

Panda ELC

Address: Lot 2035 (#7) Cushing Road, Alkimos

Childcare Centre

Job Number: 21087

Drawing No	Description
PD01	Cover Sheet
PD02	Existing Site Survey & Site Plan
PD03	Access Easement & Landscaping Plan
PD04	Floor Plan
PD05	Elevations



GERMANO DESIGNS

Unit: 3/1 Mulgool Road, Malaga W.A 6090

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LEGEND	
	Gas Main
	Water Main
	Sewer Main
	Gully
	Stop Valve
	Sewer Manhole
	Light Pole
	Power Dome
	Telstra/NBN Pit
	Peg/Boundary Mark

IBM deck spike in bitumen equals RL 35.62 AHD
Contractor to check datum before adopting levels

Survey Date: 16 September 2021 Scale 1:200@A3
Client: Rajai Wahhab
Feature Survey by THE LAND DIVISION
PO Box 2444, Malaga, WA 6090
phone: 08 9209 3232
www.landdivision.com.au

Rev	Date	Description	Surv	Drawn
0	17/09/2021	Feature Survey Drafted	TF	TF

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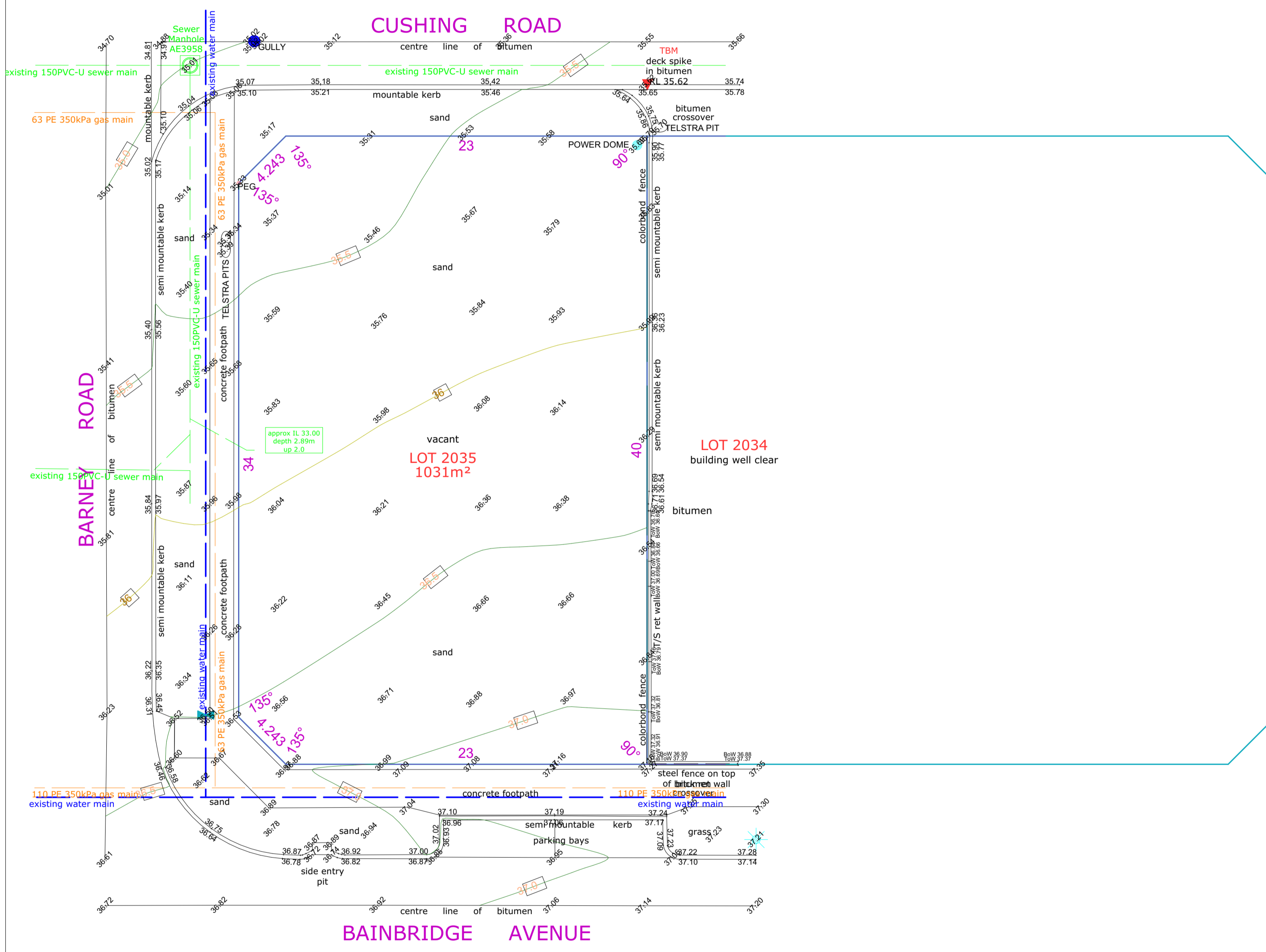
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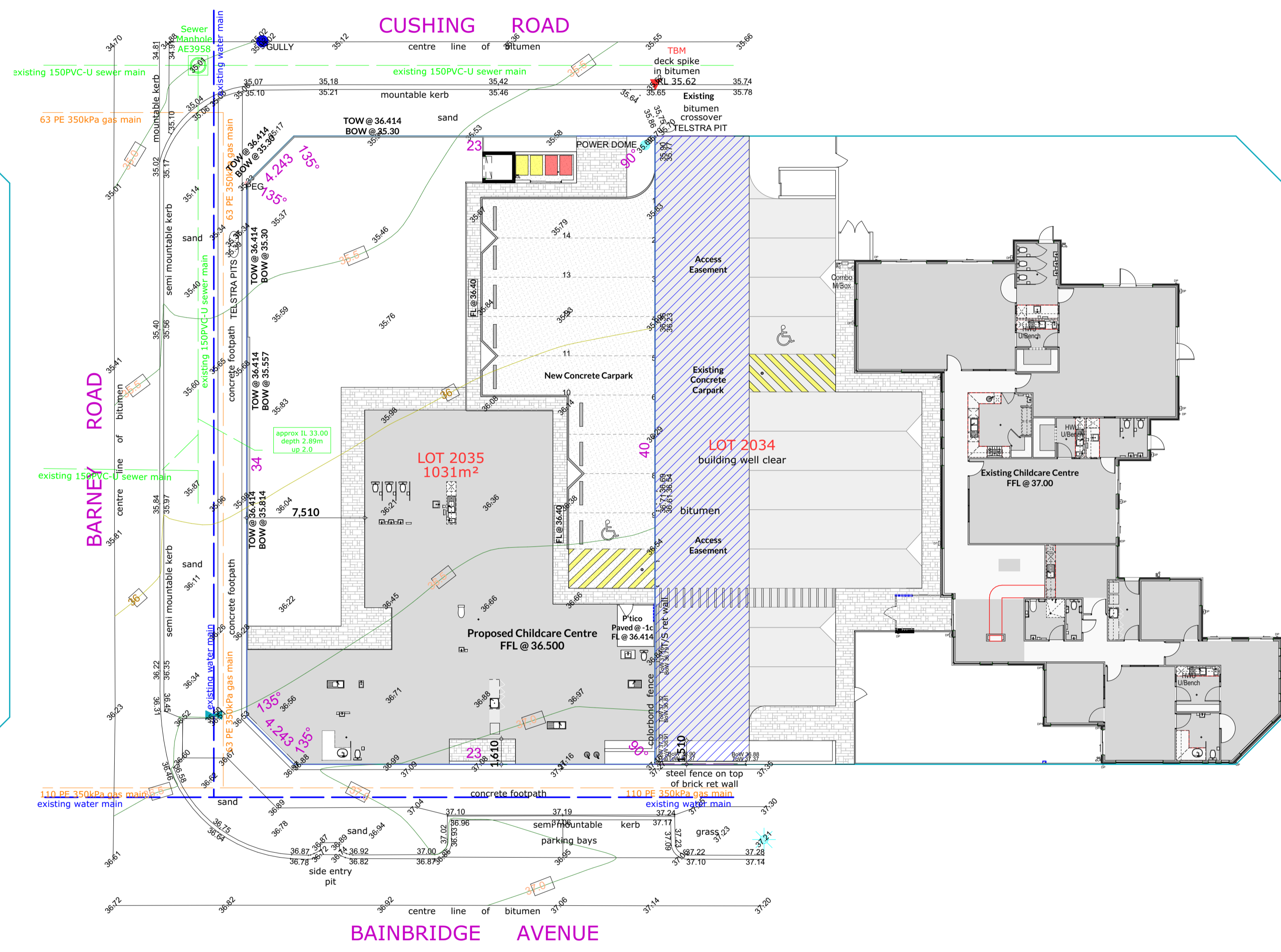
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NOTES: 1) CONSULT LEGAL ADVICE ON EASEMENTS, ENCUMBRANCES AND CAVEATS THAT MAY APPEAR ON THE CERTIFICATE OF TITLE. 2) LEVELS ON ADJOINING PROPERTIES ARE APPROXIMATE DUE TO ACCESS RESTRICTIONS. 3) SERVICES PLOTTED AS VISUALLY SEEN ON SITE AND ARE APPROXIMATE. 4) SEWER POSITION AND LEVELS FROM WATER CORPORATION PLANS. 5) CONSULT DIAL BEFORE YOU DIG TO CHECK LOCATION OF UNDERGROUND SERVICES. 6) BEWARE OF OVERHEAD POWER LINE HAZARDS. 7) CONSULT TLD ON ANY ANOMALY BEFORE DESIGN AND CONSTRUCTION. 8) POSITION AND DEPTH OF SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR. 9) FEATURES ARE RELATED TO FENCE-LINES ONLY. NO CONNECTION MADE TO BOUNDARIES. REPEG RECOMMENDED.

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Existing Site Survey
1:200



Site Plan
1:200

Client: Panda ELC
Project Name: Childcare Centre
Project Address: Lot 2035 (#7) Cushing Road, Alkimos

Drawing Title: Existing Site Survey & Site Plan
Scale: as noted
Project No: 21087

Issue: Development Approval
Rev: 007
Revision Number: 007
Date: 29/11/2021

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Child / Room Calculations

Room	Age (Yrs)	Quant.	Size	Staff Req
Activity 1	0-2	8	26.04m ²	2
Activity 2	0-2	8	26.43m ²	2
Activity 3	3-5	15	45.25m ²	2
Activity 4	3-5	20	58.51m ²	2
Nutritional			10.57m ²	
Total Internal = (Min 3.25m ² per child)		51	166.80m² (Min 165.75m ² req)	8
Total External Play Area = (Min 7m ² per child)		51	357.11m² (Min 357.00m ² req)	

Parking Calculations
as per Wanneroo Local Planning Policy 2.3: Child Care Centres

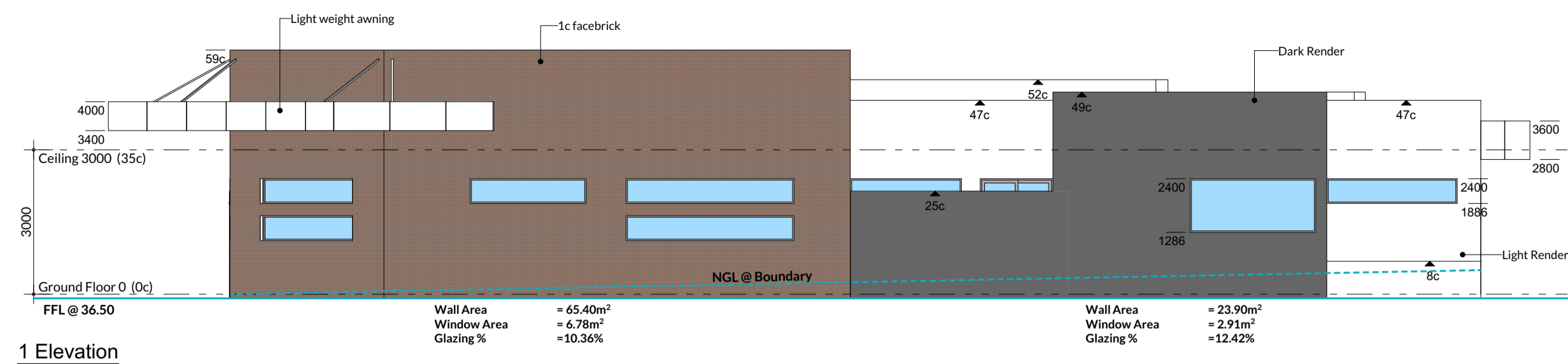
Requirement	Quant	Bays Req'd	Bays Provided
1 space per staff	8	8	8
Type 2 parking	7	7	6

Zone	Area	Perim
Bin Store	7.76	11.78
Child Care Centre	363.50	101.89
Portico	6.75	10.50
Store	4.16	8.16
Total	382.17 m²	132.33 m

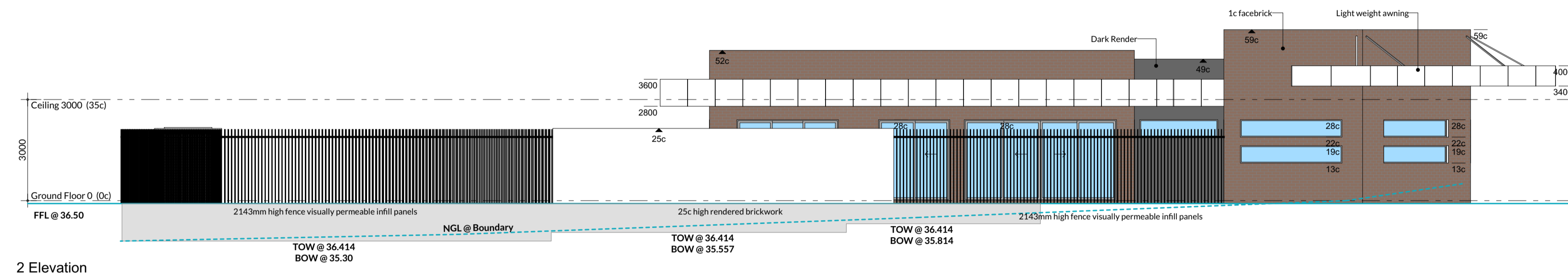


Child Care Centre
1:100

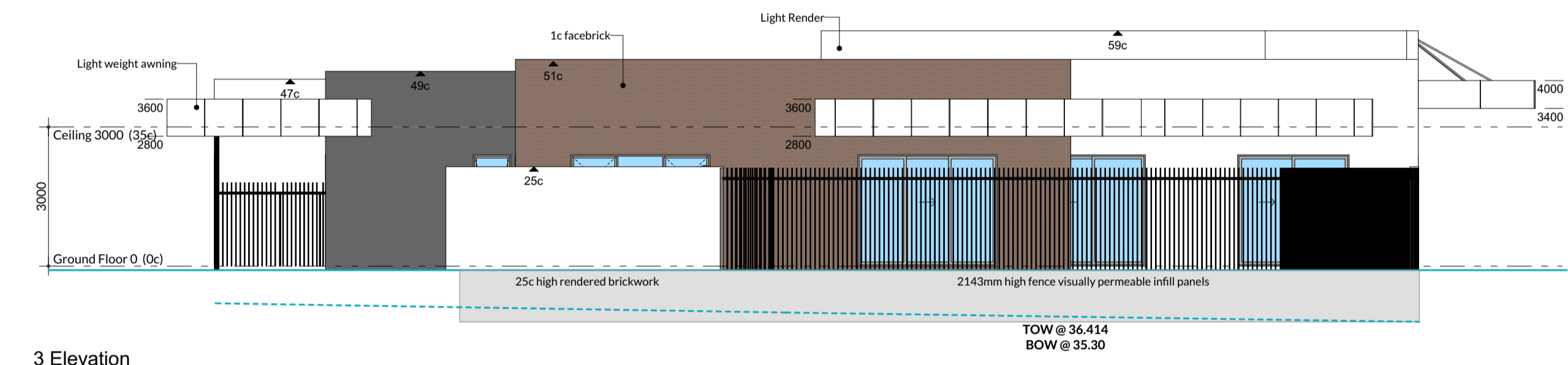
Client Panda ELC	Drawing Title Floor Plan	Issue Development Approval	
Project Name Childcare Centre	Scale: as noted Sheet Size: A1	Rev: Description: Drawn: CD	
Project Address Lot 2035 (#7) Cushing Road, Alkimos	Project No: 21087 PD04 of 05	Revision Number: 007 Date: 29/11/2021	
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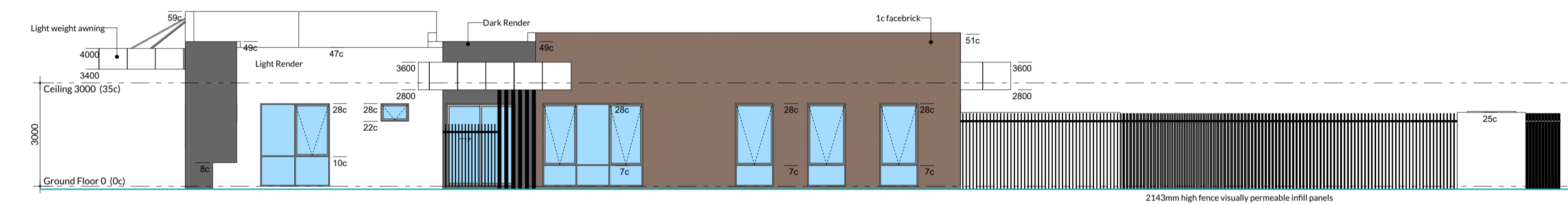
1 Elevation
1:100



2 Elevation
1:100



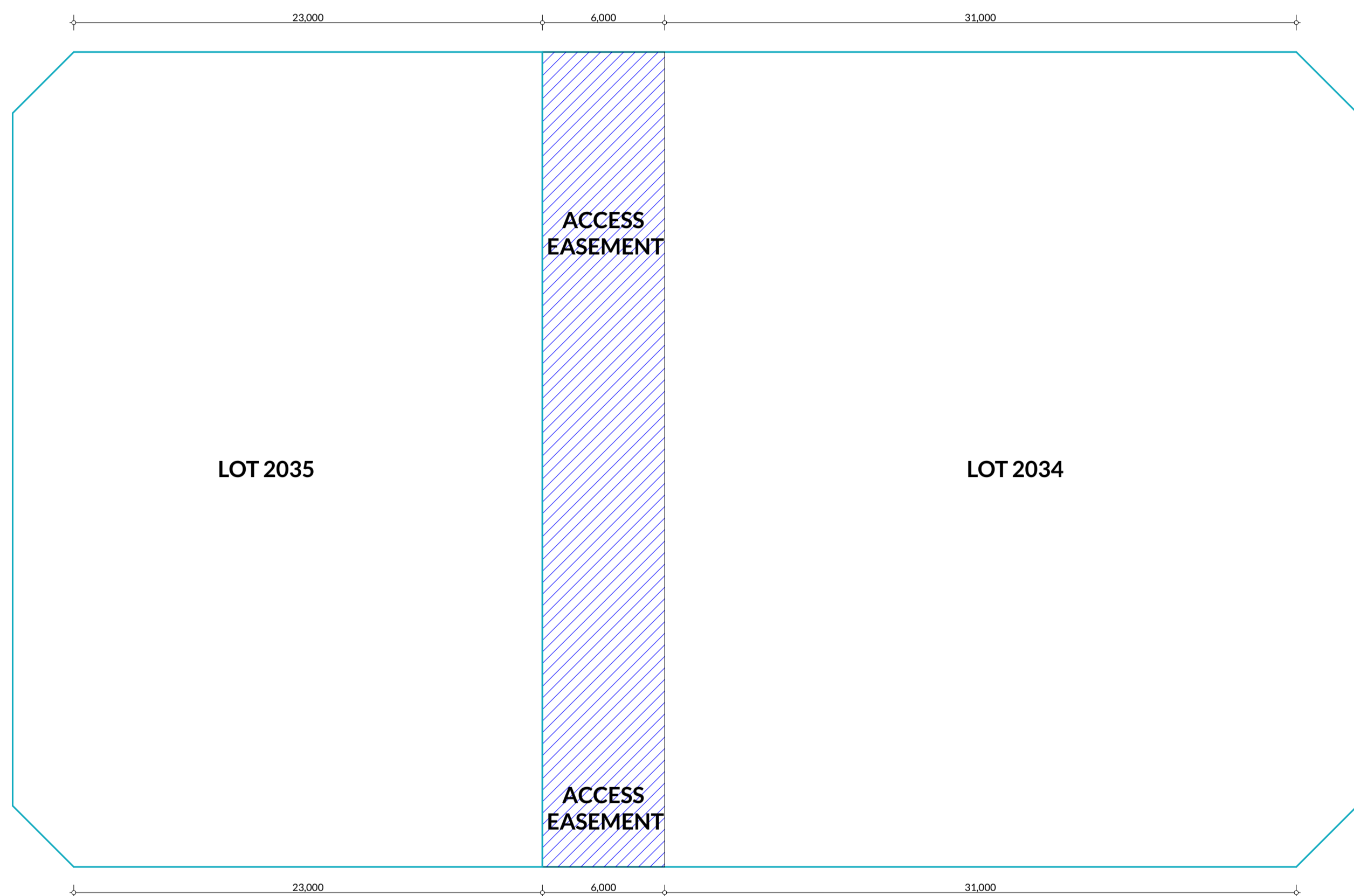
3 Elevation
1:100



4 Elevation
1:100

Client Panda ELC Project Name Childcare Centre Project Address Lot 2035 (#7) Cushing Road, Alkimos	Drawing Title: Elevations		Issue: Development Approval		
	Scale: as noted	Sheet Size: A1	Rev:	Description:	
	Project No: 21087	Drawing No.: PD05 of 05	007	Planning Drawings	CD
			Revision Number: 007	Date: 29/11/2021	Unit: 3/1 Mulgool Road, Malaga WA 6090 (08) 9248 8392 www.germanodesigns.com.au

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Access Easement
1:200

LANDSCAPING PLANT LEGEND			
Symbol	Description	Size of Plant	Amount
●	Conyline Red Fountain Cabbage Tree	1m High 1m Wide 17cm Pot	4
●	Rhaphidole Shoe Maiden	75cm - 1m High 75cm - 1m Wide 14cm Pot	14
●	Asplen Silver Spear	1.5m High 1m Wide 14cm Pot	17
●	Mosses in Grates	40cm High 30 - 40cm Wide 14cm Pot	6
●	Lagerstromia Indica "Crispe Myrtle"	Up to 7m high	6
	Grassed Area	N/A	309.16m ²
	Mulched Area	N/A	18.15m ²

Landscaping Costs
Site Area = 1,031.02m²
Grassed Area + Mulched Area (in situ) = 327.31m²
Total Landscaped Area % = 31.74%

Landscaping Plan
1:200

