

**R-CODES NOTE:**

**ZONING: R20**  
**SITE COVERAGE**  
 SITE: 809m<sup>2</sup>  
 ALLOWED COVER: 404.5m<sup>2</sup> (50%)  
 ACTUAL COVER: 265.7m<sup>2</sup> (32.8%)  
**R-CODES VARIATION/PLANNING REQUIRED: YES**  
 - RETAINING WALL HEIGHT MORE THAN 500mm

**BAL ASSESSMENT : 12.5**

**GAS NOTE:**

- GAS REGULATOR, CONC. SLABS & HOOD BY BUILDER.  
 - GAS BOTTLES BY OWNER

**AVERAGING**

22.38m<sup>2</sup> BEHIND  
 20.34m<sup>2</sup> IN FRONT

**GARAGE NOTE:**

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

**PLUMBING NOTE:**

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE  
 - NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.  
 - PLUMBER TO INSTALL REFLUX VALVE, IF REQUIRED.

**NOTE:**

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

**STORMWATER:**

- INTERCONNECTED SOAKWELLS BY BUILDER.  
 ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE W/ NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.

Soak Well Type	No.	Capacity
SW 1500x1500	2	5.3 m <sup>3</sup>
Total Capacity		5.3 m <sup>3</sup>
Roof Area GF		322.4 m <sup>2</sup>
Total Area		322.4 m <sup>2</sup>
Capacity Required (Area x 0.0130)		4.2 m <sup>3</sup>
Extra Capacity Provided		1.1 m <sup>3</sup>

**SEPTIC SYSTEM NOTE:**

- ATU SEPTIC SYSTEM TO BE INSTALLED BY BUILDER, TO SHIRE REQUIREMENTS. SEPARATE BUILDING APPLICATION.

**SEPTIC IMPORTANT NOTE:**

- ATU UNIT NOT TO BE INSTALLED PRIOR TO THE INSTALLATION OF THE HOUSE DRAINS. THE LEVELS OF THE ATU WILL BE DETERMINED BY THE LEVELS OF THE HOUSE DRAINS / RUNS TO ALLOW ADEQUATE FALL FROM THE HOUSE.

**DO NOT SCALE FROM THIS DRAWING**  
 All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.  
**ALL DIMENSIONS TO BRICKWORK.**

**LEGEND**

⊕	SEC Dome
⊖	Power Pole
⊗	Phone Pits
⊞	Water Conn.
[ TP 10.00 ]	Top Pillar/Post
[ TW 10.00 ]	Top Wall
[ TR 10.00 ]	Top Retaining
[ TF 10.00 ]	Top Fence

**CLIENT NOTE:**

EXISTING TREES TO BE LOPPED/ REMOVED BY CLIENT TO WITHIN 2m OF THE BUILDING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

**BEWARE:**

Advise trades overhead power lines.

**RETAINING CONTRACTOR NOTE:**

- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.  
 - ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQUIRED BY ENGINEERING DETAIL.  
 - REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.  
 - REFER TO ENGINEERS DETAILS  
 - RETAINING BY CLIENT PRIOR TO CONSTRUCTION

**DISCLAIMER:**

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

**DISCLAIMER:**

Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

**NOTE:**

Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

**DISCLAIMER:**

Survey does not include verification of cadastral boundaries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based on dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

POSSIBLE FUTURE POOL BY OWNER. DEPTH TO BE CONFIRMED AT PRESTART. NO SERVICES TO BE LAID IN THIS AREA. REFER POOL NOTES ON THIS PAGE

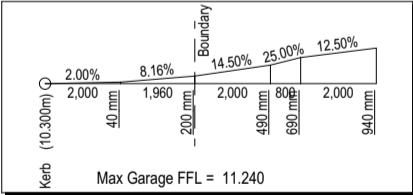
PRE-CAST PANEL & POST RETAINING WALL REQ'D (REFER TO NOTE THIS SHEET)

REGULATOR, HOOD & SLABS BY BUILDER. GAS BOTTLES SUPPLIED BY CLIENT.

NEW WATER METER LOCATION SUBJECT TO APPROVAL

NEW POWER DOME SUBJECT TO WESTERN POWER APPROVAL

**DRIVEWAY GRADIENT:**



**COTTAGE & ENGINEERING SURVEYS**  
 Licensed Surveyors  
 87-89 Guthrie Street, Osborne Park, Western Australia.  
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998.  
 Email: perth@cottage.com.au Website: www.cottage.com.au

AREA:	809m <sup>2</sup>
DIRE:	WANNEROO
D.PLAN:	7667
C/T VOLUMN:	40
FOLIO:	369A
MSD REF:	-

ROAD DESCR:	BITUMEN
KERBING:	MOUNT
FOOTPATH:	NIL
SOIL:	SAND
DRAINAGE:	GOOD
VEGETATION:	HIGH GRASS COVER

GAS:	NO	SSA/OLD AREAS:	OLD A.
WATER:	YES	C/JOB#:	514306
ELECTRICITY:	O/H	DATE:	22 NOV 21
PH/COMMS:	NO	SCALE:	1:200
SEWER:	NO	DRAWN:	T. DO
COASTAL:	400m TO OCEAN		

UNLOGGED SS PLAN:	N/A
ORIGINAL LOT:	N/A
LOT MISCLOSE:	0.000
SSL 1 MISCLOSE:-	
SSL 2 MISCLOSE:-	

PROPOSED RESIDENCE FOR:  
**M. & S. WHITLEY**

ADDRESS:  
**LOT 80 (#41) WILKIE AVENUE  
 YANCHEP**

DRAWN:	RZA	SCALE:	1:200
DESIGNED:	AZA	SHEET:	8 OF 8
CHECKED:	PMI	SIZE:	A3
DATE:	31-01-22	SUM	
MODEL:	LOSARI VENTI	JOB N°	163140

Issue Name	Drawn	Date	Issue Name	Drawn	Date

**SUMMIT HOMES GROUP**  
 BUILD | RENOVATE | DEVELOP

SITE CLASSIFICATION - CLASS 'A'  
(REFER TO SITE REPORT FOR  
DETAILS) WIND LOAD - N2  
CORROSION CLASSIFICATION - R4

**BRICK NOTE**

- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

BUSHFIRE ATTACK LEVEL - 12.5

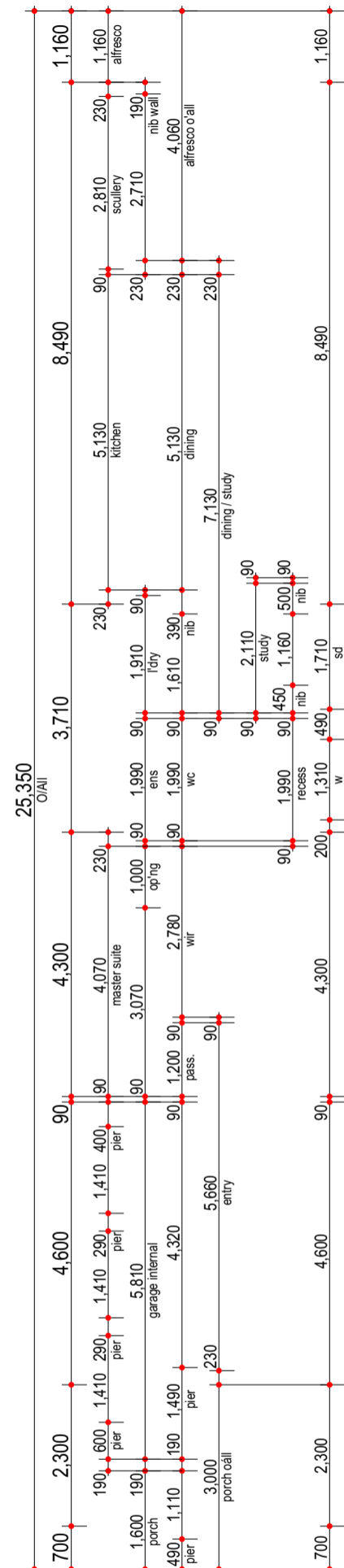
CONSTRUCTION TO COMPLY FULLY  
W/ NASH STANDARDS

**ROOF NOTE**

- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO  
- STEEL ROOF FRAME TO NASH STANDARDS  
- CEILINGS AT 30c+ PLATE UNLESS NOTED OTHERWISE

**ROOF INSULATION NOTE**

- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY  
EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.  
- R4.0 CEILING INSULATION TO RAKING CEILINGS



**ROOF PLUMBER NOTE**

- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)  
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE  
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION  
TO STORMWATER SYSTEM (NO KICK)

**ELECTRICAL NOTE**

- INTERCONNECTED SMOKE DETECTORS TO COMPLY  
WITH AS3786-2014 AS INDICATED ON PLAN

**FIXING CARPENTER NOTE**

- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO  
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO  
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

**CEILING MATERIAL NOTE**

- REFER TO ADDENDA FOR CEILING / EAVE LINING SELECTION

**RENDER WALL NOTE**

- PROVIDE TIMBER BATTEN BATTEN TO JUNCTIONS OF RENDERED  
WALLS & HARDIFLEX / VERSILUX CEILINGS

**TRADES / SUPERVISOR NOTE**

- REFER TO STRUCTURAL ENGINEERS DETAILS  
- ALL PLANS TO BE READ IN CONJUNCTION WITH  
ENGINEERS DRAWINGS & STANDARD SPECIFICATION.  
- FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE  
DETERMINED UPON RECEIPT OF ENG'S CERT. PLANS.

PROPOSED RESIDENCE FOR:

M. & S. WHITLEY

ADDRESS:  
LOT 80 (#41) WILKIE AVENUE  
YANCHEP

DRAWN:	RZA	SCALE:	1:100	Issue Name	Drawn	Date	Issue Name	Drawn	Date
DESIGNED:	AZA	SHEET:	1 OF 8						
CHECKED:	PMI	SIZE:	A3						
DATE:	31-01-22	SUM							
MODEL:	LOSARI VENTI	JOB N°	163140						

FLOOR PLAN

**DO NOT SCALE FROM THIS DRAWING**  
All Sub-contractors to check dimensions  
& notes prior to initiating works. Any  
discrepancies to be notified to the Site  
Supervisor without delay.  
ALL DIMENSIONS TO BRICKWORK.

**DOOR NOTE**

- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF B.C.A VOL. 2  
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM

**PLUMBER NOTE**

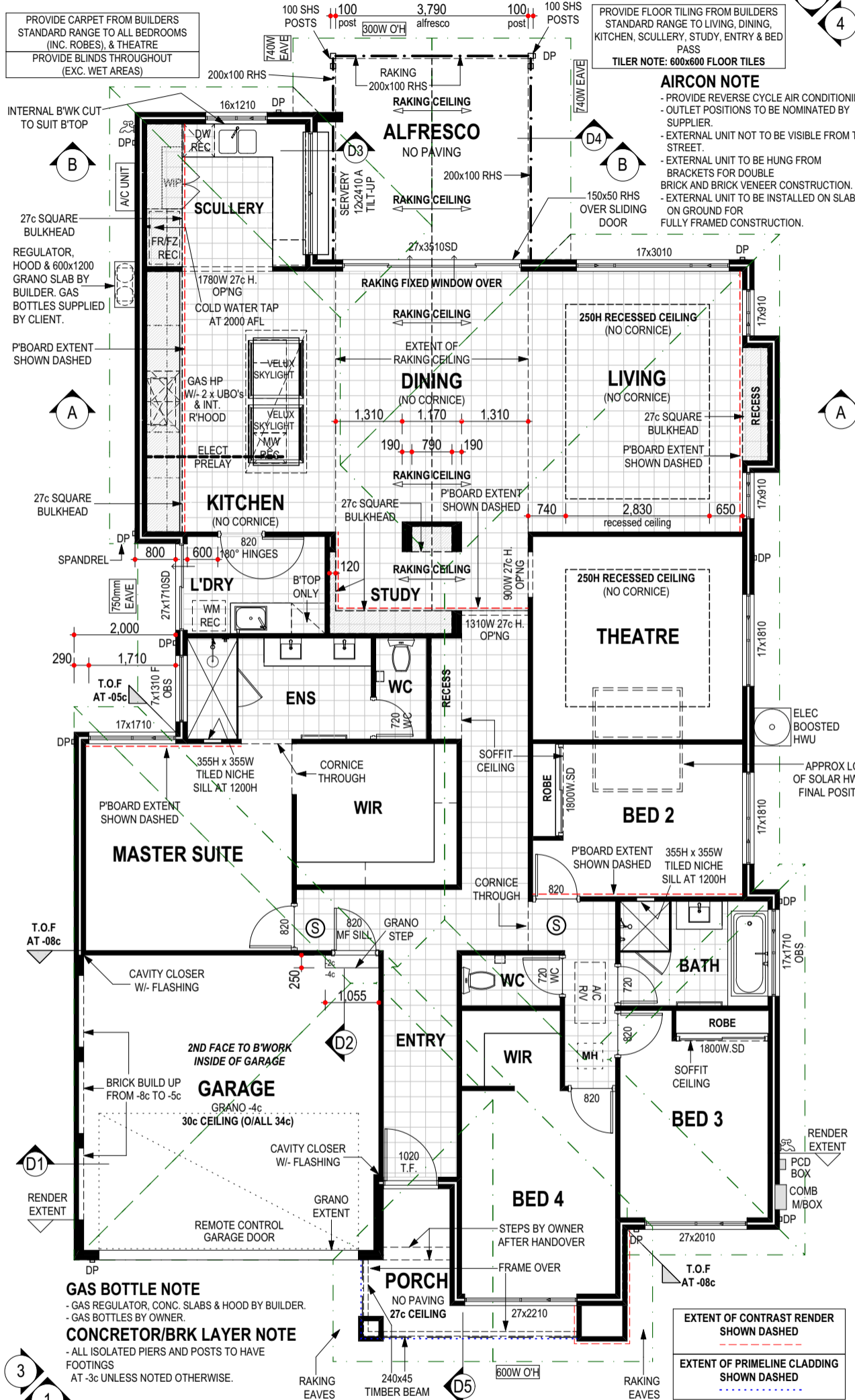
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.  
- PLUMBER TO INSTALL REFLUX VALVE.

**GARAGE NOTE**

- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF  
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

**AIRCON NOTE**

- PROVIDE REVERSE CYCLE AIR CONDITIONING.  
- OUTLET POSITIONS TO BE NOMINATED BY  
SUPPLIER.  
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE  
STREET.  
- EXTERNAL UNIT TO BE HUNG FROM  
BRACKETS FOR DOUBLE  
BRICK AND BRICK VENEER CONSTRUCTION.  
- EXTERNAL UNIT TO BE INSTALLED ON SLAB  
ON GROUND FOR  
FULLY FRAMED CONSTRUCTION.



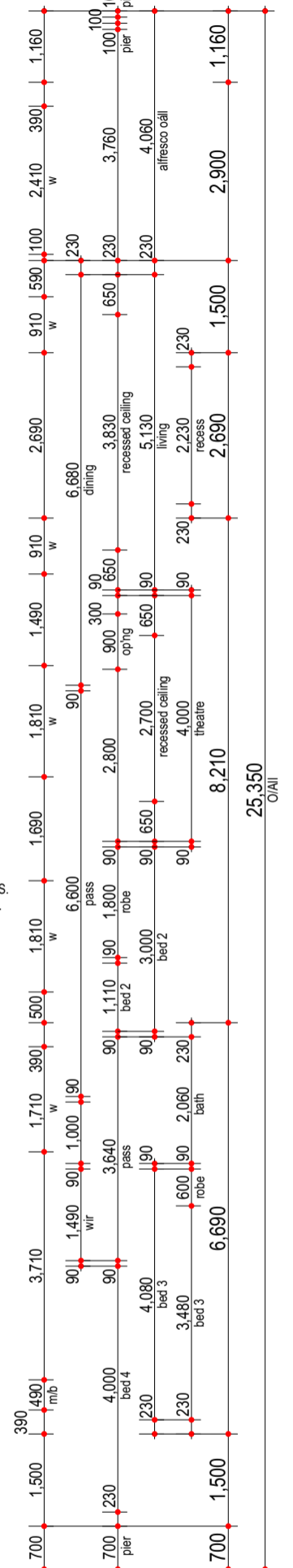
**GAS BOTTLE NOTE**  
- GAS REGULATOR, CONC. SLABS & HOOD BY BUILDER.  
- GAS BOTTLES BY OWNER.

**CONCRETOR/BRK LAYER NOTE**

- ALL ISOLATED PIERS AND POSTS TO HAVE  
FOOTINGS  
AT -3c UNLESS NOTED OTHERWISE.

EXTENT OF CONTRAST RENDER  
SHOWN DASHED

EXTENT OF PRIMELINE CLADDING  
SHOWN DASHED



**FLOOR PLAN**

	Area m <sup>2</sup>	Perim. L/m
1. FLOOR PLAN	228.30	77.36
2. GARAGE	36.13	24.18
3. PORCH	7.16	16.58
4. ALFRESCO	18.28	17.18
5. TOTAL AREA	289.87	81.36
6. ROOF	319.99	82.01



