

City of Wanneroo
23 Dundobar Road, Wanneroo WA 6065
Locked Bag 1, Wanneroo WA 6946

T 9405 5000
E enquiries@wanneroo.wa.gov.au
wanneroo.wa.gov.au

This form must be completed and provided with all Home Business Category 2 or 3 development applications. All questions must be answered or the application will not be accepted.

Please note that other documents are required to be submitted in conjunction with this form, refer to the [Home Business Development Application Checklist](#) for more information.

Details of the Home Business

1. Please describe the nature of business. *Please include specific details of the activities involved, this can be provided in a written statement.*

Beauty Salon mostly providing waxing & massage services

2. Are you a permanent resident of the dwelling? **Yes**

3. What are the proposed business operating days and hours? **Sunday - Saturday
8am - 9pm**

4. Will the home business employ person(s) not permanently living at the property? *If yes, how many people?*

No

5. Will the home business have customers coming to the site? *If yes, please describe the following:*
- Number of customers at any one time;*
 - Number of customers per day; and*
 - Location of where customers will park (indicate on the plans)*

- One customer at a time
- 10 customers a day
- Driveway

6. Will the home business have deliveries coming to the site? *If yes, please describe the estimated number of deliveries per week and delivery times*

No

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

WA 219 ONSLOW ROAD, SHENTON PARK, 6008.
Telephone (08) 9381 6211 Fax (08) 9382 2503
QLD 11 LAURINDA CRESCENT, SPRINGWOOD, 4127
Telephone (07) 3808 7244 Fax (07) 3808 7349

BUILDER : Scott Park Homes
CLIENT : Thewls / Brown
LOT 546 Yama Close, CARRAMAR

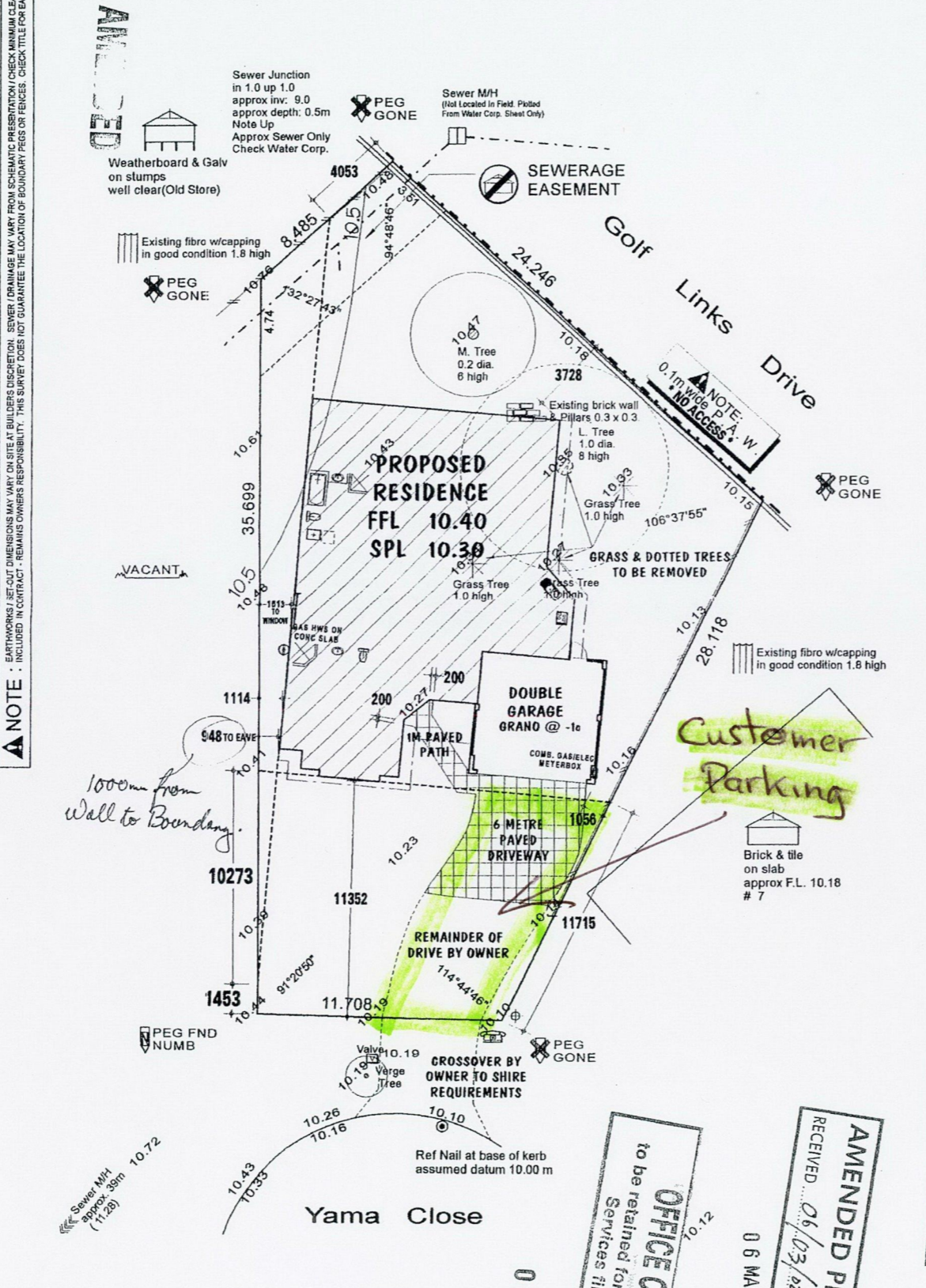
J/N: 010750B DATE: 11/10/01 SCALE: 1:200 DRAWN: W.Bill

Plan 23746

LEGEND:
 SEC Dome
 Power Pole
 Phone
 Conc Path
 Conc slabs

NOTE: All Sewer details plotted from information supplied by Water Corporation.

NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS / FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

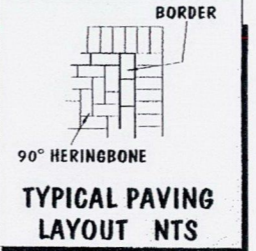


FFL MAY VARY TO WITHIN 200MM EITHER WAY

TERMITE TREATMENT IS TO BE THE HANDSPRAYING OF CHLORPYRIFOS IN ACCORDANCE WITH AS 3660.1

DOWNPIPES TO BE CONNECTED TO SOAKWELLS BY OWNER

DRAWING NAME:		REVISION:	
SITE PLAN		B	
JOB No:		SHEET No:	
02420s		1 OF 5	
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.			
DATED:			
OWNER:		WITNESS:	
OWNER:		WITNESS:	
BUILDER:		WITNESS:	
Rev No:	Variation:	Date Dm:	By:
B	L/02420e/01	04-01-02	LC
Drawn By:	Date Drawn:	Scale:	CHECKED:
MDS	NOV '01	1:200	MDS



CITY OF WANNEROO
 APPROVAL SERVICES
 This Plan is Approved Subject to compliance with the Local Government (Miscellaneous Provisions) Act, 1999 The Building Code of Australia, The Residential Planning Code, Building Regulations 1989 and Councils Local Laws.

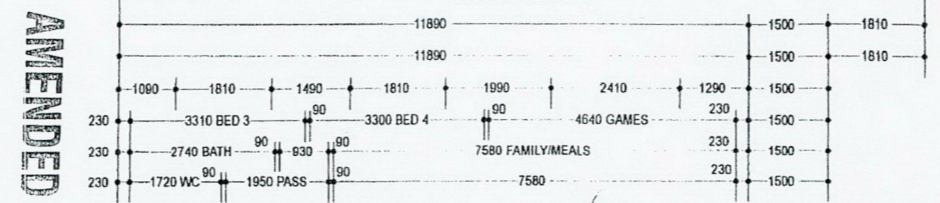
SOIL DESCRIPTION
Sandy
Medium Grass Cover

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING WALLS, EARTHWORKS, ETC. INCLUDED IN CONTRACT. REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

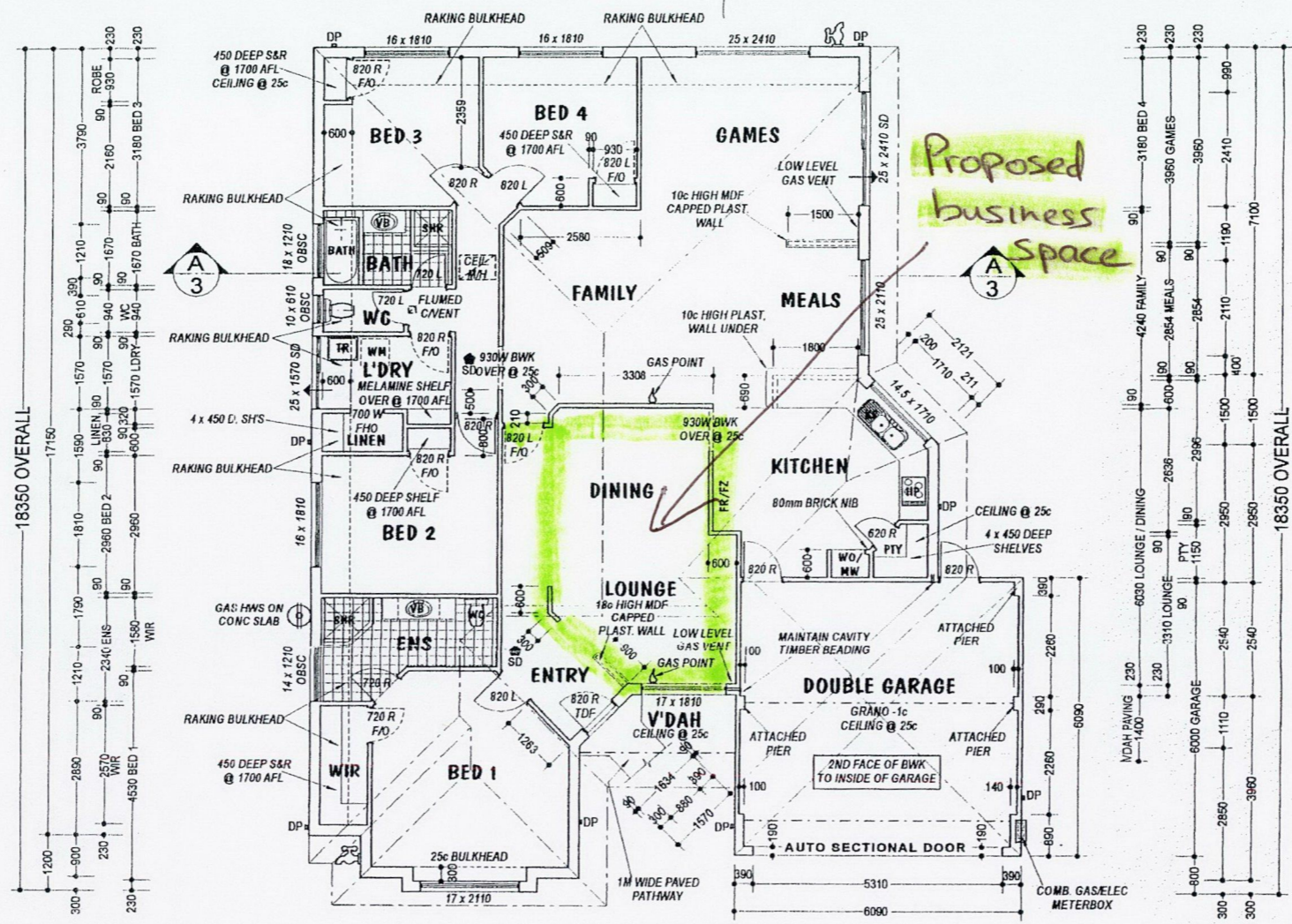
AMENDED PLAN
 RECEIVED: 06/03/02
 06 MAR 2002
OFFICE COPY
 to be retained for Approval Services files

01/42333/01

4/2

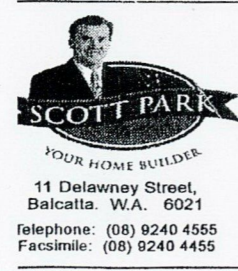
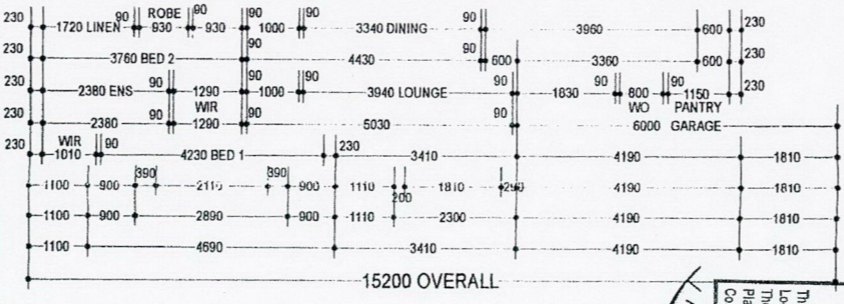


BRICK LAYER NOTE:
EXTERNAL BRICKS
TO BE 290 x 162 x 90
(1st external course to
be a 2orse brick)



Proposed
business
space

NOTES:
EXTERNAL WALLS CONSISTS OF 230MM WIDE
CAVITY BRICK CONST. UNLESS NOTED OTHERWISE.
90MM EXTERNAL LEAF & 90MM INTERNAL LEAF
ALL INTERNAL WALLS ARE PLASTERED
UNLESS NOTED OTHERWISE.
RECTANGULAR DOWNPIPES!
DOWNPIPE POSITION AT PLUMBERS DISCRETION.
FINAL POSITION MAY VARY TO PLAN.
PROVIDE PASTELCOTE (IVORY) FINISH
TO ALL EXT. FACE BWK



Scott Park Homes P/L reserves
the right to vary dimensions
and materials from those
on display.
Please check plans,
specification and addenda
carefully.
All dimensions to take
preference over scaling.
COPYRIGHT
This plan shall remain the sole
property of the builder and
must not be given, lent,
resold or otherwise disposed
or copied without the
permission in writing of
the builder.

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

DATE: 14/2/2002

OWNER: [Name]

BUILDER: [Name]

HOUSE NAME: SETTLER

AREAS:
House Area = 189.67m²
Garage Area = 36.28m²
Verandah Area = 4.03m²
Total Area = 230.00m²

Roof Area = 244.10m²
Gutter Length = 69.74m
House Perim. = 61.95m

DRAWING NAME: FLOOR PLAN

VARIATIONS: [List]

DATE: 06 MAR 2002

CITY OF WANNEROO

APPROVED

CLIENT NAME: THE WILS & BROWN

ADDRESS: LOT 546 YAMA CLOSE, CARRAMAR

SHIRE: CITY OF WANNEROO

Drawn By: L. Colletti

Date Drawn: JAN '02

Scale: 1 : 100

CHECKED: MDS