



X:\NEW SERVICES SET-UPS\PUBLIC - CLIENTS\PRE-CONSTRUCTION\4266 - HILDRETH\08\_Drawing\CAD Drawings\client Option\structural meeting redesign\4266 - Hildreth CLIENT MEETING 15-2-22.dwg

<b>REV</b>   <b>Int.</b>   <b>Description</b>   <b>Date</b> PRELIMINARY PLANS NOT FOR CONSTRUCTION XX/XX/XX	<b>CONSTRUCTION NOTES</b> 1. These plans are sole property of Beaumonde Homes and may not be reproduced or modified in whole or in part without written permission. 2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the supervisors attention. 3. Do not scale from drawings. 4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for. 5. The Builder reserves the right to alter dimensions on site to suit construction, engineering, or site conditions. 6. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense.	<b>BEAUMONDE HOMES</b> A DIVISION OF AINTREE HOLDINGS PTY LTD REG No:7082 SUITE 1, 30 HASLER ROAD, OSBORNE PARK, WA. 6017 TEL: (08) 9446 3388 FAX: (08) 9446 3348 © Copyright AINTREE HOLDINGS		HOUSE MODEL: <b>INDIVIDUAL</b>		DRAWING: <b>Render</b>		FINAL PLANS DATE: .....	
				CLIENT: <b>HILDRETH RESIDENCE</b>		ADDRESS: <b>LOT 2 (#4) OCEAN DR                  QUINNS ROCKS</b>		OWNER: ..... WITNESS:..... OWNER: ..... WITNESS:.....	
		SCALE: 1:181.82 DATE: 23/02/2022		DRAWN: <b>JM</b>		PAGE: 1 of 8		JOB No: 4266 SIZE: A3	



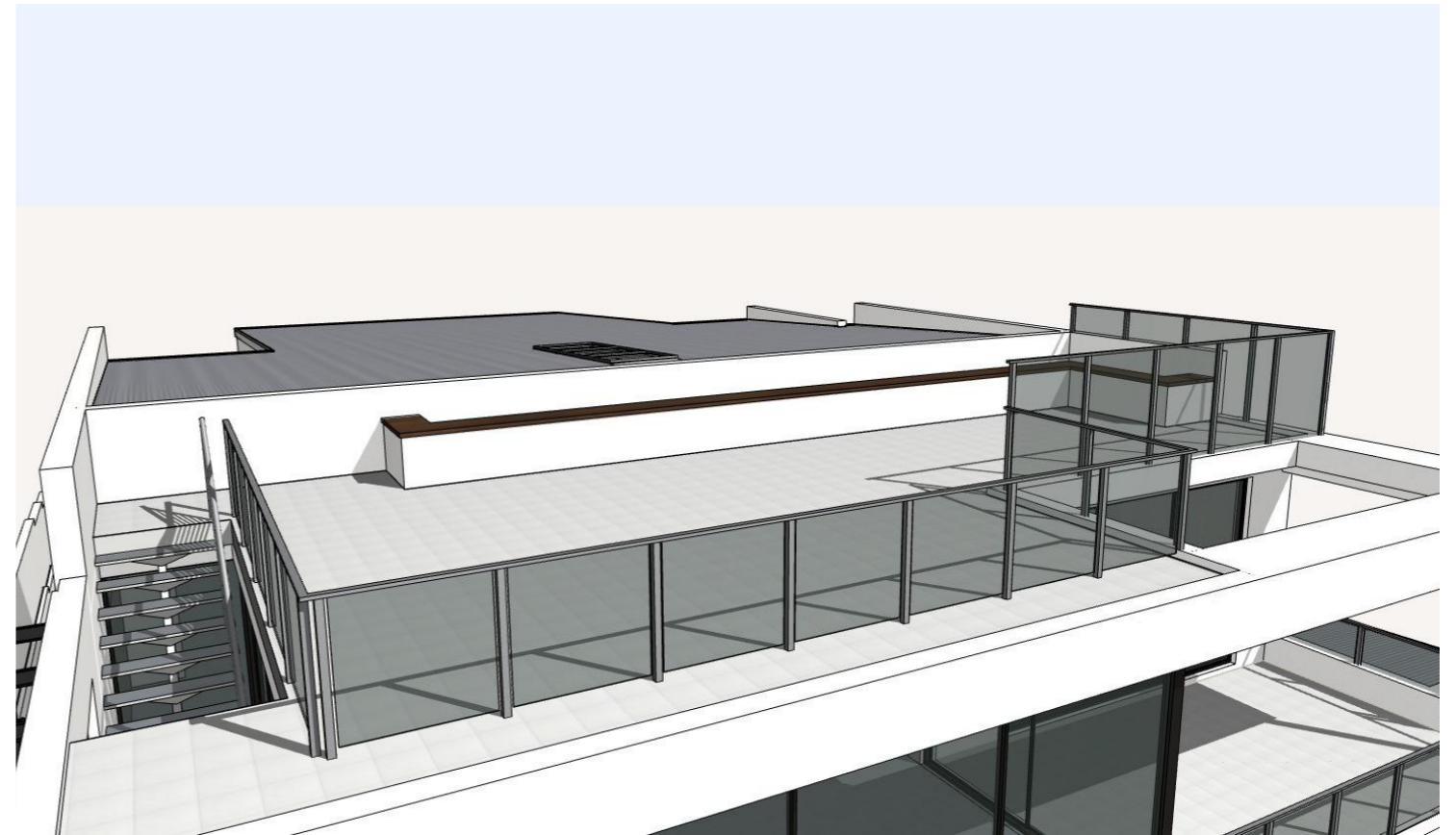
CONVERSATION PIT/SPA



BOAT SHELTER/ GARAGE



OPEN LIVING



TERRACE

REV	Int.	Description	Date
<p><b>PRELIMINARY PLANS NOT FOR CONSTRUCTION</b></p>			
X	XX	XX	XX/XX/XX

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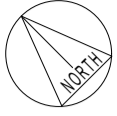
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 OSBORNE PARK, WA. 6017  
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HOUSE MODEL:  
**INDIVIDUAL**  
 CLIENT:  
**HILDRETH RESIDENCE**  
 SCALE: 1:263.16  
 DATE: 23/02/2022  
 DRAWN: **JM**

DRAWING:  
**3D Views**  
 ADDRESS:  
**LOT 2 (#4) OCEAN DR  
 QUINNS ROCKS**  
 PAGE: 7 of 8  
 JOB No: 4266  
 SIZE: A3

FINAL PLANS DATE: .....  
 OWNER: ..... WITNESS:.....  
 OWNER: ..... WITNESS:.....  
 BUILDER: .....

LOT No: 2  
AREA : 941m<sup>2</sup>



**NOTE: IF HOUSE REMAINING,  
SURVEY OF BOUNDARIES  
FOR HOUSE POSITION REQUIRED.**

**OPEN SPACE CALC.**  
TOTAL SITE AREA = 941m<sup>2</sup>  
SITE COVERAGE = 352m<sup>2</sup>  
OPEN SPACE = 589m<sup>2</sup>  
OPEN SPACE % = 62.6%

**NOTE:**  
LOT MISCLOSE  
(0.006m)

RETAINING 300  
CAVITY FILL BRICK  
T.O.W @ 7.990  
BY OWNER

1800h 190  
MASONRY FENCE

RETAINING 300  
CAVITY FILL BRICK  
T.O.W @ 8.505  
BY OWNER

FIBRO  
SHED

1800h 190 MASONRY  
FENCE ON RETAINING

RETAINING 300  
CAVITY FILL BRICK  
T.O.W @ 9.021  
BY OWNER

**APPROX. EXTENT  
OF CHEMICAL  
INJECTION TBC  
BY ENG. & ON  
SITE**

VEHICLE GATE

RETAINING 300  
CAVITY FILL BRICK  
T.O.W @ 9.021  
BY OWNER

TWO STOREY  
BRICK & TILE  
HOUSE

FL 7.94

BALCONY

RETAINING 300  
CAVITY FILL BRICK  
T.O.W @ 7.991  
BY OWNER

686H 190 MASONRY  
FENCE STEPPED TO  
SUIT NGL

CONCRETE  
CROSSOVER

EXISTING CROSSOVER  
TO BE REMOVED AND NEW  
CROSSOVER INSTALLED

SMH  
7.04

TBM 7.06  
(APPROX. AHD)

OCEAN DRIVE

POSITION OF FENCES & WALLS IN RELATION  
TO BOUNDARIES NOT GUARANTEED UNLESS  
REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT  
TO BOUNDARIES NOT GUARANTEED.  
PEGS MISSING AT TIME OF SURVEY.

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HOUSE MODEL:  
**INDIVIDUAL**  
CLIENT:  
**HILDRETH  
RESIDENCE**

SCALE: 1:200  
DATE: 23/02/2022  
DRAWN: JM

DRAWING:  
**Site Plan**

ADDRESS:  
**LOT 2 (#4) OCEAN DR  
QUINNS ROCKS**

PAGE: 8 of 8

JOB No: 4266  
SIZE: A3

FINAL PLANS DATE: .....

OWNER: ..... WITNESS: .....

OWNER: ..... WITNESS: .....

BUILDER: .....

BUILDER:

**BEAUMONDE HOMES**

CLIENT/s:

**HILDERTH**

SITE ADDRESS:

**LOT 2 (#4) OCEAN DRIVE,  
QUINNS ROCKS**

LOCAL  
AUTHORITY:

**CITY OF WANNEROO**

BUILDER  
DWN BY:

DATE:

SHEET No:

**1 of**

JOB  
No:

**71156**

I/W/ THE OWNER/S AGREE TO THE  
CONTENTS OF THIS DOCUMENT AND  
ALL INITIALLED SHEETS

**VARIATIONS - all sheets**

OWNER /S:

DETAILS DWN DATE CHK

WITNESS:

BUILDER:

WITNESS:

DATE:

**SURVEYOR SITE INSPECTION REPORT**

ELECTRICITY:	UNDERGROUND	GAS:	YES
TELECOM:	YES (not sighted)	WATER:	YES (RHS)
SEWERAGE:	YES, ABOUT 1.75m DEEP (TOP OF RISER)		
ROAD:	BITUMEN / CONCRETE / PAVED		
KERB:	MOUNTABLE (cracked)		
FOOTPATH:	CONCRETE		
VEGETATION:	ESTABLISHED GARDENS & TREES		
SOIL:	SAND & POSSIBLE LIMESTONE AT DEPTH		
VIEWS:	OCEAN		
REPEG:	REQUIRED	REPEG TYPE:	OLD SURVEY AREA

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED.  
PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION  
THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED  
TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

**TITLE DETAILS**

LOT NOS:	<b>2</b>	C/T VOL:	<b>1258</b>
PLAN:	<b>7318(4)</b>	FOL:	<b>783</b>

**LEGEND**

[N]	NBN	[T]	TELECOM PIT	[G]	GAS
[C]	COMMUNICATION PIT	[P]	POWER DOME	[H]	HYDRANT
[PP]	POWER POLE	[S]	STREET LAMP	[SV]	STOP VALVE
[FE]	FENCE END	[SL]	STREET LAMP	[W]	WATER METER
[PIL]	PILLAR	[GRD]	GRATED DRAIN	[SMH]	SEWERAGE MANHOLE
[TRW]	TOP OF RETAINING WALL	[SEIP]	SIDE ENTRY PIT	[SMH]	SEWERAGE MANHOLE
[T]	TREE	[DMH]	DRAINAGE MANHOLE	[S]	SEWERAGE INSPECTION L
[PT]	PALM TREE				
[TS]	TREE STUMP				
[I]	IRRIGATION				
[PL]	PLANTER				
[WAS]	WASHED AGG.				
[RAMP]	RAMP				
[CONC]	CONCRETE				
[PAV]	PAVED				
[HAND]	HAND RAIL				
[POLE]	POLE				

**NOTES**

**BLOCK LOCATED ABOUT 125 METRES FROM THE OCEAN**  
This lot is within a designated BUSHFIRE PRONE AREA.

ALL SEWER DETAILS PLOTTED FROM INFORMATION SUPPLIED BY  
WATER CORPORATION SPATIAL INFORMATION MANAGEMENT.  
REFER TO THE DISCLAIMER NOTE ON WATER CORP E-PLAN.  
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE  
PIPE LAYING.

LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED  
UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT  
GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.  
CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS.

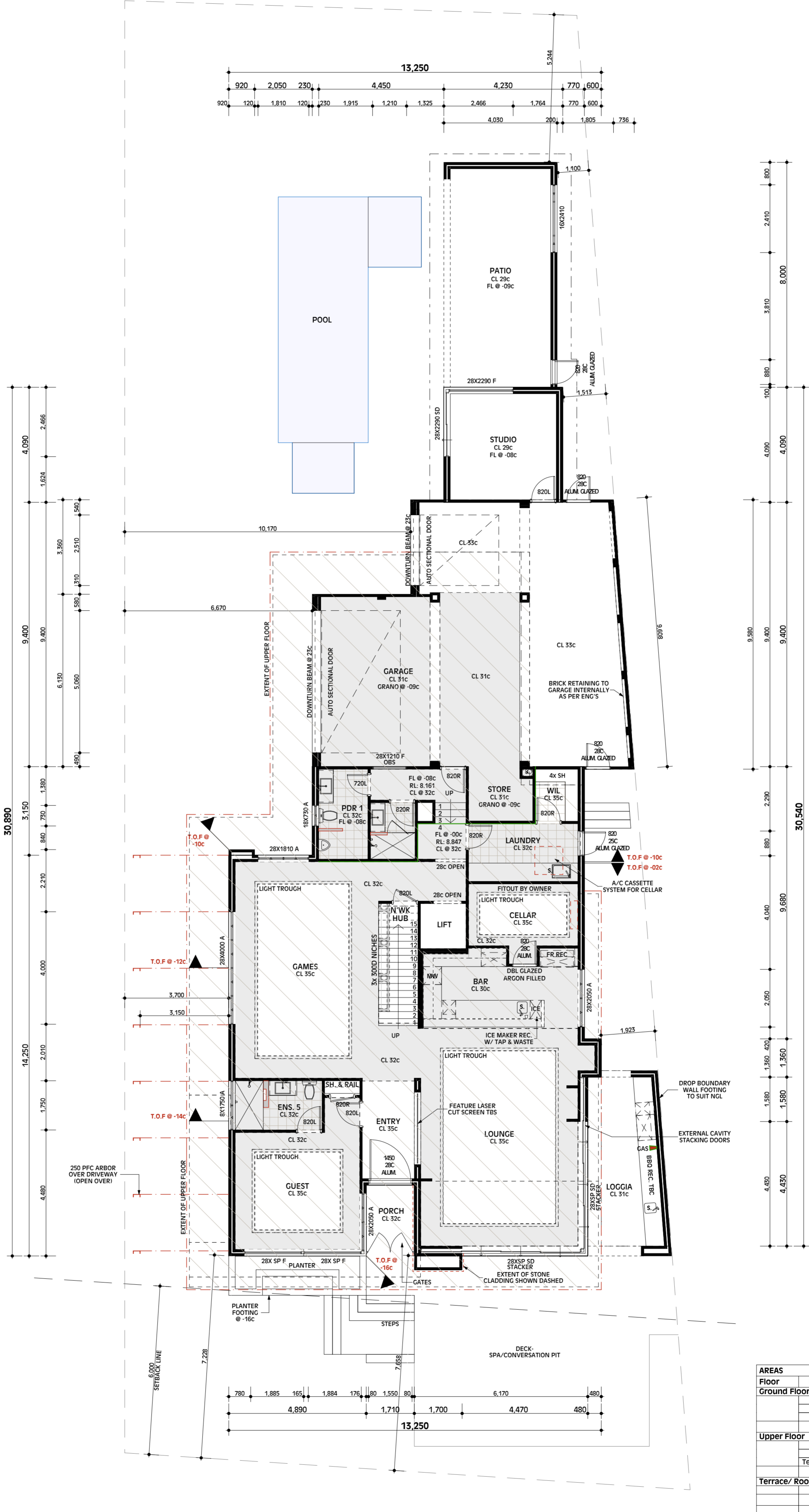
**R. G. LESTER & ASSOCIATES**

LICENSED LAND & ENGINEERING SURVEYORS

NORTH BEACH PLAZA  
SHOP 7 / 1 NORTH BEACH ROAD  
NORTH BEACH WA 6020  
PH: 9448 5009 FX: 9203 6722  
admin@lestersurveys.com.au

REF NO: 71156 FILE NO: 3395 DATE: 09.06.21 DRAWN: AC

X:\NEW\SERVER.SET-UPS\PUBLIC\CLIENTS\PRE-CONSTRUCTION\HILDRETH\08\_DRAWINGS\CAD\Drawings\Cad\Option\structural\mesefina\_redesim\15-1-22.dwg



AREAS			
Floor	Location	Area	Perimeter
Ground Floor	Living	203.54	70.2
	Garage	97.65	45.4
	Studio	17.30	16.6
		<b>318.49 m<sup>2</sup></b>	<b>132.2 m</b>
Upper Floor	Living	300.21	84.2
	Balcony	26.02	36.9
	Terrace Stairs	7.09	12.8
		<b>333.32 m<sup>2</sup></b>	<b>133.9 m</b>
Terrace/ Roof	Terrace	118.57	45.7
		<b>118.57 m<sup>2</sup></b>	<b>45.7 m</b>
		<b>770.38 m<sup>2</sup></b>	<b>311.8 m</b>

**PRELIMINARY PLANS  
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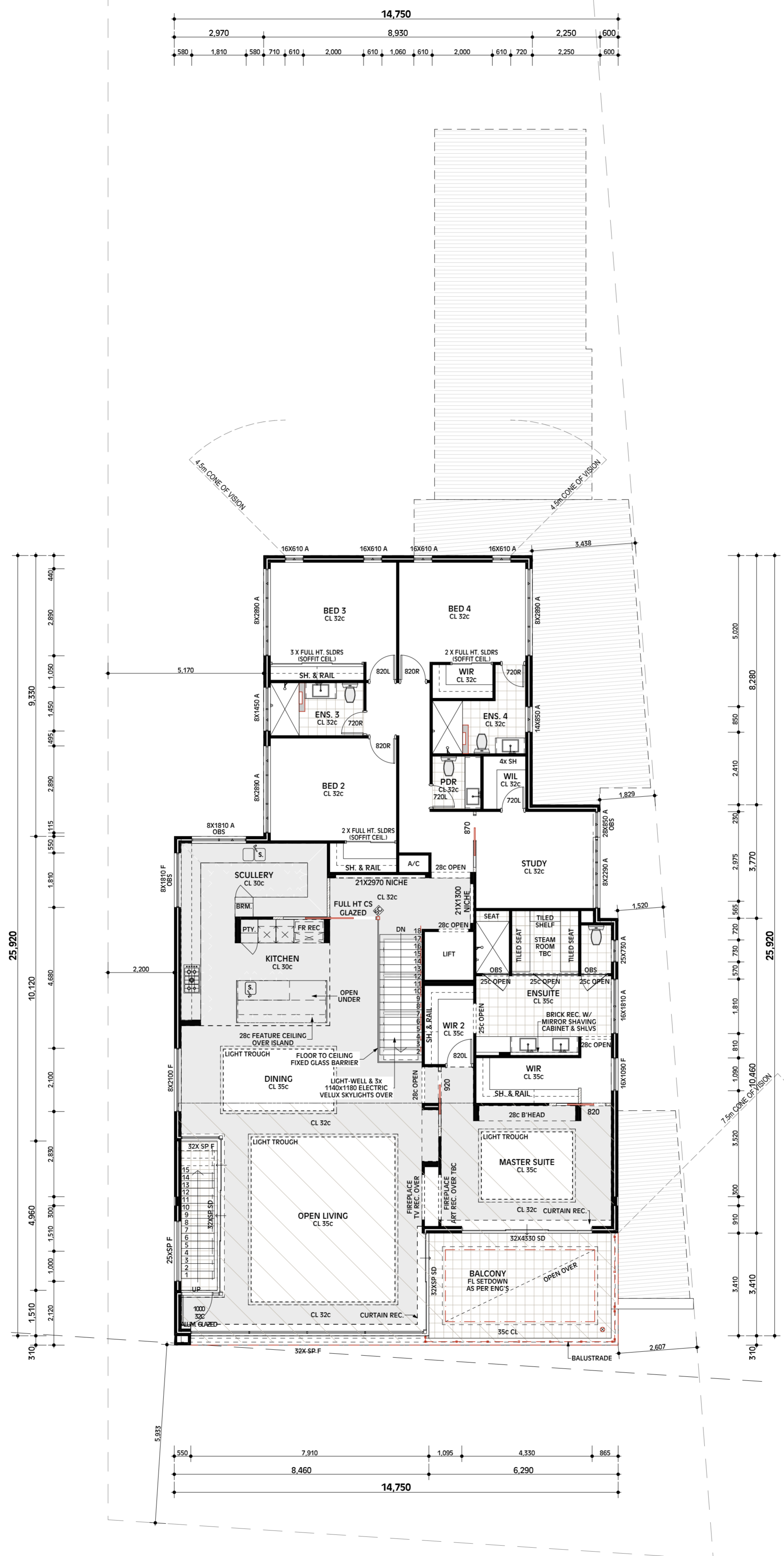
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HOUSE MODEL: **INDIVIDUAL**  
 CLIENT: **HILDRETH RESIDENCE**  
 SCALE: 1:1, 1:100  
 DATE: **23/02/2022**  
 DRAWN: **JM**

DRAWING: **Ground Floor**  
 ADDRESS: **LOT 2 (#4) OCEAN DR QUINNS ROCKS**  
 PAGE: **2 of 8**  
 JOB No: **4266**  
 SIZE: **A2**

FINAL PLANS DATE: .....  
 OWNER: ..... WITNESS: .....  
 OWNER: ..... WITNESS: .....  
 BUILDER: .....



**REV** Int. Description Date  
**PRELIMINARY PLANS NOT FOR CONSTRUCTION**  
 XX/XX/XX

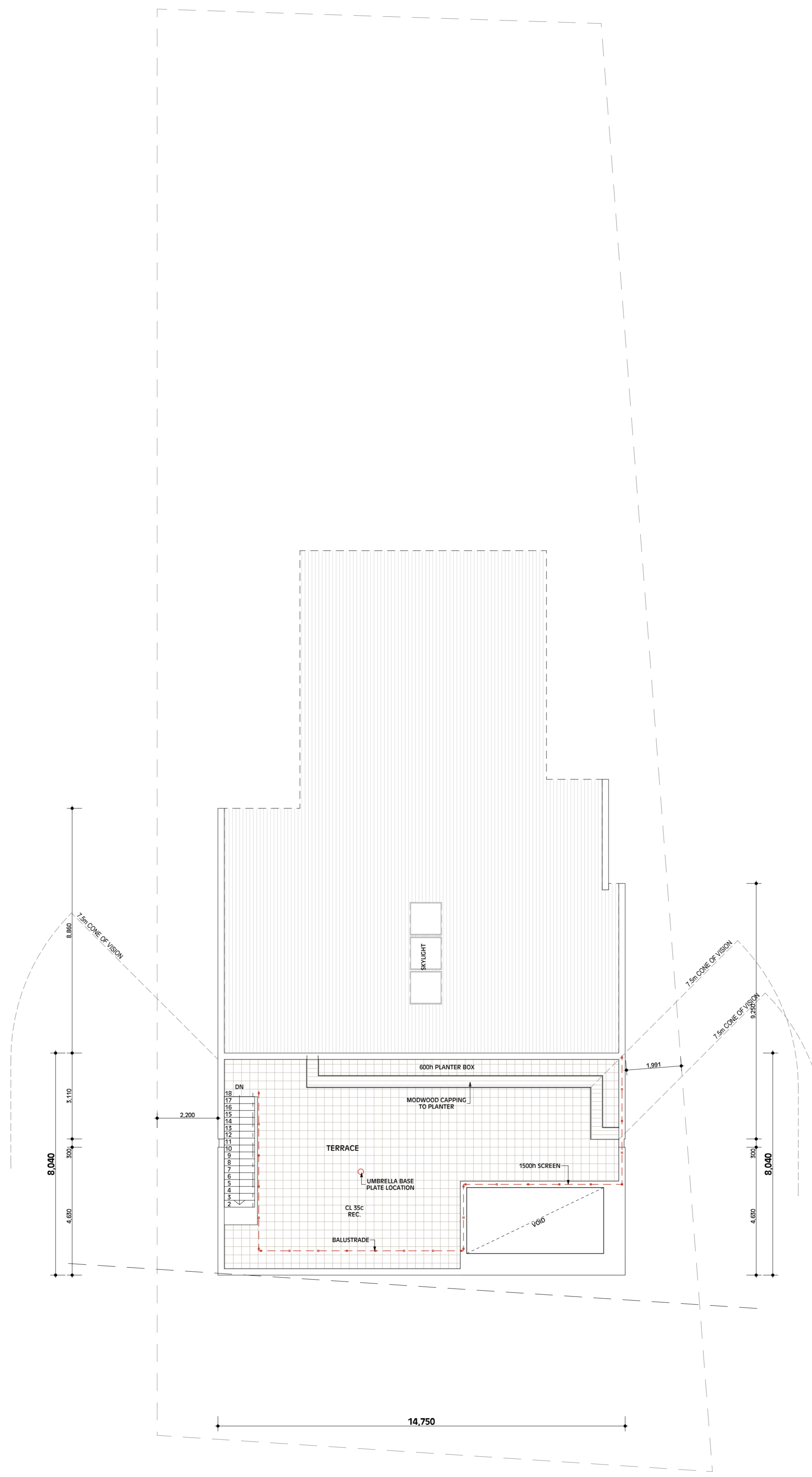
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HOUSE MODEL: INDIVIDUAL  
 CLIENT: HILDRETH RESIDENCE  
 SCALE: 1:1, 1:100  
 DATE: 23/02/2022  
 DRAWN: JM

DRAWING: Upper Floor  
 ADDRESS: LOT 2 (#4) OCEAN DR QUINNS ROCKS  
 PAGE: 3 of 8  
 JOB No: 4266  
 SIZE: A2

FINAL PLANS DATE: .....  
 OWNER: ..... WITNESS: .....  
 OWNER: ..... WITNESS: .....  
 BUILDER: .....



**REV** Int. Description Date

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

XX XX XX

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**INDIVIDUAL**  
 CLIENT:  
**HILDRETH RESIDENCE**

SCALE: 1:1, 1:100  
 DATE: 23/02/2022

DRAWING:  
**Terrace**  
 ADDRESS:  
**LOT 2 (#4) OCEAN DR  
 QUINNS ROCKS**

DRAWN: **JM**  
 PAGE: **4 of 8**  
 JOB No: **4266**  
 SIZE: **A2**

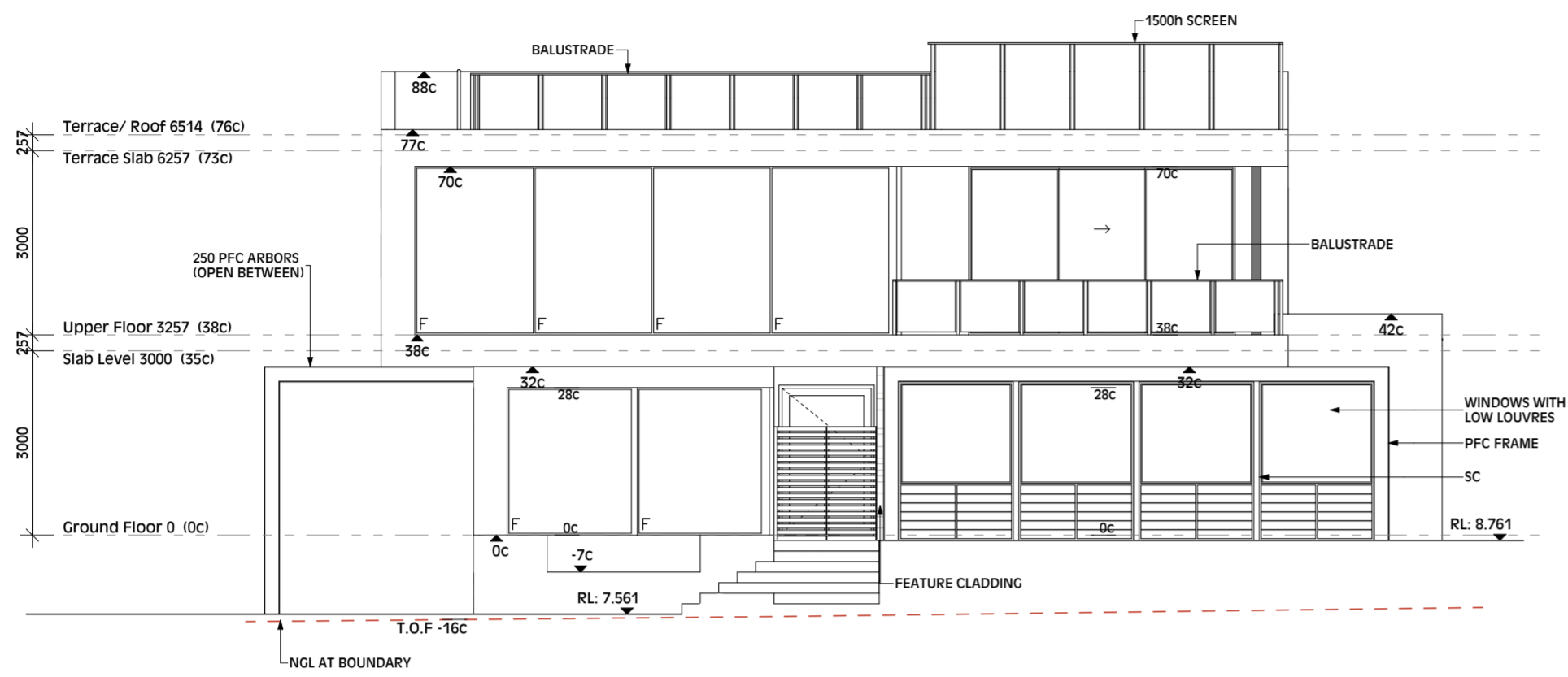
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OWNER: ..... WITNESS: .....

OWNER: ..... WITNESS: .....

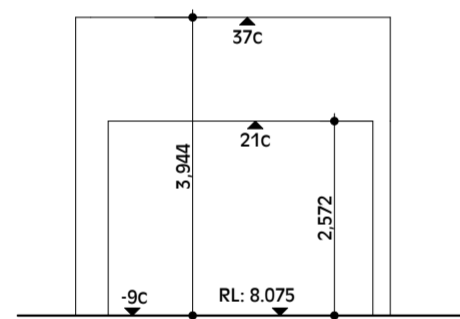
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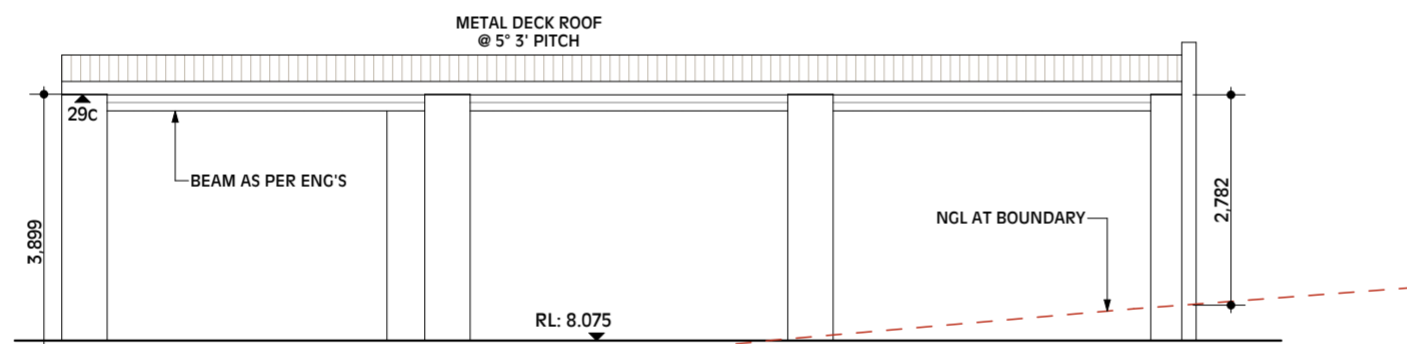
ELEVATION 1 WITH SPA STRUCTURE

1:100



BOAT SHELTER 1

1:100



BOAT SHELTER 2

1:100

REV	Int.	Description	Date
xx	xx		xx/xx/xx

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HOUSE MODEL: <b>INDIVIDUAL</b>	DRAWING: <b>Elevations 2</b>	FINAL PLANS DATE: .....
CLIENT: <b>HILDRETH RESIDENCE</b>	ADDRESS: <b>LOT 2 (#4) OCEAN DR QUINNS ROCKS</b>	OWNER: ..... WITNESS: .....
SCALE: 1:100	DRAWN: <b>JM</b>	OWNER: ..... WITNESS: .....
DATE: <b>23/02/2022</b>	PAGE: <b>6 of 8</b>	BUILDER: .....
	JOB No: <b>4266</b>	SIZE: <b>A2</b>