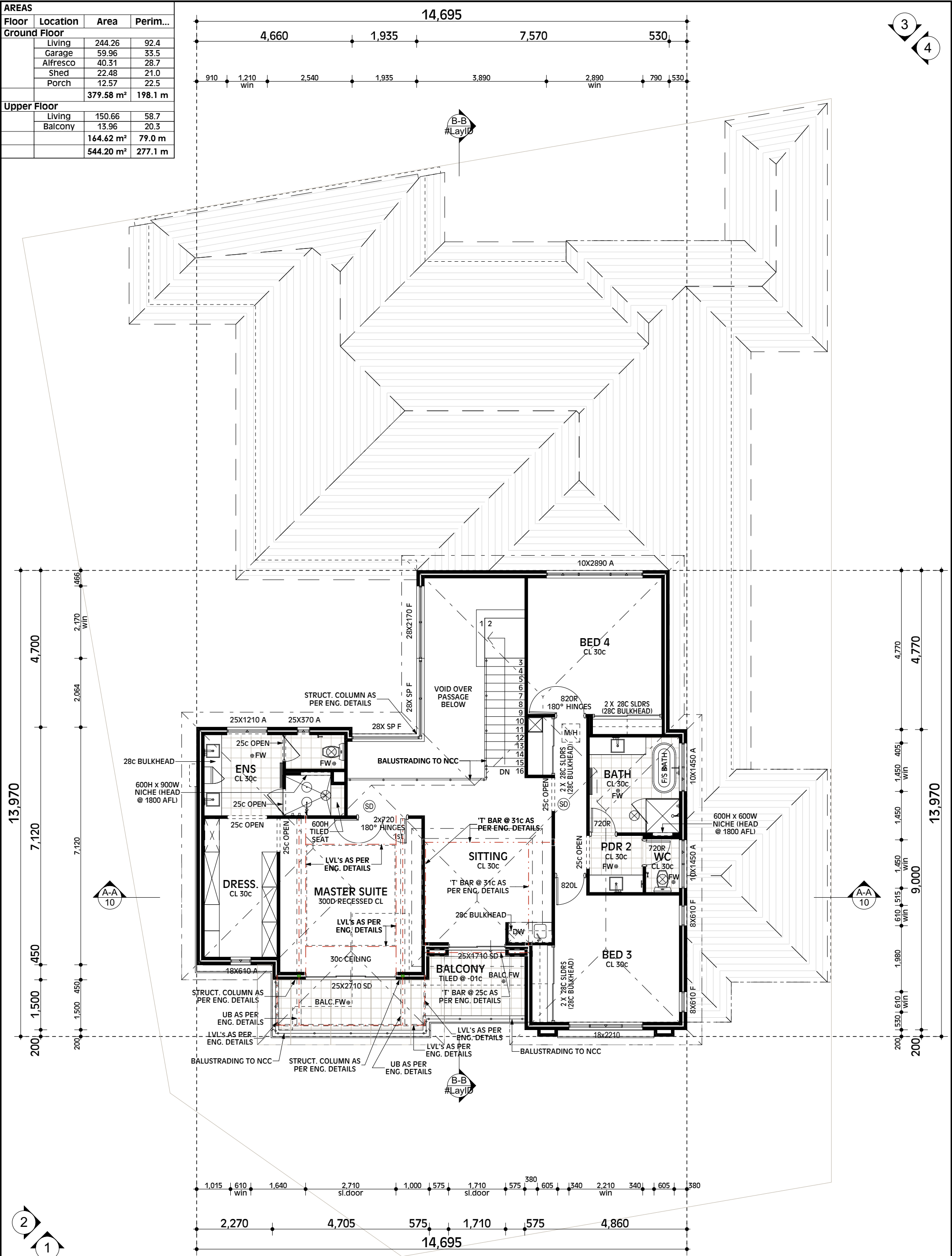
HOUSE MODEL:  
**Lake Lugano (Display spec.)**  
CLIENT:  
**Terranova & Waterman**  
SCALE: 1:1, 1:100  
DATE: 27/08/2021

DRAWING:  
**Ground Floor**  
ADDRESS:  
**Lot 1604 Lanyard Outlook, JINDALEE**  
Page: 3 of 18  
Job No: 4257  
Size: A3

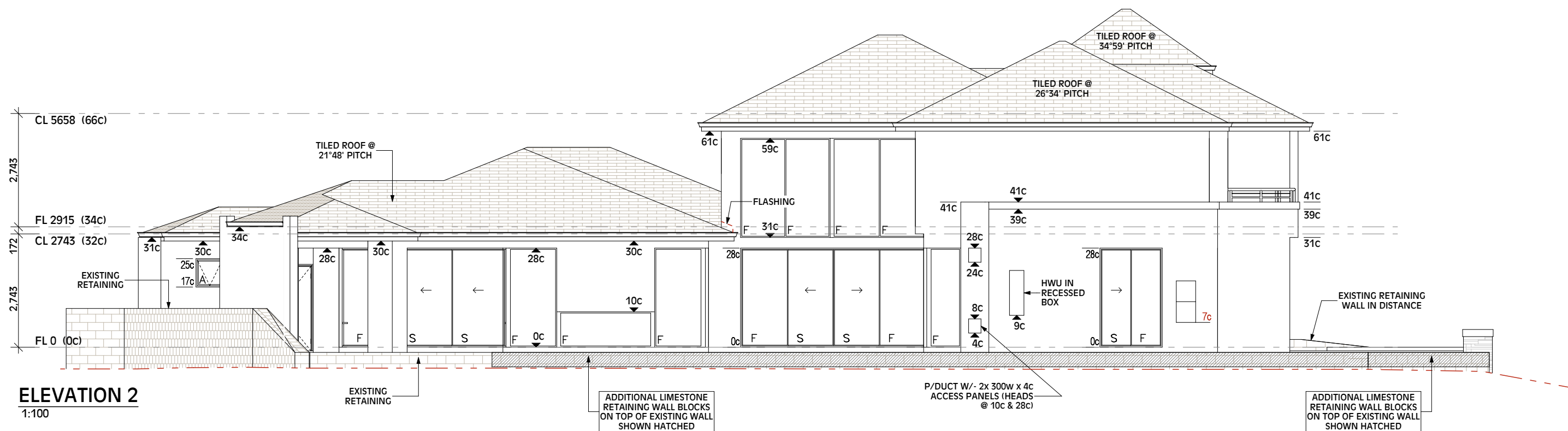
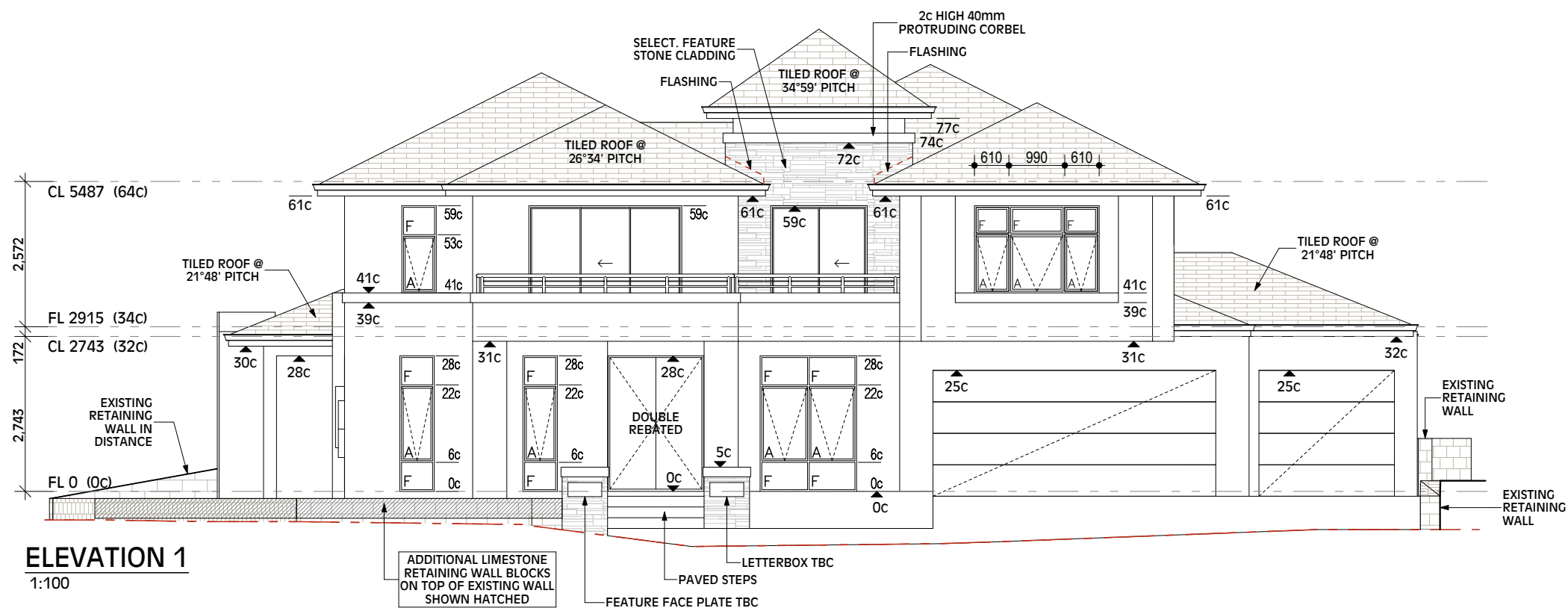
FINAL PLANS DATE: .....  
OWNER: ..... WITNESS:.....  
OWNER: ..... WITNESS:.....  
BUILDER: .....



AREAS			
Floor	Location	Area	Perim...
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	Alfresco	40.31	28.7
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REV	Int.	Description	Date	<div>CONSTRUCTION NOTES</div> <div>1. These plans are sole property of Beaumonde Homes and may not be reproduced or modified in whole or in part without written permission.</div> <div>2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the supervisors attention.</div> <div>3. Do not scale from drawings.</div> <div>4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.</div> <div>5. The Builder reserves the right to alter dimensions on site to suit construction, engineering, or site conditions.</div> <div>6. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense.</div>	HOUSE MODEL:		DRAWING:		FINAL PLANS DATE: .....	
X	XX	XXXX	XX.XX.XXXX		Lake Lugano (Display spec.)		Upper Floor		OWNER: ..... WITNESS:.....	
<div>PRELIMINARY PLANS</div> <div>NOT FOR CONSTRUCTION</div>					CLIENT:		ADDRESS:		OWNER: ..... WITNESS:.....	
				Terranova & Waterman		Lot 1604 Lanyard Outlook, JINDALEE				
				SCALE: 1:100, 1:1		Drawn:	Page:	Job No:	Size:	BUILDER: .....
				DATE:		JR	4 of 18	4257	A3	
				27/08/2021						



REV	Int.	Description	Date
X	XX	XXXX	XX.XX.XXXX

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

**CONSTRUCTION NOTES**

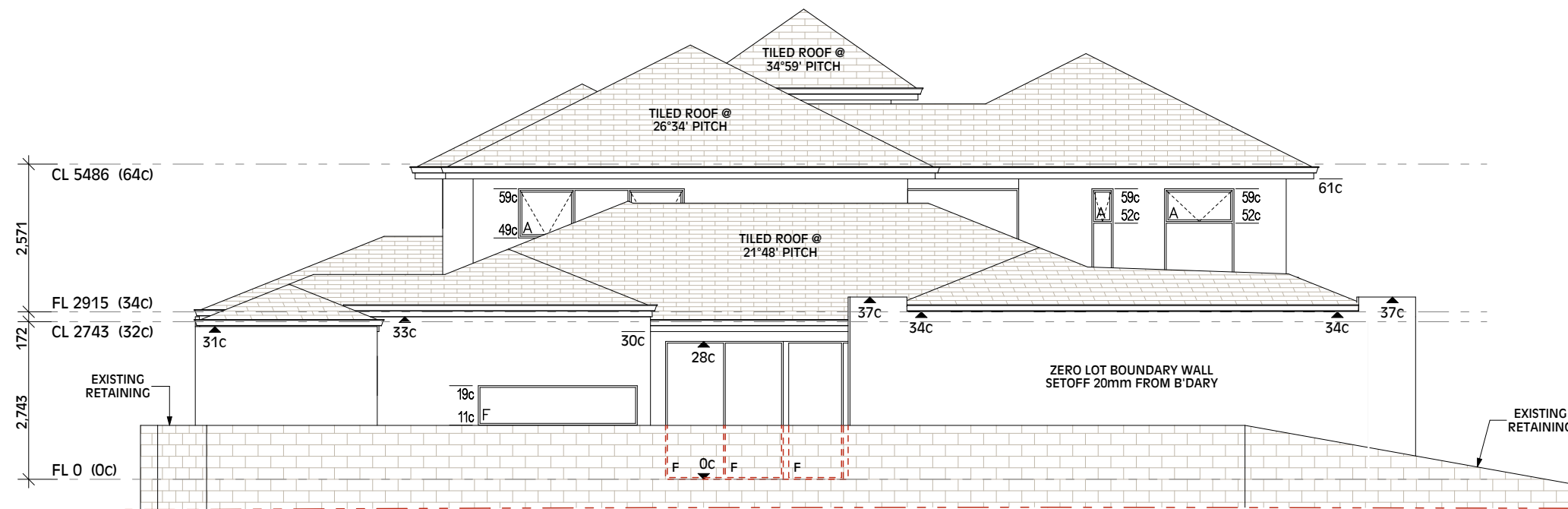
- These plans are sole property of Beaumonde Homes and may not be reproduced or modified in whole or in part without written permission.
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BUILT ON REPUTATION SINCE 1986  
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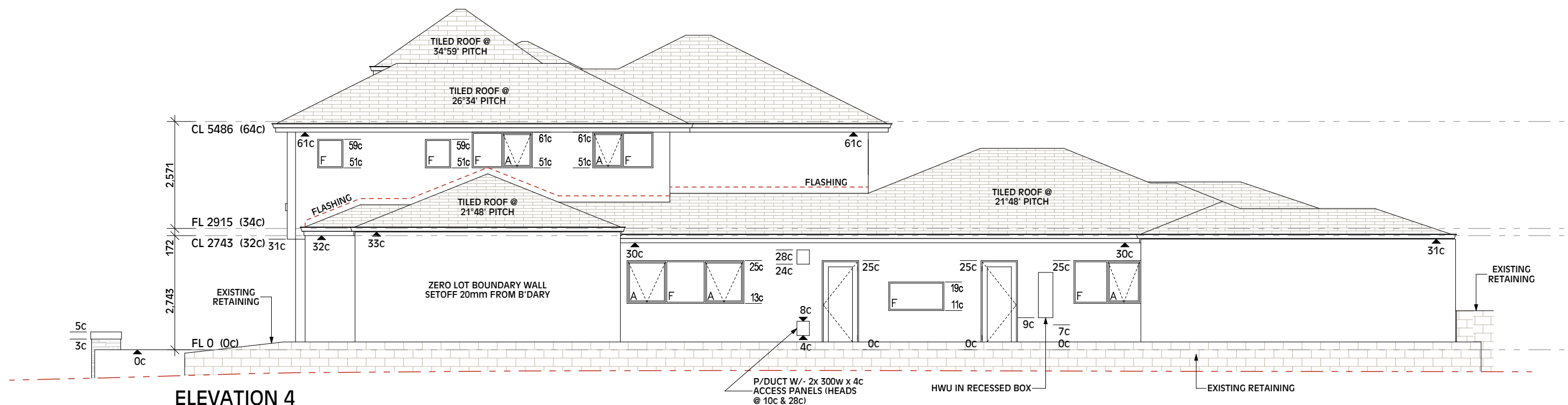
HOUSE MODEL: Lake Lugano (Display spec.)  
CLIENT: Terranova & Waterman  
SCALE: 1:100  
DATE: 27/08/2021

DRAWING: Elevations  
ADDRESS: Lot 1604 Lanyard Outlook, JINDALEE  
Page: 5 of 18  
Job No: 4257  
Size: A3

FINAL PLANS DATE: .....  
OWNER: ..... WITNESS: .....  
OWNER: ..... WITNESS: .....  
BUILDER: .....



**ELEVATION 3**  
1:100



**ELEVATION 4**  
1:100

REV	Int.	Description	Date
X	XX	XXXX	XX.XX.XXXX

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HOUSE MODEL:  
**Lake Lugano (Display spec.)**  
 CLIENT:  
**Terranova & Waterman**  
 SCALE: 1:100  
 DATE: 27/08/2021

DRAWING:  
**Elevations 2**  
 ADDRESS:  
**Lot 1604 Lanyard Outlook, JINDALEE**  
 Page: 6 of 18  
 Job No: 4257  
 Size: A3

FINAL PLANS DATE: .....  
 OWNER: ..... WITNESS: .....  
 OWNER: ..... WITNESS: .....  
 BUILDER: .....